

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting at the back of the Council Chamber room. Minutes are available after they are approved by the Planning Commission. Direct questions or concerns to the Planning Division at (310) 618-5990 prior to submission to the Planning Commission. Parties will be notified if the complaint is included on a subsequent agenda.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please provide 10 color copies to staff before speaking.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Written comments may also be delivered by mail or submitted in-person to the Permit Center (Planning Counter) in the Community Development Department located at the above referenced address, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the Council Chamber room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
MARCH 20, 2024
REGULAR MEETING
6:30 P.M. IN LEROY J. JACKSON COUNCIL CHAMBER
AT 3031 TORRANCE BOULEVARD**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Choi, Riggs, Rudolph, Turner, Yeh, and
Chairman Kartsonis

2. FLAG SALUTE

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Friday, March 15, 2024.

4. ANNOUNCEMENT OF WITHDRAWN, DEFERRED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 10 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: February 7, 2024, and February 21, 2024

7. ADMINISTRATIVE MATTERS

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of CUP23-00029: ANA LEON (TROY HURST)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Division of Lot to allow a flag lot subdivision of one parcel into two, on property located in the R-1 Zone at 2356 239th Street. This project is Categorically Exempt from CEQA per Guidelines Section 15315 – Minor Land Divisions. (Res. No. 24-010)

8B. Community Development – Conduct a Public Hearing to Consider Approval of PRE23-00012, WAV23-00010: CORIE SAXMAN (AZHAR AND FARAH HAMEED)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Precise Plan of Development to allow first and second-story additions to an existing two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona. This project is Categorically Exempt from CEQA per Guidelines Sections 15301 – Existing Facilities and 15305 – Minor Alterations. (Res. Nos. 24-011, 24-012)

8C. Community Development – Conduct a Public Hearing to Consider Approval of CUP23-00027, GPA23-00002, PUD23-00001, DIV23-00005, EAS23-00005: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider adoption of a Mitigated Negative Declaration, and approval of a General Plan Amendment to amend the land use designation from General Commercial to Medium-High Density Residential, in conjunction with a Planned Development to establish development standards for the development plan, a Conditional Use Permit to allow the construction of a 272-unit multifamily residential development with density bonus, and a Division of Lot to allow a Vesting Tentative Tract Map for condominium purposes, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), referred to as the Torrance Del Amo Project. (Res. Nos. 24-013, 24-014, 24-015, 24-016)

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, April 17, 2024, at 6:30 p.m. in the Council Chamber.



AGENDA ITEM NO. 8A

CASE TYPE AND NUMBER: Division of Lot – DIV23-00009

NAME: Ana Leon (Troy Hurst)

PURPOSE OF APPLICATION: Request for approval of a Division of Lot to allow a flag lot subdivision of one parcel into two, on property located in the R-1 Zone.

LOCATION: 2356 239th Street

ZONING: R-1 Single-Family Residential District

ADJACENT ZONING AND LAND USE:

NORTH: R-1 Single-Family Residences

SOUTH: R-1 Driveway for Residential Development in the City of Lomita

EAST: R-1 Single-Family Residences

WEST: R-1 Single-Family Residences

GENERAL PLAN DESIGNATION: Low Density Residential

COMPLIANCE WITH GENERAL PLAN: The property has a General Plan Land Use Designation of Low Density Residential (R-LO) allowing up to nine dwelling units per acre. Development in the Low Density Residential land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The proposed flag lot subdivision is consistent with the Low Density Residential designation.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: The subject property is currently developed with a single family residence and two-car garage, constructed in 1962. The subject property was created in 1961 via a previously approved Division of Lot (D-27), as part of a subdivision of one parcel into three. This section of 239th Street slopes upward from east to west, so the property directly east sits at a lower elevation, while the property directly west sits at a higher elevation. Lastly, the building pad on the subject property sits at a higher elevation than the sidewalk.

ENVIRONMENTAL FINDINGS: Minor land divisions involving the creation of four or fewer parcels in urbanized areas are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Section 15315.

ANALYSIS:

The applicant, Ana Leon, requests approval by the Planning Commission to allow a flag lot subdivision of one parcel into two, on property located in the R-1 Zone at 2356 239th Street. The development standards of the R-1 Zone (Single-Family Residential District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of a Division of Lot (DIV) to allow the subdivision in the R-1 Zone. Staff has determined the project complies with the development standards to the extent applicable. The balance of this report provides an overview of the project.

Project Site

The subject property is orientated toward the north and located on the south side of 239th Street, east of Pennsylvania Avenue, just south of where Vine Avenue terminates into 239th Street. The rectangular lot measures approximately 55' wide by 237' deep, for a total area of 13,051 square feet.

Staff notes there are several flag lot subdivisions on this block of 239th Street, including 2 six-lots, 2 five-lots, 4 three-lots, and 8 two-lots.

Parcel Map

The proposed flag lots are referenced as Parcels 1 and 2 on the map exhibit (Attachment 6). Parcel 1 fronts 239th Street and Parcel 2 is located at the rear. Parcel 1 measures 50.4' wide at the front and 128.11' deep, for a gross area of 6,426.1 square feet. Parcel 2 measures 55.04' wide at the rear and 109.01' deep (without the flagpole), for a gross area of 6,660.02 square feet (with the flagpole). Access easements are proposed along an 11' wide driveway that extend from the existing curb cut on 239th Street.

Lot Dimensions

Per Torrance Municipal Code Sections 91.4.3(a) and 92.29.31(a), for flag lot subdivisions in the R-1 Zone the minimum lot dimensions shall measure not less than 50' wide and 80' deep and shall have a minimum lot area of 6,000 square feet or the mean average size of lots, whichever is larger, that share the same zone and land use designation and that are within a 300' distance from the project site and located within the City of Torrance. In addition, the lot width of the front parcel along the street shall measure no less than 50' wide or the mean average width of lots, whichever is larger.

Staff completed a survey of all lots within a 300' distance from the project site and found that all surrounding lots share the same zone (R-1 Single Family Residential) and land use designation (Low Density Residential), except for those lots located to south in the City of Lomita, which are not included in the survey. The surrounding lots range in size from 700 gross square feet up to 14,522 gross square feet, resulting in a mean average of 7,265 gross square feet (Attachment 5). The surrounding lots also range in width from 30' up to 96.8' wide with a mean average 59.81' lot width along the street. Staff notes the smallest lot surveyed is tied to a larger parcel as a part of multifamily residential in the City of Lomita.

Based on the survey, the proposed lots do not satisfy the mean average lot area requirement. Staff notes the mean average lot area is skewed higher due to the large parcels in the area, with 19 of the 47 parcels over 7,000 square feet—7 of those over 10,000 square feet. There are 15 parcels below 6,000 square feet, and 3 parcels that are approximately 6,000 square feet.

Criteria for Granting an Exception

Per Torrance Municipal Code Section 92.29.31(b), the Planning Commission may grant an exception to the mean average lot area requirement upon finding all the following:

1. That the strict application of any standard prescribed by this Chapter would result in practical difficulties or unnecessary hardship inconsistent with the general purpose and intent of this Chapter;
2. That there are exceptional circumstances or conditions applicable to the property involved or to the intended use or development of the property in the City being subdivided or resubdivided;
3. That the granting of the exception will not be materially detrimental to the public welfare nor injurious to the property or improvements in the immediate vicinity; and
4. That the granting of the exception will not be contrary to the objectives of this Chapter.

Conclusion

In the judgment of staff, the request conforms to the Flag Lot Ordinance (92.29.33): there is only one curb cut for access, and provisions for ingress and egress will be accommodated by an 11' wide access easement; the proposed lot sizes are consistent with the immediate area; and the proposed subdivision is compatible with the current R-1 Zoning and Low Density Residential General Plan designation. Furthermore, the proposed Division of Lot would be compatible with the surrounding

area which has numerous flag lot subdivisions, which include parcels less than 6,000 square feet. Although the resulting lots are smaller than required by Code, staff is not opposed to the implementation of the request. Exception to this rule would not be detrimental to the orderly development of the City. In that regard, the resulting lots will be consistent with the development pattern of the immediate area. As previously stated, there are several flag lot subdivisions on this block of 239th Street, including 8 two-lot flag lots. The proposed parcels meet the minimum 50 foot width and 80 foot depth lot dimension requirements, provide a gross area over 6,000 square feet, provide consistent street frontages, and remain compatible with the R-1 development trends in the surrounding area. Lastly, the request will contribute towards additional housing applicable to the City's Regional Housing Needs Allocation (RHNA). For these reasons, staff recommends approval of the request as conditioned.

The applicant is advised that a partial list of Code requirements has been included as an attachment to the staff report and is not subject to modification. Decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the resolution.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

PROJECT RECOMMENDATION: APPROVAL

FINDINGS OF FACT IN SUPPORT OF APPROVAL OF THE REQUEST:

Findings of fact in support of the subject request are set forth in the attached Resolution.

RECOMMENDED CONDITIONS, IF THE PROJECT IS APPROVED:

Recommended conditions of the subject request are included in the attached Resolution.

Prepared by,

Respectfully submitted,

/s/ Soc Angelo Yumul
Planning Associate

/s/ Leo Oorts
Planning Manager

Attachments:

1. Resolution No. 24-010
2. Location and Zoning Map
3. Project Narrative
4. Code Requirements
5. Average Lot Size and Width Charts
6. Parcel Map (Limited Distribution)

ITEM 8A

ATTACHMENT 1

RESOLUTION NO. 24-010

PLANNING COMMISSION RESOLUTION NO. 24-010

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A FLAG LOT SUBDIVISION OF ONE PARCEL INTO TWO, ON PROPERTY LOCATED IN THE R-1 ZONE AT 2356 239th STREET.

DIV23-00009: ANA LEON (TROY HURST)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application for a Division of Lot filed by Ana Leon (Troy Hurst) to allow a flag lot subdivision of one parcel into two, on property located in the R-1 Zone at 2356 239th Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2356 239th Street;
- b) That the property is described as TRACT # 397 W 55.04 FT OF E 105.08 FT, as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the proposed Division of Lot is consistent with the City's Zoning and General Plan, as conditioned;
- d) That the strict application of any standard prescribed by this Chapter would result in practical difficulties or unnecessary hardship inconsistent with the general purpose and intent of this Chapter, as the proposed lots are consistent with other Single-Family Residential District (R-1 Zone) parcels in the City, and are consistent with the R-1 parcels in the surrounding vicinity;
- e) That there are exceptional circumstances or conditions applicable to the property involved or to the intended use or development of the property in the City being subdivided or resubdivided, because the R-1 parcels in the surrounding area consist of lots ranging in size up to 14,522 square feet gross, thus skewing towards a higher mean average, and the project as proposed will remain consistent with existing development trends in the immediate area;
- f) That the granting of the exception will not be materially detrimental to the public welfare nor injurious to the property or improvements in the immediate vicinity as the use of the property will continue to be for residential purposes;
- g) That the granting of the exception will not be contrary to the objectives of this Chapter because the resulting lots meet the dimensions required in the R-1 Zone, provide at least 6,000 square feet gross, and remain consistent with the development pattern in the immediate area;
- h) That the proposed Division of Lot meets the minimum lot dimension requirements, provides at least 6,000 square feet gross per lot, and is appropriate for the R-1 Zone;
- i) That the existing parcel is physically suitable for the type of development for the R-1 Zone;

- j) That the proposed Division of Lot will not interfere with the orderly development of the City and will be compatible with the existing pattern of development because the lots will retain the R-1 Zoning and retain the Residential Low-Density General Plan Land Use Designation;
- k) That the proposed Division of Lot will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as minor land divisions involving the creation of four or fewer parcels in urbanized areas are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Section 15315;
- l) That the proposed Division of Lot is consistent with the City's Zoning because the zone will not change as part of the request;
- m) That the Division of Lot will not cause serious public health problems as the proposed flag lot subdivision, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;
- n) That the proposed Division of Lot will not conflict with any public access or easements as all means of public access are provided on 239th Street; and

WHEREAS, the Planning Commission by the following roll call vote APPROVED DIV23-00009, subject to conditions:

AYES: COMMISSIONERS:
 NOES: COMMISSIONERS
 ABSENT: COMMISSIONERS:
 ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that DIV23-00009, filed by Ana Leon (Troy Hurst) to allow a flag lot subdivision of one parcel into two, on property located in the R-1 Zone at 2356 239th Street, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the development and use of the subject properties for residences shall be subject to all conditions imposed in Division of Lot 23-00009 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the use shall be maintained in conformance with such maps, plans, drawings, specifications, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Division of Lot is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period of time as provided for in Section 92.27.1;
3. That no additional curb cuts shall be allowed along 239th Street; (Planning)

4. That the official public notice sign and wood stake shall be returned to the Community Development Department within 30 days of the public hearing date to the satisfaction of the Community Development Director; (Planning)
5. That centerline ties be filed with and checked by the Community Development Department, Engineering Division; (Engineering)
6. That private water, sewer, drainage, and all other utility easements shall be reserved over Parcel 1 for the benefit of Parcel 2. The width of easements shall be confirmed by the Engineering Division of the Community Development Department before any public and private improvements, and shown on the Final Parcel Map; (Engineering)
7. That separate private storm drain lines with curb drains shall be constructed for each individual dwelling lot prior to the Final Parcel Map recordation. The storm drain line for Parcel 2 shall be constructed up to the southerly lot line of Parcel 1 at a minimum; (Engineering)
8. That a separate sewer lateral for future connection to the public mainline on 239th Street shall be constructed for Parcel 2 prior to the Final Parcel Map recordation. The lateral for Parcel 2 shall be constructed up to the southerly lot line of Parcel 1 at a minimum; (Engineering)
9. That water service with radio meter system shall be constructed for each individual dwelling lot prior to Final Parcel Map recordation. The water line for Parcel 2 shall be constructed up to the southerly lot line of Parcel 1 at a minimum; (Engineering)
10. That a private water easement shall be reserved over Parcel 1 for the benefit of Parcel 2. The easement shall be approximately 12 feet long and 5 feet wide, parallel to back of walk and connects to the 11 foot wide cross access easements. The easements shall be shown on the Final Parcel Map; and (Engineering)
11. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 20th day of March 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

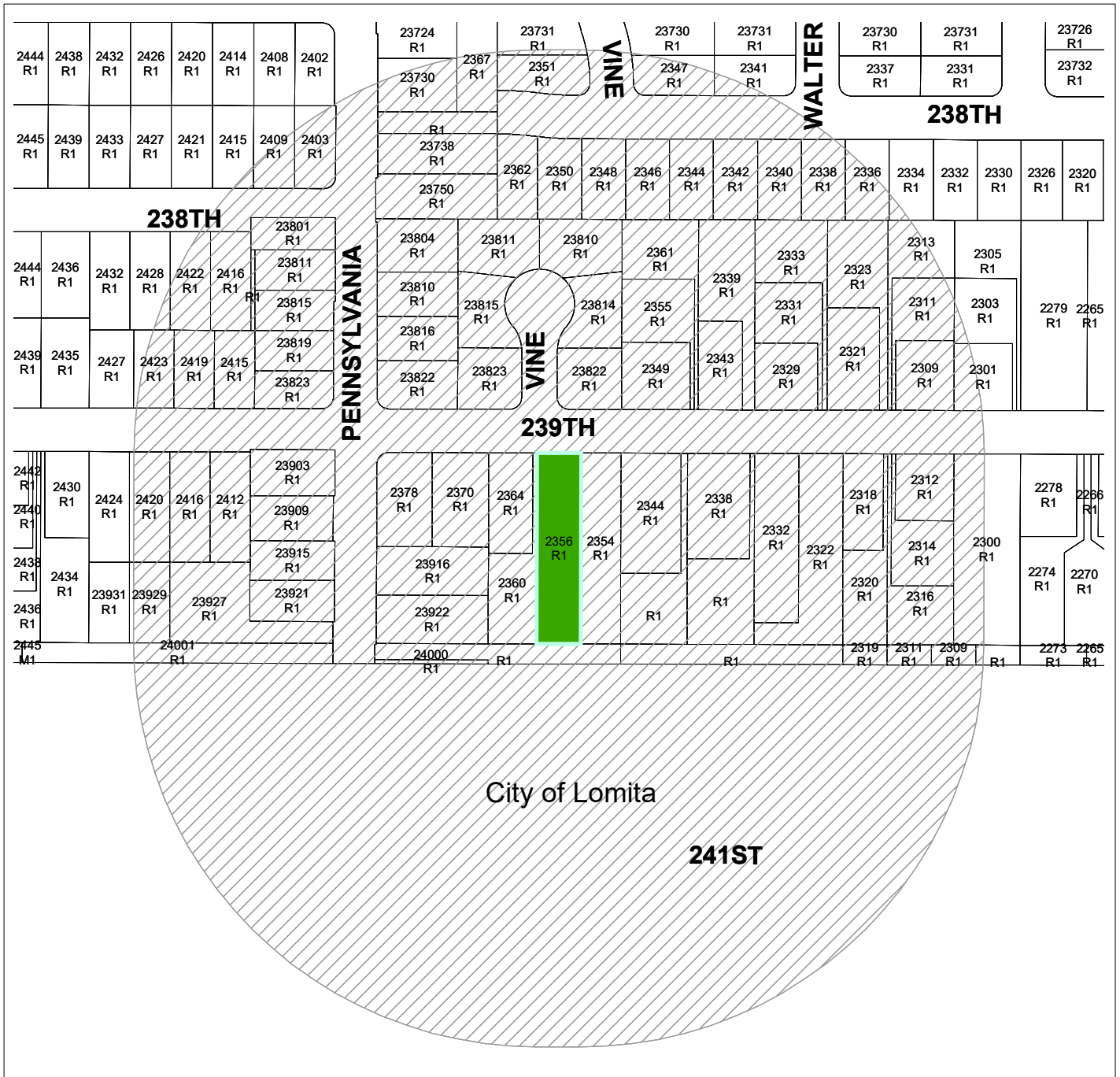
ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A

ATTACHMENT 2

LOCATION AND ZONING MAP





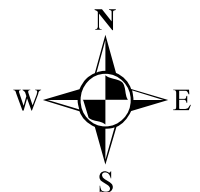
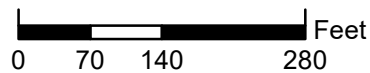
LOCATION AND ZONING MAP

DIV23-0009
2356 W 239th St



LEGEND

-  Notification Area
-  2356 W 239th St



ITEM 8A
ATTACHMENT 3
PROJECT NARRATIVE

PROJECT NARRATIVE

PARCEL MAP NO. 84310, 2356 W 239TH ST TORRANCE

BACKGROUND:

THE PARCEL IN QUESTION HAS BEEN OWNED BY THE FOLLICK FAMILY SINCE THE 1960's. EVENTUALLY PASSED OWNERSHIP TO THEIR CHILD, DAN FOLLICK WHO PASSED AWAY IN 2023. LOT 22 TRACT # 357 WAS ORIGINALLY 105.08'X237'. IT WAS LATER DIVIDED INTO W 55.04 FT OF E 105.08 FT EX OF ST OF LOT 22 AND E 50.04 FT EX OF ST OF LOT 22 FOR SINGLE FAMILY RESIDENCE USE. SINCE THEN, MANY OF THE SURROUNDING LOTS HAVE DEVELOPED TO SIMILAR SIZED LOTS AND HAS SINCE BEEN SUBDIVIDED INTO FLAG LOTS.

PROPOSED PROJECT:

IT IS PROPOSED TO SUBDIVIDE THIS 13,086.12 SQ FT PARCEL INTO 2 FLAG LOTS WITH PARCEL 1 BEING 6,426.10 SQFT, 49.11% PERCENTAGE OF THE TOTAL LOT, AND PARCEL 2 BEING 6,660.02 SQFT, 50.89% PERCENTAGE OF THE TOTAL LOT. EACH PARCEL IS PLANNED FOR A SINGLE-FAMILY RESIDENCE WITH AN ACCESSORY DWELLING UNIT. THE LAND WILL NOW HAVE A TOTAL OF (2) SINGLE-FAMILY RESIDENCE AND (2) ACCESSORY DWELLING UNITS RATHER THAN THE EXISTING SINGLE RESIDENCE.

COMPLIANCE:

LAND USE- WE CURRENTLY HAVE A HOUSING CRISIS IN THE STATE OF CALIFORNIA. IN THE CITY OF TORRANCE ALONE, THE HOMELESS POPULATION JUMPED 30% FROM 2022 TO 2023. IT SEEMS WE ARE NOT TAKING ADVANTAGE OF THE LAND USE WHEN PERMITTING 13,086.21 SQFT OF USABLE SPACE TO ONLY SERVICE A SINGLE FAMILY.

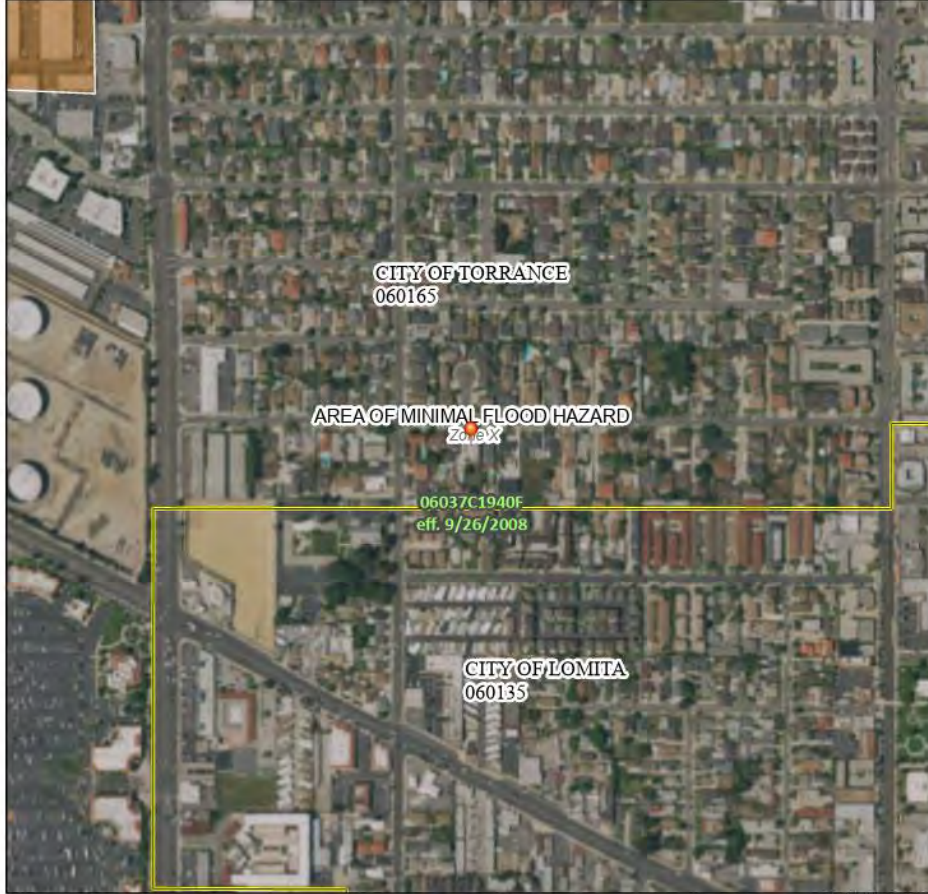
WE ALSO BELIEVE OUR PROJECT WILL FIT THE NEIGHBORHOOD NICELY. JUST ALONG ON 239TH, THERE ARE MULTIPLE FLAG LOTS SIMILAR IN SIZE AND CONFIGURATION.

NATIONAL FLOOD HAZARD PROGRAM- OUR PROJECT IS LOCATED IN A MINIMAL FLOOD HAZARD ZONE. THE FLOOD MAP IN THE AREA IS NUMBER 06037C1940F, EFFECTIVE ON 9/26/2008, PRESENTED BELOW.

National Flood Hazard Layer FIRMette



118°19'47"W 33°48'42"N



Legend

SEE HIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, AE9
- With BFE or Depth Zone AE, AO, AH, VE, AP
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/6/2024 at 11:58 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

MUNICIPAL SERVICES AND UTILITIES:

VEHICULAR ACCESS- 239TH ST IS 54' WIDE ROAD. THE PROPOSED SUBDIVISION WILL HAVE A 11' DRIVEWAY THAT WILL SERVE AS ACCESS TO THE FRONT AND REAR PARCELS.

SEWERAGE- PUBLIC MAINLINE SEWER AVAILABLE IN 239TH STREET

DRAINAGE- THE NATURAL TERRIAN OF THE LAND IS IDEAL FOR ADDITIONAL RESIDENCES AS THE REAR OF THE LOT HAS NATURAL SURFACE WATER DRAINING NORTH TOAWRD 239TH ST, WHERE IT IS COLLECTED BY THE CURB GUTTER.

TORRANCE MUNICIPAL WATER- AVAILABLE IN 239TH STREET.

ELECTRIC POWER, TELEPHONE, & CABLE - AVAILABLE IN 239TH STREET

REFUSE DISPOSAL- TORRANCE MUNICIPAL COLLECTION.

EDUCATION- TORRANCE ELEMENTARY, MIDDLE, AND HIGH SCHOOLS ARE AVAILABLE AND HAVE CAPACITY TO SERVE.

ITEM 8A
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with all California Codes and Torrance Ordinances.

ENGINEERING

2. A Building & Safety permit is required from the Community Development Department for any onsite improvements.
3. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on 239th St (74.6.2).
4. Reconstruct driveway apron per City of Torrance standards with 13 foot minimum driveway width and $X = 3$ feet.
5. Replace grinded, lifted, and cracked sidewalk along the project frontage on 239th Street per City of Torrance standards.
6. All the required easements for ingress, egress, sewer, drainage, water and utilities shall be shown on the Final Map.
7. For R-1 Zones, Final Map must record prior to obtaining building permits for Parcel 2.
8. All Final Parcel Maps are to be compiled from field survey data unless otherwise approved by the City Engineer (92.29.7).

PLANNING

9. For flag lot subdivisions located in the R-1 zone, the following off-street parking shall be provided:
 - Not less than one off-street, guest parking space shall be provided on each interior flag lot.
 - Garage doors shall face the required access easement, and shall be set back not less than 20 feet from the inside edge of the access easement to provide for the parking of two vehicles.
 - In cases where a lot size prohibits parking two vehicles in front of garage doors, there shall be provided two open parking spaces elsewhere on the lot; however, in no case shall this parking be provided in the required front yard setback.

ITEM 8A

ATTACHMENT 5

AVERAGE LOT SIZE AND WIDTH CHARTS

<u>AREA</u>	<u>APN</u>	<u>PROPERTY ADDRESS</u>	<u>ZONING</u>	<u>GEN PLAN</u>
699.75	7374-009-114	24000 PENNSYLVANIA AVE	R1	R-LO
4,557.42	7371-009-033	23823 PENNSYLVANIA AVE	R1	R-LO
4,899.93	7371-009-032	23819 PENNSYLVANIA AVE	R1	R-LO
4,927.81	7371-009-031	23815 PENNSYLVANIA AVE	R1	R-LO
5,145.28	7374-006-049	23915 PENNSYLVANIA AVE	R1	R-LO
5,262.96	7371-028-059	2362 238TH ST	R1	R-LO
5,355.96	7374-006-050	23921 PENNSYLVANIA AVE	R1	R-LO
5,454.11	7371-028-061	2348 238TH ST	R1	R-LO
5,454.11	7371-028-062	2346 238TH ST	R1	R-LO
5,500.09	7371-028-053	23816 PENNSYLVANIA AVE	R1	R-LO
5,500.09	7371-028-054	23810 PENNSYLVANIA AVE	R1	R-LO
5,519.96	7371-028-060	2350 238TH ST	R1	R-LO
5,767.91	7374-006-048	23909 PENNSYLVANIA AVE	R1	R-LO
5,951.62	7371-028-052	23822 PENNSYLVANIA AVE	R1	R-LO
5,984.95	7374-006-047	23903 PENNSYLVANIA AVE	R1	R-LO
6,006.28	7371-028-077	23823 VINE AVE	R1	R-LO
6,040.97	7371-028-082	23822 VINE AVE	R1	R-LO
6,049.91	7371-028-100	2343 239TH ST	R1	R-LO
6,051.11	7371-028-078	23815 VINE AVE	R1	R-LO
6,096.95	7371-028-081	23814 VINE AVE	R1	R-LO
6,473.87	7371-028-090	2329 239TH ST	R1	R-LO
6,594.50	7371-028-055	23804 PENNSYLVANIA AVE	R1	R-LO
6,797.99	7371-028-091	2331 239TH ST	R1	R-LO
6,875.09	7374-009-046	2364 239TH ST	R1	R-LO
6,876.64	7371-028-079	23811 VINE AVE	R1	R-LO
6,879.96	7374-009-CONDO01		R1	R-LO
6,913.97	7374-009-CONDO02		R1	R-LO
6,918.59	7371-028-080	23810 VINE AVE	R1	R-LO
7,097.36	7371-028-097	2349 239TH ST	R1	R-LO
7,347.45	7374-009-047	2360 239TH ST	R1	R-LO
7,482.49	7371-028-098	2355 239TH ST	R1	R-LO
7,821.21	7371-028-099	2361 239TH ST	R1	R-LO
7,982.26	7374-009-098	2378 239TH ST	R1	R-LO
8,190.12	7374-009-039	2370 239TH ST	R1	R-LO
8,320.20	7374-009-044	23916 PENNSYLVANIA AVE	R1	R-LO
8,327.46	7374-009-045	23922 PENNSYLVANIA AVE	R1	R-LO
8,399.00	7371-028-056	23750 PENNSYLVANIA AVE	R1	R-LO
8,482.38	7374-009-133	2348 239TH ST	R1	R-LO
9,550.49	7374-009-135		R1	R-LO
9,652.59	7374-011-007	24001 PENNSYLVANIA AVE	R1	R-LO
10,160.80	7374-009-134	2338 239TH ST	R1	R-LO
10,455.29	7371-028-072	2339 239TH ST	R1	R-LO
11,073.21	7374-009-132	2344 239TH ST	R1	R-LO
11,551.83	7374-009-096	2332 239TH ST	R1	R-LO
11,696.07	7374-009-041	2354 239TH ST	R1	R-LO
12,768.79	7374-006-057	23927 PENNSYLVANIA AVE	R1	R-LO
14,521.75	7374-009-101	2322 239TH ST	R1	R-LO

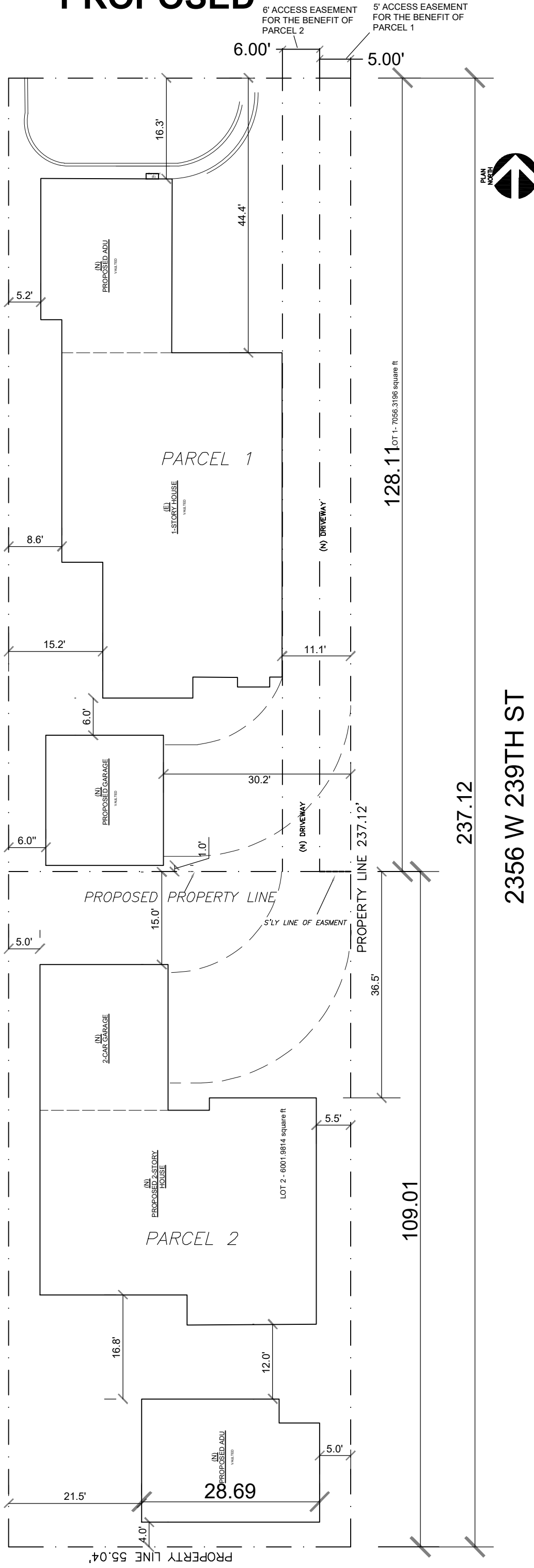
7,264.65	AVG LOT SIZE
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<u>LOT WIDTH</u>	<u>APN</u>	<u>PROPERTY ADDRESS</u>	<u>ZONING</u>	<u>GEN PLAN</u>
30	7371-028-079	23811 VINE AVE	R-1	R-LO
30	7371-028-080	23810 VINE AVE	R-1	R-LO
39.5	7371-009-033	23823 PENNSYLVANIA AVE	R-1	R-LO
50	7371-009-031	23815 PENNSYLVANIA AVE	R-1	R-LO
50	7371-009-032	23819 PENNSYLVANIA AVE	R-1	R-LO
50	7374-006-049	23915 PENNSYLVANIA AVE	R-1	R-LO
50.04	7374-009-041	2354 239TH ST	R-1	R-LO
50.14	7371-028-059	2362 238TH ST	R-1	R-LO
51	7374-006-050	23921 PENNSYLVANIA AVE	R-1	R-LO
54.54	7371-028-061	2348 238TH ST	R-1	R-LO
54.54	7371-028-062	2346 238TH ST	R-1	R-LO
54.91	7371-028-060	2350 238TH ST	R-1	R-LO
54.92	7374-009-046	2364 239TH ST	R-1	R-LO
55	7371-028-056	23750 PENNSYLVANIA AVE	R-1	R-LO
55	7371-028-054	23810 PENNSYLVANIA AVE	R-1	R-LO
55	7371-028-053	23816 PENNSYLVANIA AVE	R-1	R-LO
55	7371-028-100	2343 239TH ST	R-1	R-LO
55	7374-009-096	2332 239TH ST	R-1	R-LO
55	7374-009-101	2322 239TH ST	R-1	R-LO
56	7374-006-047	23903 PENNSYLVANIA AVE	R-1	R-LO
56	7374-006-048	23909 PENNSYLVANIA AVE	R-1	R-LO
56.78	7371-028-052	23822 PENNSYLVANIA AVE	R-1	R-LO
60	7374-009-044	23916 PENNSYLVANIA AVE	R-1	R-LO
60	7374-009-045	23922 PENNSYLVANIA AVE	R-1	R-LO
63.5	7374-009-098	2378 239TH ST	R-1	R-LO
67	7371-028-055	23804 PENNSYLVANIA AVE	R-1	R-LO
70	7374-009-039	2370 239TH ST	R-1	R-LO
72.89	7371-028-077	23823 VINE AVE	R-1	R-LO
72.89	7371-028-082	23822 VINE AVE	R-1	R-LO
74.54	7374-009-132	2344 239TH ST	R-1	R-LO
77.55	7374-009-134	2338 239TH ST	R-1	R-LO
78	7371-028-090	2329 239TH ST	R-1	R-LO
85	7371-028-097	2349 239TH ST	R-1	R-LO
96.82	7371-028-078	23815 VINE AVE	R-1	R-LO
96.82	7371-028-081	23814 VINE AVE	R-1	R-LO

59.81	AVG LOT WIDTH
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ITEM 8A
ATTACHMENT 6
PARCEL MAP

PROPOSED



2356 W 239TH ST
PRELIMINARY PROPOSED -PLOT PLAN

SCALE 1/16"=1'-0"

AGENDA ITEM NO. 8B

CASE TYPE & NUMBER: Precise Plan of Development – PRE23-00012
Waiver – WAV23-00010

NAME: Corie Saxman (Azhar and Farah Hameed)

PURPOSE OF APPLICATION: Request for approval of a Precise Plan of Development to allow first and second-story additions to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, on property located within the Hillside Overlay in the R-1 Zone.

LOCATION: 4501 Via Corona

ZONING: R-1 Single-Family Residential District / R-H Hillside Overlay

ADJACENT ZONING AND LAND USE:

NORTH: R-1 / R-H Undeveloped City Property
SOUTH: R-1 / R-H One and Two-Story Single-Family Residences
EAST: R-1 / R-H Undeveloped City Property
WEST: R-1 / R-H One-Story Single-Family Residences

GENERAL PLAN DESIGNATION: Low Density Residential

COMPLIANCE WITH GENERAL PLAN: The site has a General Plan land use designation of Low Density Residential allowing up to nine dwelling units per acre. Development in the Low Density Residential (R-LO) land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The first and second-story additions to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, is consistent with the Low Density Residential land use designation.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: The subject property contains a two-story single-family residence with a two-car garage, constructed in 1968. At that time, construction of the residence required a Waiver (W67-96) to allow a reduction of the rear yard setback for the garage, as it was noted that the property fronts Vista Montana. In 1998, a Minor Hillside Exemption (MIS98-00221) allowed a room addition to the south side of the property. Most recently, the previous homeowner was approved, through the Minor Hillside exemption, to allow the construction of retaining wall along the southern property line. The building experienced severe fire damage circa May 2018. The topography of the lot descends approximately 20’ from west to east with the building pad situated below Via Corona.

ENVIRONMENTAL FINDINGS: In residential zones, the first and second-story additions to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Sections 15301 - Existing Facilities and 15305 - Minor Alterations.

ANALYSIS:

The project applicant, Corie Saxman, requests approval by the Planning Commission to allow first and second-story additions and remodel to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona. The development standards of the R-1 Zone (Single Family Residential District) as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of a Precise Plan of Development (PRE) to allow new construction above 14’ in height. The balance of this report provides an overview of the project.

Project Site

The project is situated on an irregular shape lot measuring 16,875 square feet in area, which exceeds the minimum lot area and minimum dimensions required in the R-1 Zone. Located atop a hillside area, Via Corona ascends towards the project site. The project site is orientated toward the west and is located at the southern terminus of Via Corona. The two-story residence appears to be a single story when viewed from the west but leverages the hillside slope to accommodate the additional floor below. The pad height of the adjacent one-story residence to the west at 4505 Via Corona sits slightly above the project site. Similarly, the pad height of the adjacent residences to the south sit significantly above the project site due to the hillside topography.

Staff notes the property contains a retaining wall that extends along the south side of the driveway that was constructed with approval of a building permit; however, the final inspection was not completed, and the permit has since expired. Additionally, staff also observed a series of retaining walls and offsite improvements on City-owned property to the east that were also constructed without a permit. Staff recommends a condition of approval that the applicant continue to work with staff to obtain the proper building permits for the retaining walls along the driveway, and that the applicant shall continue to work with staff for removal of the retaining walls and offsite improvements located on City-owned property prior to permit issuance for the remodel.

Building Setbacks

The residence is positioned at the south end of the lot and provides an existing nonconforming 4' 9" interior side yard setback to the westerly property line, a 68' 5" exterior side yard setback to the northerly property line, a 40' 3" rear yard setback to the easterly property line, and a nonconforming 4' interior side yard setback to the southerly property line. Staff notes the existing residence has a nonconforming 2.35' interior side yard setback to the southerly side property line that will be increased to 4' as part of the proposed remodel, which continues to encroach into the 14' interior side yard setback that is required for the irregular shape lot. The applicant has requested a Waiver for these existing conditions. Staff also notes per Torrance Municipal Code Section 91.2.37 the front yard setback is measured from the narrowest street frontage of the irregular shape lot, therefore the 20' front yard setback is measured from the property line along Via Corona.

Building Height

The residence consists of two floor levels and measures 26.6' in height from the topmost ridgeline (113.50') down to the existing lowest adjacent grade (86.80') along the west side of the residence, within the allowable 27' height limit for a two-story residence in the R-1 Zone. Staff notes for properties located within the Hillside Overlay, new construction is allowed to exceed 14' in height with approval by the Planning Commission. Staff also notes the overall height of the residence is approximately 6" lower than topmost ridgeline of the existing residence (114.08').

Building Architecture

The residence demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Exterior finishes are consistent with new residential construction in the vicinity, as the design features a modern style with a combination of stucco siding and wood finishes. Additional features include a deck with city views toward the northwest, which promote quality experience and increased value.

Building Floor Plan

The residence consists of two floor levels with the main living areas and garage located above and bedrooms down below. The lower level, referenced as first level on plans, measures 2,369 square feet and features a Master Suite, a guest bedroom with a full bath, and a family room with a full bath. It also includes a mechanical room, and a laundry room. The upper level living area measures 1,894 square feet and features a great room, kitchen, guest room. The attached garage is also located on the upper level and measures 475 square feet.

Lot Coverage, Open Space, and Floor Area Ratio

As previously noted in the report, the residence is positioned at the south end of the subject lot . The total usable open space areas measure 13,528 square feet (80%), which meets the 33% minimum open space requirement of the R-1 Zone. The total land area covered by the residence measures 3,347 square feet (20%), within the allowable 40% lot coverage limit of the R-1 Zone. Utilizing gross square feet, the residence measures 4,412 square feet in floor area resulting in a 0.26 Floor Area Ratio (FAR), within the allowable 0.60 FAR limit of the R-1 Zone for two-story residences.

Provided below is a summary of the proposed additions:

4501 Via Corona	
Lot Area	16,875 sf
Proposed Building Height	26.6 ft
Maximum Two-Story Building Height Limit	27 ft
Proposed First Floor Area	1,894 sf
Proposed Second Floor Area	2,043 sf
Propose Garage Floor Area	475 sf
Proposed Total Floor Area	4,412 sf
Proposed Lot Coverage	20% 3,347 sf
Maximum Lot Coverage Limit	40% 6,750 sf
Proposed Floor Area Ratio	0.26 FAR
Maximum Floor Area Ratio Limit	0.60 FAR
Proposed Open Space Area	80% 13,528 sf
Minimum Open Space Requirement	33% 5,625 sf

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed additions to the existing residence to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 4) and staff made field assessments on February 21, 2024.

During the field assessments, staff attempted to contact the neighboring property at 4505 Via Corona, with the purpose of conducting outreach, sharing the project plans, and for consideration of any potential substantial adverse impacts the proposed additions to an existing two-story residence may have on view, light, air, and privacy. Field assessments were not conducted from other properties located along Via Corona, nor from Paseo de las Tortugas, due to their distance away from the project site and, in the judgement of staff, the unlikelihood to have a substantial adverse impact to view, light, air and privacy.

As of the preparation of this report, no communication has been received.

In the judgement of staff, based on field observations made from Via Corona, the silhouette placement, and existing site conditions, the proposed additions to an existing two-story residence does not appear to produce substantial adverse impacts to surrounding view, light, air, or privacy of the neighboring properties within the Hillside Overlay.

Existing Nonconforming Setbacks

Per Torrance Municipal Code Section 91.4.5 the interior side yard setback requirement for a two-story residence is 10% of the lot width. Due to the irregular shape lot, a 14' side yard setback is required from the interior property line.

As previously mentioned, the remodeled residence will maintain a nonconforming 4' 9" interior side yard setback along the westerly property line, and a nonconforming 2.35' interior side yard setback will be increased to 4' along the southerly side property line, and therefore necessitates a Waiver to allow a reduction of the development standard. The applicant was required to provide facts to substantiate the criteria by which the Planning Commission may grant the Waiver (Attachment 5). Staff notes that no other reductions have been incorporated into the project.

Criteria for Granting a Waiver

The Planning Commission may grant a Waiver of development standards relating to front, rear, and side yard requirements, court requirements, building heights, and distances between buildings. The criteria for granting a Waiver are specified in Section 94.2.4 of the Torrance Municipal Code, which states:

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

In the judgement of staff, the request for a Waiver of the side yard setback requirement, in conjunction with first and second-story additions to a two-story single-family residence is deemed appropriate due to existing site conditions. Strict enforcement of the side yard setback requirement would result in unreasonable difficulties attributed to the hillside topography and current site conditions. Removing the existing deck would impose unnecessary hardship due to the cost of demolition and site work on the existing hillside. Additionally, the applicant proposes to maintain the existing nonconforming setbacks due to the building placement on the hillside. Granting of the Waiver will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof. The deck will not be visible from public view due to placement along the hillside. Lastly, granting of the Waiver will not substantially interfere with the orderly development of the City. The deck would not interfere with any future improvements on adjacent properties including those on public right of way.

Conclusion

In judgement of staff, the proposed additions and remodel conforms to the planning and design provisions of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. For example, the remodel proposes to reduce the overall height, thus limiting the potential to have a substantial adverse impact to view. While the project expands the building envelope, it does not create the potential for significant impairments to view, light, air, or privacy. The project is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request complies with the objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation.

In the judgment of the staff, a Waiver of the side yard setback requirement satisfies the hardship criteria for approval. The proposed additions will maintain the existing setbacks as it will not have a significant impact on adjacent properties.

The applicant is advised that Code requirements have been included as an attachment to the staff report and are not subject to modification. Decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the resolution.

PROJECT RECOMMENDATION: APPROVAL

FINDINGS OF FACT IN SUPPORT OF APPROVAL OF THE PRECISE PLAN AND WAIVER:

Findings of fact in support of approval of the Precise Plan and Waiver are set forth in the attached Resolutions.

RECOMMENDED CONDITIONS, IF PROJECT IS APPROVED:

Recommended conditions of the proposed project are set forth in the attached Resolutions .

Prepared by,

Respectfully submitted,

/s/ Luis Velazquez
Planning Assistant

/s/ Leo Oorts
Planning Manager

Attachments:

1. Resolution Nos. 24-011 and 24-012
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Waiver Substantiation
6. Code Requirements
7. Project Plans (Limited Distribution)

ITEM 8B
ATTACHMENT 1
RESOLUTIONS

PLANNING COMMISSION RESOLUTION NO. 24-011

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW FIRST AND SECOND-STORY ADDITIONS TO A TWO-STORY SINGLE-FAMILY RESIDENCE, IN CONJUNCTION WITH A WAIVER OF THE SIDE YARD SETBACK REQUIREMENT, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 4501 VIA CORONA.

PRE23-00012: CORIE SAXMAN (AZHAR AND FARAH HAMEED)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application for a Precise Plan of Development filed by Corie Saxman (Azhar And Farah Hameed) to allow first and second-story additions to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 4501 Via Corona;
- b) That the property is described as Lot 51 of Tract 23988 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the first and second-story additions to a two-story single-family residence is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15301 - Existing Facilities;
- d) That the proposed additions, as conditioned, comply with the objective development standards of the R-1 Zone and are consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed additions, as conditioned, will not have a substantial adverse impact upon the view, light, air and privacy of other properties in the vicinity because the proposed additions are below the maximum two-story building height limit and conform with neighboring one and two-story structures, thus limiting the potential to have impacts onto the adjacent properties;
- f) That the proposed additions, as conditioned, have been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity because the proposed additions are below the maximum two-story building height limit and conform with neighboring one and two-story structures, thus limiting the potential to have substantial impacts onto the adjacent properties;
- g) That the design of the proposed additions, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the architecture

demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Exterior finishes are consistent with new residential construction in the vicinity, such as the combination of stucco and wood siding;

- h) That the design of the proposed additions, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the residence maintains a one-story profile when viewed from the west, does not appear to adversely impact view, light, air or privacy, and will not result in a substantial change in the physical conditions which exist in the area;
- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single-family residence is an appropriate use for this property and the proposed additions, as conditioned, have been designed so as to limit potential adverse impacts to view, light, air, and privacy; and
- j) That the proposed additions, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the remodeled residence complies with the objective development standards of the R-1 Zone and the provisions of the Hillside Overlay District, and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- k) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height in order to maintain as much outdoor recreation space as possible, and to upgrade the exterior to reflect a contemporary design, similar to other residences in the vicinity;
- l) That denial of such an application to increase the height would result in an unreasonable hardship to the applicant because the proposed residence, as conditioned, complies with the objective development standards of the R-1 Zone, conforms to the planning and design provisions of the Hillside Overlay, and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance; and
- m) That granting such application to increase the height, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because the proposed first and second story additions to an existing two-story residence complies with all setbacks, complies with lot coverage and floor area ratio requirements, and there are other two-story structures in the surrounding area.

WHEREAS, the Planning Commission by the following roll call vote APPROVED PRE23-00012, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE23-00012 filed by Corie Saxman (Azhar and Farah Hameed) to allow first and second-story additions to a two-story single-family residence, in conjunction with a Waiver of the side yard setback requirement, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 23-00012 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the maximum height of the residence at the highest point of the roof shall not exceed 26.6' as represented by the survey elevation of 113.50' based on the proposed lowest adjacent grade of 86.80' located at the front of the residence, based on a benchmark elevation of 41.48' located at the northwest corner of the property as shown on the official survey map on file in the Community Development Department. The final height of the shall be certified by a licensed surveyor/engineer prior to requesting a framing of roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That a copy of Planning Commission Resolution Nos. 24-011 and 24-012 shall appear on the building plans associated with the proposed additions to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
6. That the official public notice sign and wood stake shall be returned to the Community Development Department within 30 days of the public hearing date to the satisfaction of the Community Development Director; (Planning)
7. That the applicant shall continue to work with staff to obtain the proper building permits for the retaining walls along the driveway; (Planning)
8. That the applicant shall continue to work with staff for removal of the retaining walls and offsite improvements located on City-owned property prior to permit issuance for the remodel; (Planning)
9. That all conditions of WAV23-00010 shall be met; (Planning)
10. That applicant will remove plants that are within the City Easement along Vista Montana except for the trees; (Streetscape)
11. That the applicant shall hire a soils engineer/geotechnical engineer to evaluate the hillside erosion on the property and execute necessary repairs to the satisfaction of the Building Official and the Torrance Municipal Code; and (Grading)

12. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, and adopted this 20th day of March 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-012

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A WAIVER AS PROVIDED FOR IN DIVISION 9, CHAPTER 4, ARTICLE 2 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A WAIVER OF THE SIDE YARD SETBACK REQUIREMENT, IN CONJUNCTION WITH A PRECISE PLAN OF DEVELOPMENT TO ALLOW FIRST AND SECOND-STORY ADDITIONS TO A TWO-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 4501 VIA CORONA.

WAV23-00010: CORIE SAXMAN (AZHAR AND FARAH HAMEED)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application for a Waiver filed by Corie Saxman (Azhar and Farah Hameed) to allow a Waiver of the side yard setback requirement, in conjunction with a Precise Plan of Development to allow first and second-story additions to a two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 4, Article 2 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 4501 Via Corona;
- b) That the property is described as Lot 51 of Tract 23988 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That a setback waiver is Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15305 – Minor Alterations;
- d) That the project complies with the objective development standards of the R-1 Zone to the extent applicable, except for the side yard setback requirement, and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That strict enforcement of the side yard setback will result in unreasonable difficulties due to the existing site conditions, including the lot shape and topography;
- f) That the waiver of the side yard setback requirement will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof because the proposed additions, as conditioned, comply with all other applicable development standards of the R-1 Zone. Furthermore, the proposed additions do not appear to adversely impact view, light, air, or privacy; and
- g) That the waiver of the side yard setback requirement will not substantially interfere with the orderly development of the City because the proposed additions will maintain the land use as a single-family residence which is consistent with the R-1 Zone and the Low Density Residential land use designation.

WHEREAS, the Planning Commission by the following roll call vote APPROVED WAV23-00010, Subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that WAV23-00010 filed by Corie Saxman (Azhar and Farah Hameed) to allow a Waiver of the side yard setback requirement, in conjunction with a Precise Plan of Development to allow first and second-story additions to a two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 4501 Via Corona, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Waiver 23-00010 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Waiver is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the proposed interior south side yard setback shall be no less than 4' as shown on proposed plans; (Planning)
4. That the existing non-conforming interior west side yard setback shall be no less than 4'-9" as shown on the project plans on file; (Planning)
5. That all conditions of Precise Plan of Development 23-00012 shall be met. (Planning)

Introduced, and adopted this 20th day of March 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

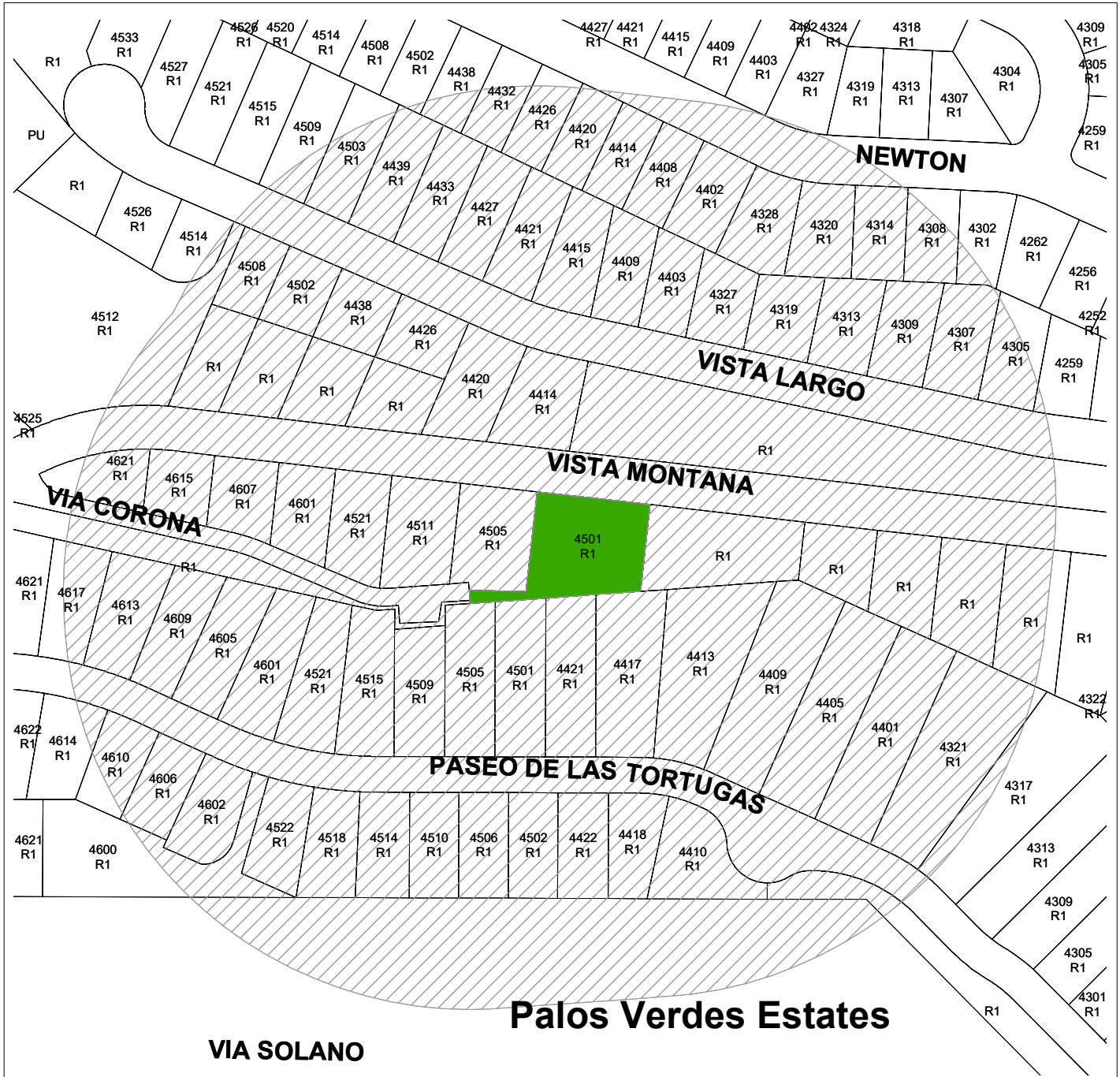
ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B

ATTACHMENT 2

LOCATION AND ZONING MAP





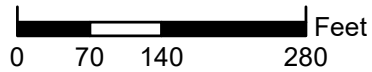
LOCATION AND ZONING MAP

PRE23-00012, WAV23-00010
4501 VIA CORONA



LEGEND

-  Notification Area
-  4501 Via Corona



ITEM 8B

ATTACHMENT 3

HILLSIDE OVERLAY SUBSTANTIATION



City of Torrance, Community Development Department, Planning Division
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Substantiation Form

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

1. PLANNING AND DESIGN (SECTION 91.41.6)

- a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:**

The proposed design reduces the overall height of the existing residence by 7" and significantly improves the beauty of the neighborhood by repairing a dilapidated structure which was destroyed by an electrical fire and has since remained an eyesore.

- b) The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:**

The proposed addition / renovation is modest in size and scope. It only adds 394 sf to the existing residence and that square footage is within the existing footprint of the home. The homes existing footprint is tucked away from the neighboring homes providing privacy to it's neighbors and not diminishing views, light or air.

- c) The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:**

The proposed renovation/ addition maintains the existing material palette (stucco and wood), staying within the current visual character of the neighborhood.

d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:

The proposed development will improve land values of its neighboring properties by removing a neighborhood eyesore of a burnt structure.

e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:

The proposed renovation / addition is located at the end of Via Corona and on the lower position on the hillside than adjacent properties, therefore having minimal visual impact throughout construction / execution of the project.

f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:

- 1) the project reduces overall roof height
- 2) the project improves a current neighborhood eyesore, which is uninhabited and severely damaged
- 3) The project has a modest increase to square footage (under 400sf) and all within the existing footprint of the home
- 4) Material choices are in keeping with the adjacent properties (stucco and wood)

2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)

This section must be completed if any part of the existing building would increase in height.

a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:

Not Applicable

b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

Not Applicable

c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

Not Applicable

3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

Not Applicable

b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

Not Applicable

ITEM 8B

ATTACHMENT 4

SILHOUETTE CERTIFICATION



City of Torrance, Community Development Department Michelle G. Ramirez, Director
3031 Torrance Blvd., Torrance, CA 90503 (310) 618-5990 Fax: (310) 618-5829

Height and Location Certification

The survey must be performed by a licensed land surveyor or civil engineer and should be accompanied by a map which shows the location of the bench mark and the locations where the measurements were taken. The map should also show the location of existing and proposed structures.

SILHOUETTE CERTIFICATION

I have surveyed the silhouette located at 4501 VIA CORONA
(address)

on June 9, 2023, based on plans submitted to the City of Torrance
(date)

by HAM DESIGN GROUP on July 2022. The survey was taken
(applicant/architect) (date)

from a bench mark located at Fd LTT LS 8418 at OFFSET ON NW CORNER 4501
(address) VIA CORONA

(attached map) which established a base elevation of 41.48'.

The ridge line/highest point of the roof was determined to have an elevation of 113.57'.

The plans indicate that the elevation should be 113.58'.

*I certify that I have measured the location of pertinent features located on the subject property. Based on the plans submitted to the Community Development Department, I have verified that the silhouette/construction accurately represents the proposed structure in terms of **height, building envelope, location on the site, and all setbacks.***

Brian G. O'Neill
Name (please print)

LS 8958
LS/RCE#

Brian G. O'Neill
SIGNATURE

310-318-4776
PHONE

June 11, 2023
DATE



Notes: _____

VISTA MONTANA

FD. LTT LS 8418
EL. 41.48'

LOT 50
23988

TWO STORY WOOD
LOT 50
TRACT #23988

LOWEST EXISTING GRADE 86.8'

TOP POST 113.54'

TOP POST 113.5'

TOP POST 113.54'

TOP POST 113.5'

SPLIT LEVEL STUCCO
LOT 51
TRACT #23988
M.B. 630-1-5

TOP POST 113.52'

TOP POST 113.53'

TOP POST 113.54'

TOP POST 113.53'

TOP POST 113.57'

VIA CORONA

WATER METER ACCESS

ELECTRICAL
CABINET
RACK

ITEM 8B

ATTACHMENT 5

WAIVER SUBSTANTIATION FORM



Waiver Substantiation Form

Pursuant to Article 2, Chapter 4, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant a waiver of the following development standards: front, rear, and side yard setbacks, court requirements, building heights, and distances between buildings.

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

Applicants requesting a waiver must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the waiver.

a) There are practical difficulties or unnecessary hardships resulting from strict enforcement of the development standard based on the following circumstances:

We are requesting a waiver to reduce the interior side yard setback requirement. This is an existing, partially burnt-down home which will need a major renovation due to the fire damage. The existing side yard setback of the home is approx. 2'-4" and the proposed side yard setback is 4'. In order to comply with current code, the home would lose approx. 600 sf of existing footprint, causing the reduction of bedroom and bathroom counts, foundation adjustments, as well as losing parking space in the garage. The wooden deck within the existing setback is non-conforming. The removal would cause unnecessary hardship to the owners due to the cost of demolition and new site work

b) Waiver of the development standard will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof based on the following circumstances:

The proposed side yard adjustment would not be detrimental to adjacent properties. We are proposing an increase in the existing sideyard setback from 2'-4" to 4'-0". The closest neighboring home is approx. 117' away from this proposed setback and the area in between is unlikely to be developed due to the steepness of the hillside. The existing wooden deck is hidden from public view on Vista Montana due to tree coverage. It is also not directly visible from the neighbor's lot due to a change in grade between the two properties resulting in a tall concrete wall which further blocks any view of the deck.

c) Waiver of the development standard will not substantially interfere with the orderly development of the City based on the following circumstances:

The project does not interfere with any city development since it is within all property line and there are no public easements on the property. The existing deck is fully within the property line, approx 5' setback from the neighboring property and approx. 80' setback from Vista Montana. This would not interfere with any future improvements by the neighboring property or the public right-of-way.

ITEM 8B

ATTACHMENT 6

CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2023 CBC, CMC, CEC, CPC & CGBC.

ENVIRONMENTAL

2. Bedroom sizes to be as determined per Torrance Code (92.20.2).
3. For residential uses, the interior dimensions of a two-car garage shall be 18 ft. wide x 20 ft. deep with no encroachments per Torrance Code (93.5.2).
 - Water heater shall not encroach into the required parking area.
 - Washer and dryer shall not encroach into the required parking area.
4. The property shall be landscaped prior to final inspection per Torrance code(92.21.9).

GRADING

5. The applicant shall apply for a grading permit from Building and Safety Division. Grading permit shall be accompanied by two sets of plans and specifications and supporting data consisting of, but not limited to, a geotechnical report. TMC 81.2.49(J103) and TMC 82.2.50 (J104.3).
6. The applicant shall submit a precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. TMC 81.2.49 (J103) and TMC 81.2.50(J104)
7. The applicant shall submit a detailed geotechnical report prepared by a Geotechnical Engineer/Engineering Geologist. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7.
8. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6)
9. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6)

WATER

10. Code requirement applies to existing plumbing and to any modifications made to the plumbing system.

ITEM 8B

ATTACHMENT 7

PROJECT PLANS (LIMITED DISTRIBUTION)

HAM DESIGN GROUP

PRECISE PLAN CHECK

03/08/24

ABBREVIATIONS		SYMBOLS		PROJECT DIRECTORY		LOT LEGAL DESCRIPTION		REVISION SCHEDULE		DRAWING INDEX					
A.F.F.	ABOVE FINISH FLOOR		SECTION	OWNER:	AZHAR & FARAH HAMEED 4726 VIA CORONA TORRANCE, CA 90505 +1 (310) 920 5858 AZHAR.HAMEED@JOOGNOO.COM FARAH@JOOGNOO.COM	LEGAL DESCRIPTION	4501 VIA CORONA TORRANCE, CA 90505	#	DESCRIPTION	DATE	#	DESCRIPTION	PRE	PC	CD
AD	AREA DRAIN		INTERIOR ELEVATION	ARCHITECT	HAM DESIGN GROUP 1798 1/2 WASHINGTON WAY VENICE, CA 90291 INFO@HAMDESIGNGROUP.COM (409) 267 1061	PROPERTY ADDRESS	4501 VIA CORONA TORRANCE, CA 90505								
ALUM.	ALUMINIUM		ROOM TAG	SILHOUETTE SURVEY:	O'NEILL LAND SURVEYING INC. BRIAN G. O'NEILL BONEILL24@GMAIL.COM (310) 318 4776	ASSESSOR PARCEL NO.	7532-034-016								
BLDG	BUILDING		DOOR TAG	GENERAL CONTRACTOR:	AMC DEVELOPER CORP. 18039 CRENSHAW BOULEVARD SUITE 312 TORRANCE, CA 90504 AMCBUILDER@GMAIL.COM	TRACT NO	23988								
BLW	BELOW		WINDOW TAG			BLOCK	NONE								
BM	BEAM		WALL TYPE			LOT	51								
BOT	BOTTOM		DETAIL SECTION			ZONING	R1								
C. WALL	CURTAIN WALL		DETAIL CALL-OUT			ZONING OVERLAY	HILLSIDE								
CONT	CONTINUOUS		ELEVATION MARKER			GENERAL PLAN	R-LO								
DIM	DIMENSION		MATERIAL CALL-OUT			CONST. TYPE	V-B								
DKG	DECKING		BUILDING ELEVATION			OCCUPANCY	R3								
DR	DOOR		REVISION			STORIES	2								
DWG	DRAWING		NORTH ARROW			(E) FIRE SPRINKLERS	NO								
EL	ELEVATION		FIRE EXTINGUISHER - SURFACE MOUNTED. RATING NOT LESS THAN 10BC. PROVIDE COMPLIANCE WITH PROTUDING OBJECTS PER 11B-307.2												
ELEC	ELECTRIC(AL)		ELEVATION MARKER												
EP	ELECTRICAL PANEL		BUILDING ELEVATION												
(E)	EXISTING		REVISION												
EXT	EXTERIOR		NORTH ARROW												
F.B.O.	FURNISHED BY OTHERS		FIRE EXTINGUISHER - SURFACE MOUNTED. RATING NOT LESS THAN 10BC. PROVIDE COMPLIANCE WITH PROTUDING OBJECTS PER 11B-307.2												
F.D.	FLOOR DRAIN		BUILDING ELEVATION												
F.E.C.	FIRE EXTINGUISHER CABINET		REVISION												
F.F.	FINISH FLOOR		NORTH ARROW												
F.F.L.	FINISH FLOOR LINE		BUILDING ELEVATION												
F.O.S.	FACE OF STUDS		REVISION												
F.R.	FIRE RATED		NORTH ARROW												
F.S.	FINISH STRUCTURE		BUILDING ELEVATION												
FLR	FLOOR		REVISION												
FND	FOUNDATION		NORTH ARROW												
FP'G	FIREPROOFING		BUILDING ELEVATION												
FR	FRAME(ED), (ING)		REVISION												
F.R.T.	FIRE RETARDANT TREATED		NORTH ARROW												
F.P.	FIXED PANEL		BUILDING ELEVATION												
FTG	FOOTING		REVISION												
FUR	FURRED,(ING)		NORTH ARROW												
GA	GAUGE		BUILDING ELEVATION												
GV	GALVENIZED		REVISION												
GWB	GYPSUM WALL BOARD		NORTH ARROW												
H.M.	HOLLOW METAL		BUILDING ELEVATION												
H.V.A.C.	HEATING, VENT., AIR CON.		REVISION												
HOR	HORIZONTAL		NORTH ARROW												
INT	INTERIOR		BUILDING ELEVATION												
L.P.T.	LOW POINT		REVISION												
LAM	LAMINATE		NORTH ARROW												
LW	LIGHTWEIGHT		BUILDING ELEVATION												
LWC	LIGHTWEIGHT CONCRETE		REVISION												
MAS	MASONRY		NORTH ARROW												
MECH	MECHANICAL		BUILDING ELEVATION												
MFR	MANUFACTURER		REVISION												
MIN	MINIMUM		NORTH ARROW												
MK	ARCHITECTURAL MILLWORK		BUILDING ELEVATION												
MTL	METAL		REVISION												
N.C.	NO CEILING		NORTH ARROW												
N.I.C.	NOT IN CONTRACT		BUILDING ELEVATION												
N.W.P	NO WORK PROPOSED		REVISION												
OVERHD	OVERHEAD		NORTH ARROW												
P.L.	PROPERTY LINE		BUILDING ELEVATION												
PLYWD	PLYWOOD		REVISION												
PTD	PAINTED		NORTH ARROW												
R.C.P	REFLECTED CEILING PLAN		BUILDING ELEVATION												
REF	REFERENCE		REVISION												
REV	REVERSE		NORTH ARROW												
REQ	REQUIRED		BUILDING ELEVATION												
R'F'G	ROOFING		REVISION												
R.O.	ROUGH OPENING		NORTH ARROW												
S.C.	SOLID CORE		BUILDING ELEVATION												
SIM	SIMILAR		REVISION												
S.STL	STAINLESS STEEL		NORTH ARROW												
SHT	SHEET		BUILDING ELEVATION												
SHT'G	SHEATHING		REVISION												
STRUCT	STRUCTURAL		NORTH ARROW												
T	TREAD		BUILDING ELEVATION												
TBD	TO BE DETERMINED		REVISION												
T.O.	TOP OF		NORTH ARROW												
TYP.	TYPICAL		BUILDING ELEVATION												
U.O.N	UNLESS OTHERWISE NOTED		REVISION												
V.I.F.	VERIFY IN FIELD		NORTH ARROW												

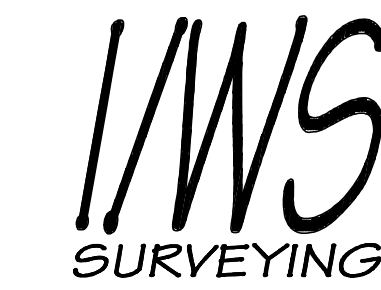
VICINITY MAP



(E) LOT COVERAGE		(P) LOT COVERAGE	
(E) STRUCTURE	1,899 SF	(P) STRUCTURE	2,893 SF
(E) DECK	839 SF	(P) DECK	454 SF
(E) TOTAL	2,738 SF	(P) TOTAL	3,347 SF
LOT AREA	16,875 SF	LOT AREA	16,875 SF
(E) LOT COVERAGE	16.23%	TOTAL (P) LOT COVERAGE	19.83%
		MAX LOT COVERAGE PER 91.4.9(c)	40%

OPEN SPACE CALC.		FLOOR AREA RATIO	
LOT AREA	16,875 SF	LOT AREA	16,875 SF
(P) TOTAL OPEN SPACE	13,528 SF	(P) FIRST FLR	2,369 SF
MIN. REQUIRED OPEN SPACE PER 91.6.9	5,625 SF	(P) SECOND FLR	2,043 SF
		(P) TOTAL	4,412 SF
		MAX FAR PER 91.4.11(c)	10,125 SF

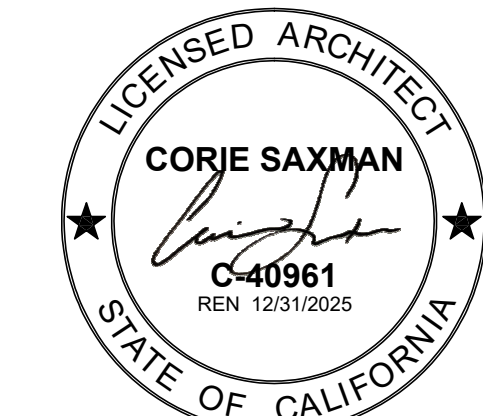
FRONT YARD LANDSCAPING PERCENTAGE		BUILDING HEIGHT	
TOTAL	47.13%	EXISTING	24' - 7"
		PROPOSED	26' - 8"
		MAX HEIGHT PER 91.4.2(b)	27' - 0"



01 / ARCHITECT

HAM DESIGN GROUP

LOS ANGELES STUDIO
1798 1/2 WASHINGTON WAY
VENICE, CALIFORNIA 90291
(409) 267-1061
INFO@HAMDESIGNGROUP.COM



CLIENT:
FAVER, JEFFREY
PROJECT NO.
18-314
DATE OF SURVEY:
OCTOBER 2018
ASSESSOR'S I.D. NUMBER:
1532-034-016
LEGAL DESCRIPTION
LOT 51, TRACT 23988

02 / CLIENT & TEAM

CLIENT /
AZHAR HAMEED
4726 VIA CORONA
TORRANCE, CALIFORNIA 90505
+1 (310) 920-5858
HAMEED.AZHAR@GMAIL.COM

FARAH HAMEED
4726 VIA CORONA
TORRANCE, CALIFORNIA 90505
+1 (310) 218-8384
FBURKI@HOTMAIL.COM

CONTRACTOR /
AMC DEVELOPER CORP.
ASIF CHATTHA
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TORRANCE, CALIFORNIA 90504
+1 (310) 877-5632
AMCBUILDER@GMAIL.COM

STRUCTURAL /
G&G STRUCTURES, INC.
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+1 (310) 294-8111

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IWS SURVEYING
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PALOS VERDES ESTATES, CALIFORNIA 90274
+1 (310) 791-0904

TITLE 24 /
XAVIER HERNANDEZ, CEPE
TITLE 24 CONSULTANTS NET
+1 (851) 880-3107
XAVIER@TITLE24CONSULTANTS.NET
WWW.TITLE24CONSULTANTS.NET

LANDSCAPE /
HAM DESIGN GROUP
KEITH MARKS
1798 1/2 WASHINGTON WAY
VENICE, CALIFORNIA 90291
+1 (716) 462-8543
INFO@HAMDESIGNGROUP.COM

04 / KEY PLAN

05 / PROJECT NAME / ADDRESS

TORRANCE HILL HOUSE
4501 VIA CORONA
TORRANCE, CALIFORNIA 90505

06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

07 / SHEET TITLE

SITE SURVEY

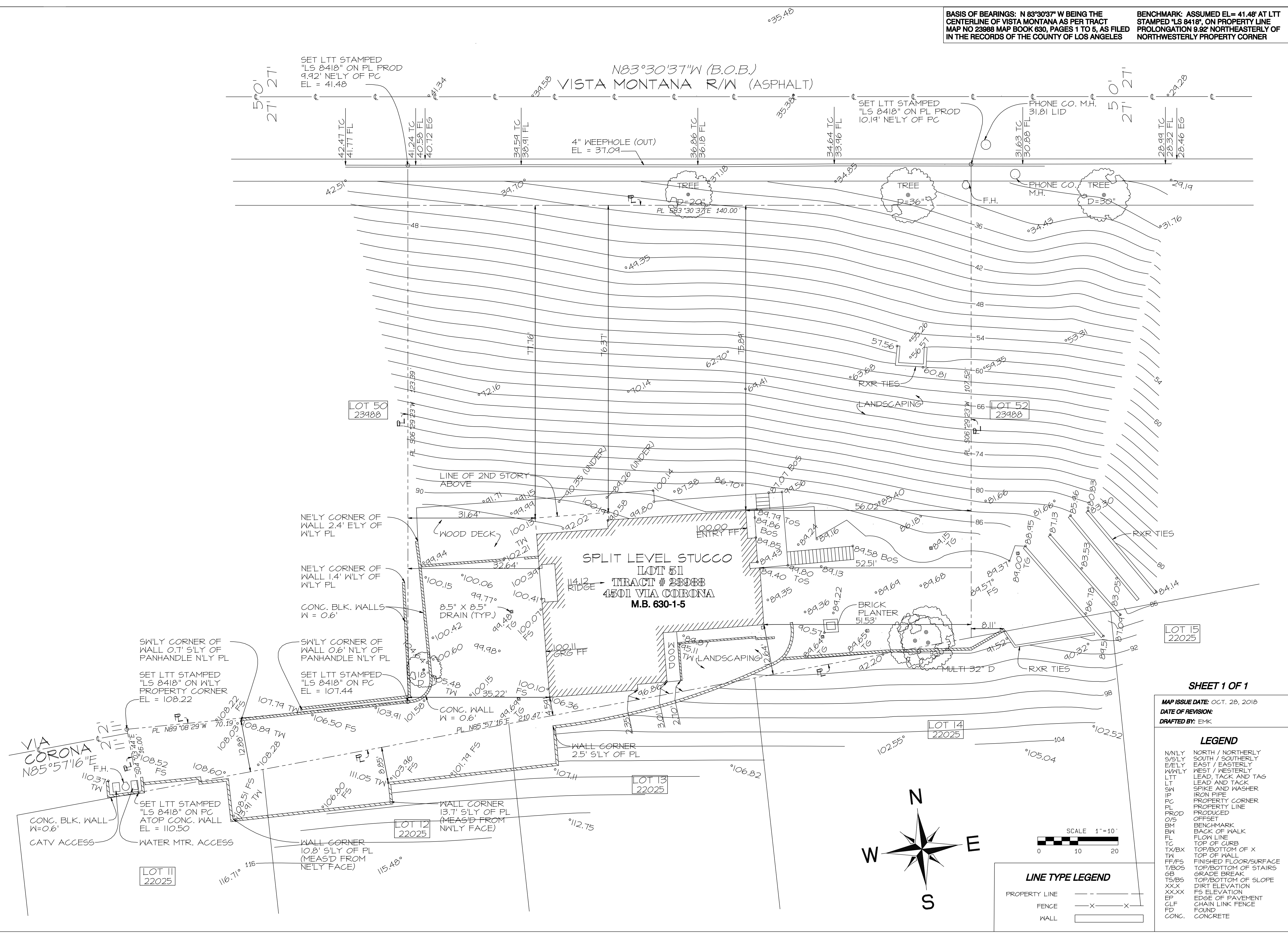
08 / SHEET NUMBER

G002

HAM DESIGN GROUP, INC.

BASIS OF BEARINGS: N 83°30'37" W BEING THE CENTERLINE OF VISTA MONTANA AS PER TRACT MAP NO 23988 MAP BOOK 630, PAGES 1 TO 5, AS FILED IN THE RECORDS OF THE COUNTY OF LOS ANGELES

BENCHMARK: ASSUMED EL= 41.48' AT LTT STAMPED "LS 8418", ON PROPERTY LINE PROLONGATION 9.92' NORTHEASTERLY OF NORTH-WESTERLY PROPERTY CORNER



SHEET 1 OF 1

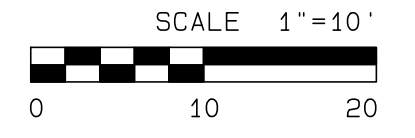
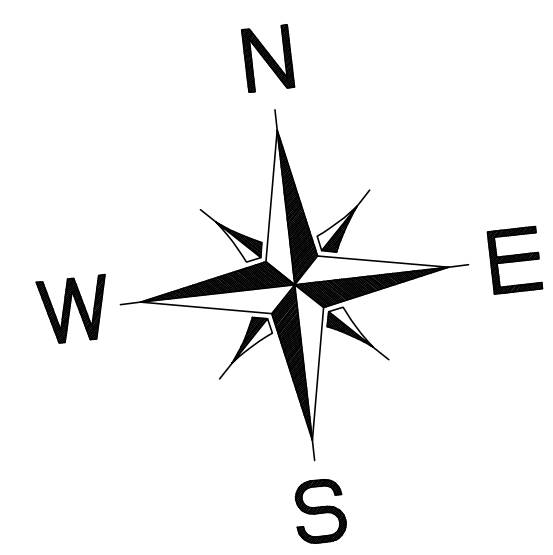
MAP ISSUE DATE: OCT. 28, 2018
DATE OF REVISION:
DRAFTED BY: EMK

LEGEND

- NN\LY NORTH / NORTHERLY
- S/S\LY SOUTH / SOUTHERLY
- E/E\LY EAST / EASTERLY
- W/W\LY WEST / WESTERLY
- LTT LEAD, TACK AND TAG
- LT LEAD AND TACK
- SW SPIKE AND WASHER
- IP IRON PIPE
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PROD PRODUCED
- O/S OFFSET
- BM BENCHMARK
- BN BACK OF WALK
- FL FLOW LINE
- TC TOP OF CURB
- TX/BX TOP/BOTTOM OF X
- TH TOP OF WALL
- FF/FS FINISHED FLOOR/SURFACE
- T/BOS TOP/BOTTOM OF STAIRS
- GB GRADE BREAK
- TS/BS TOP/BOTTOM OF SLOPE
- XX DIRT ELEVATION
- XX\XX FS ELEVATION
- EP EDGE OF PAVEMENT
- CLF CHAIN LINK FENCE
- FD FOUND
- CONC. CONCRETE

LINE TYPE LEGEND

- PROPERTY LINE
- FENCE
- WALL

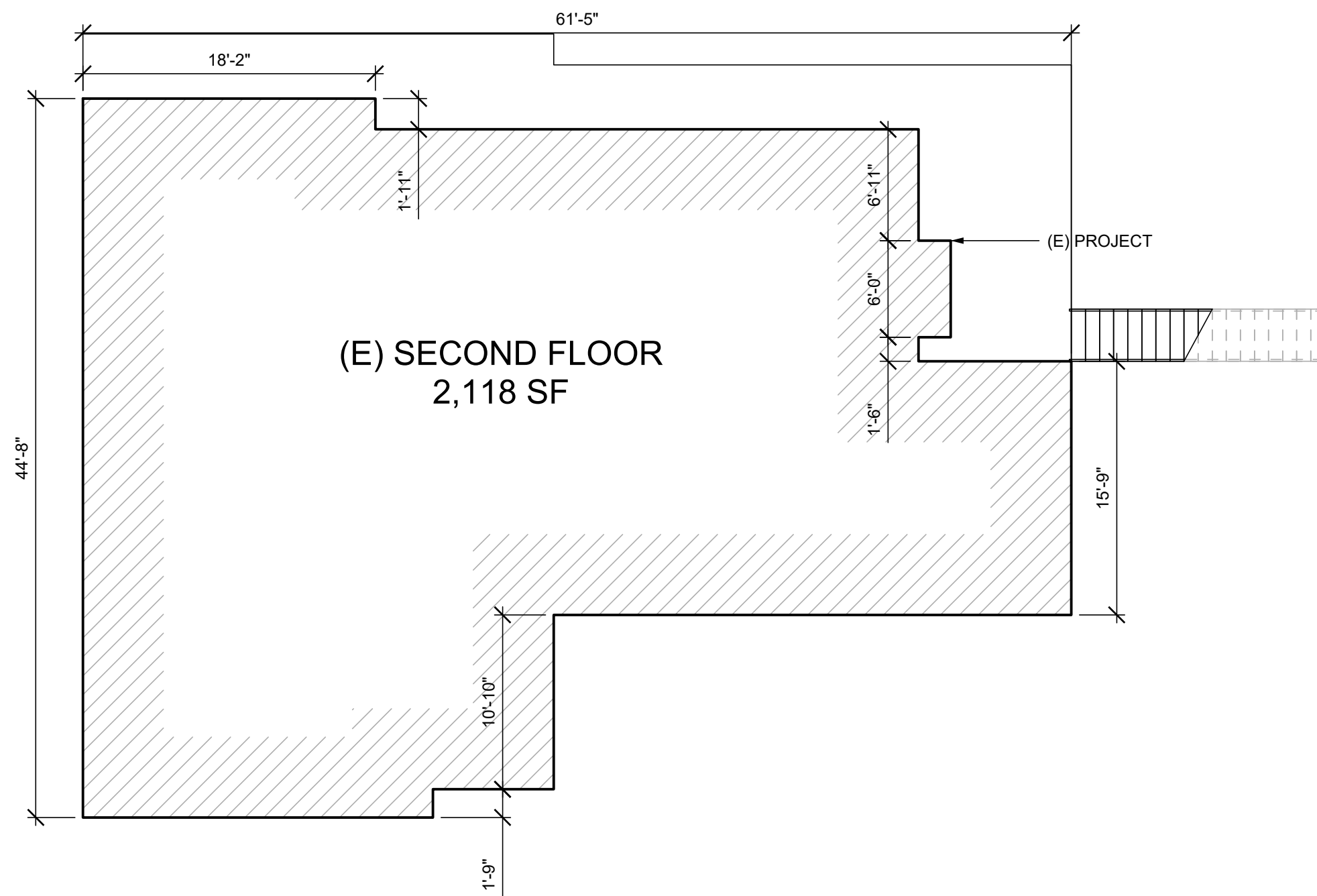


01 SITE SURVEY
NTS

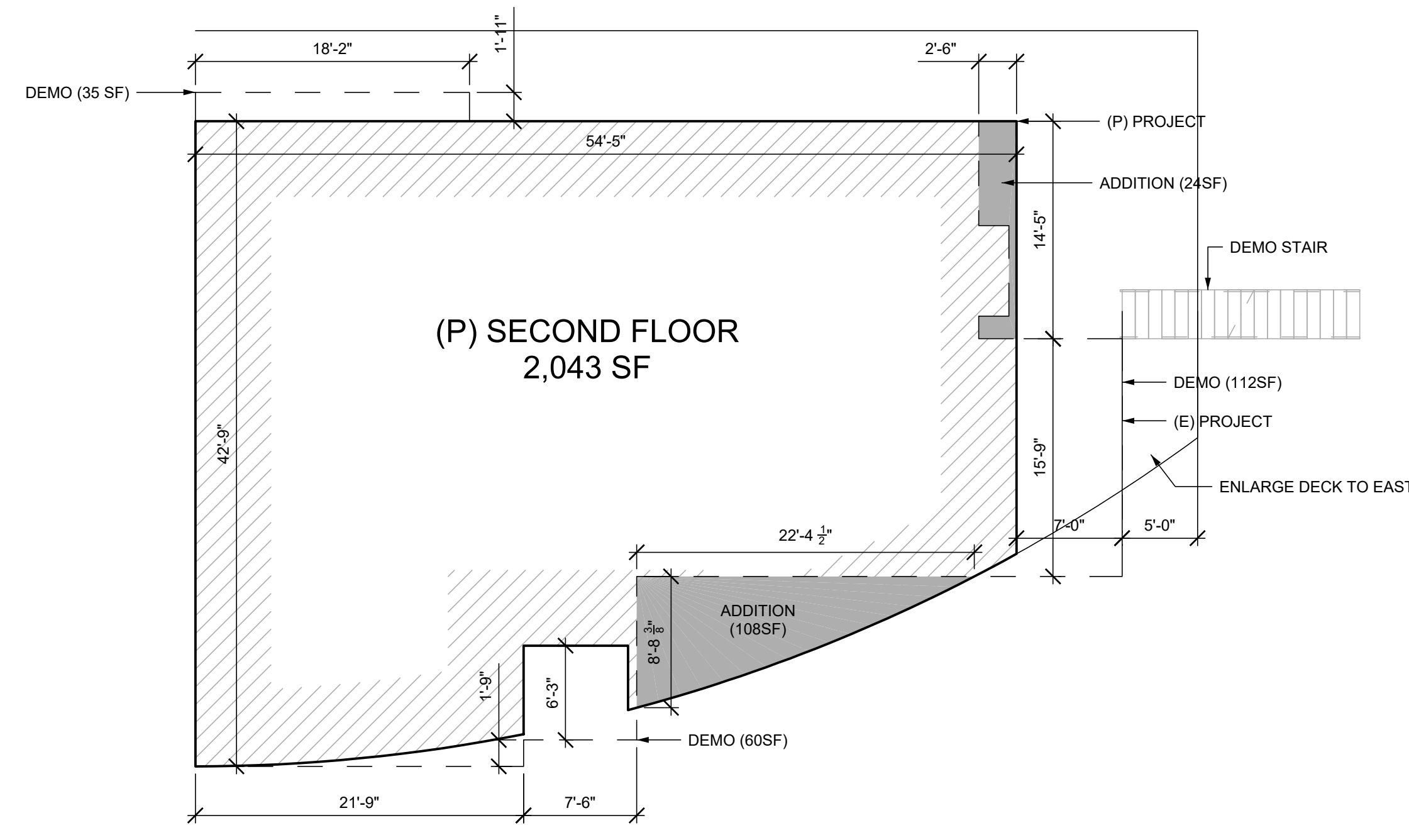
BOUNDARY/TOPOGRAPHIC SURVEY

4501 VIA CORONA
TORRANCE, CALIFORNIA 90505

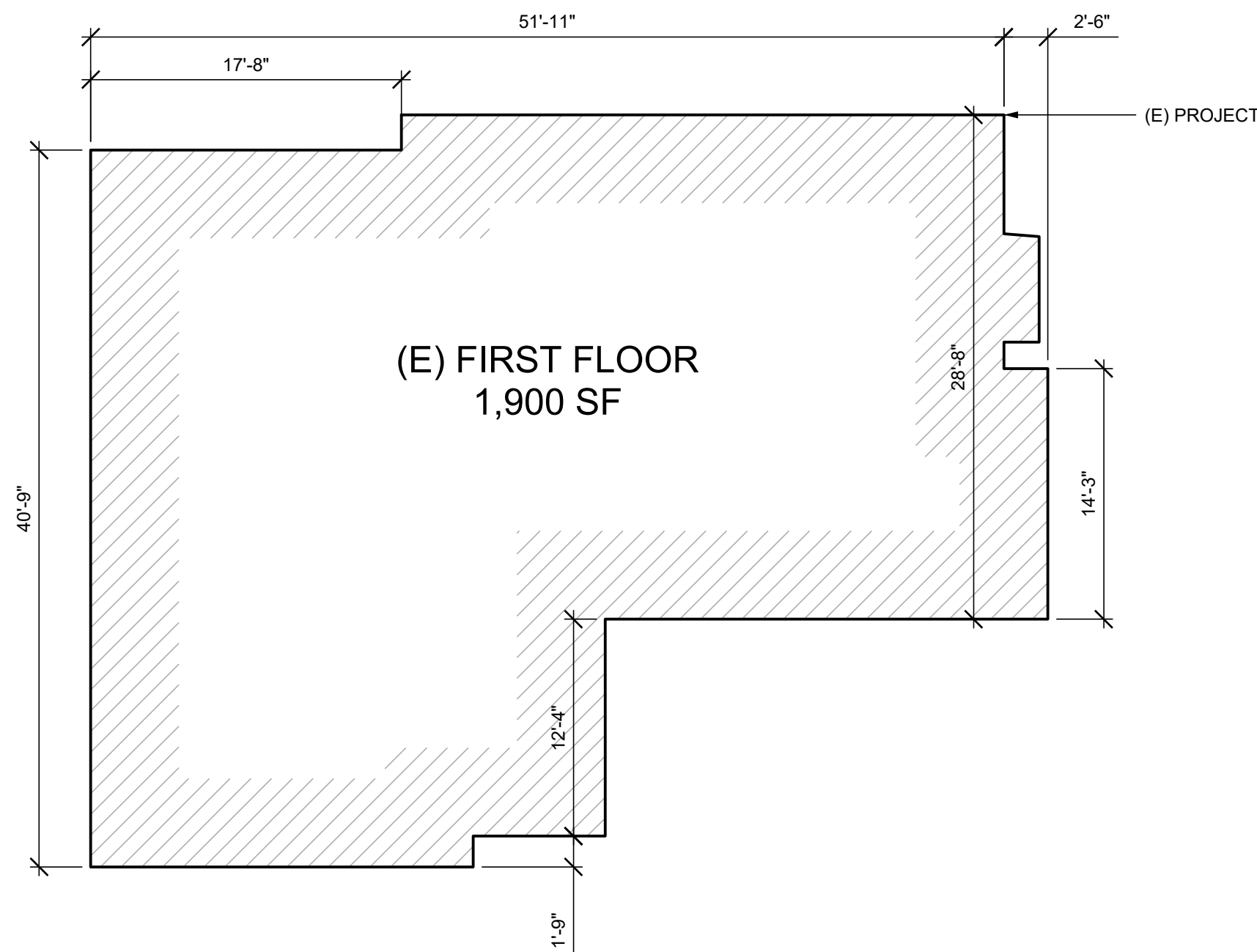
SITE ADDRESS:



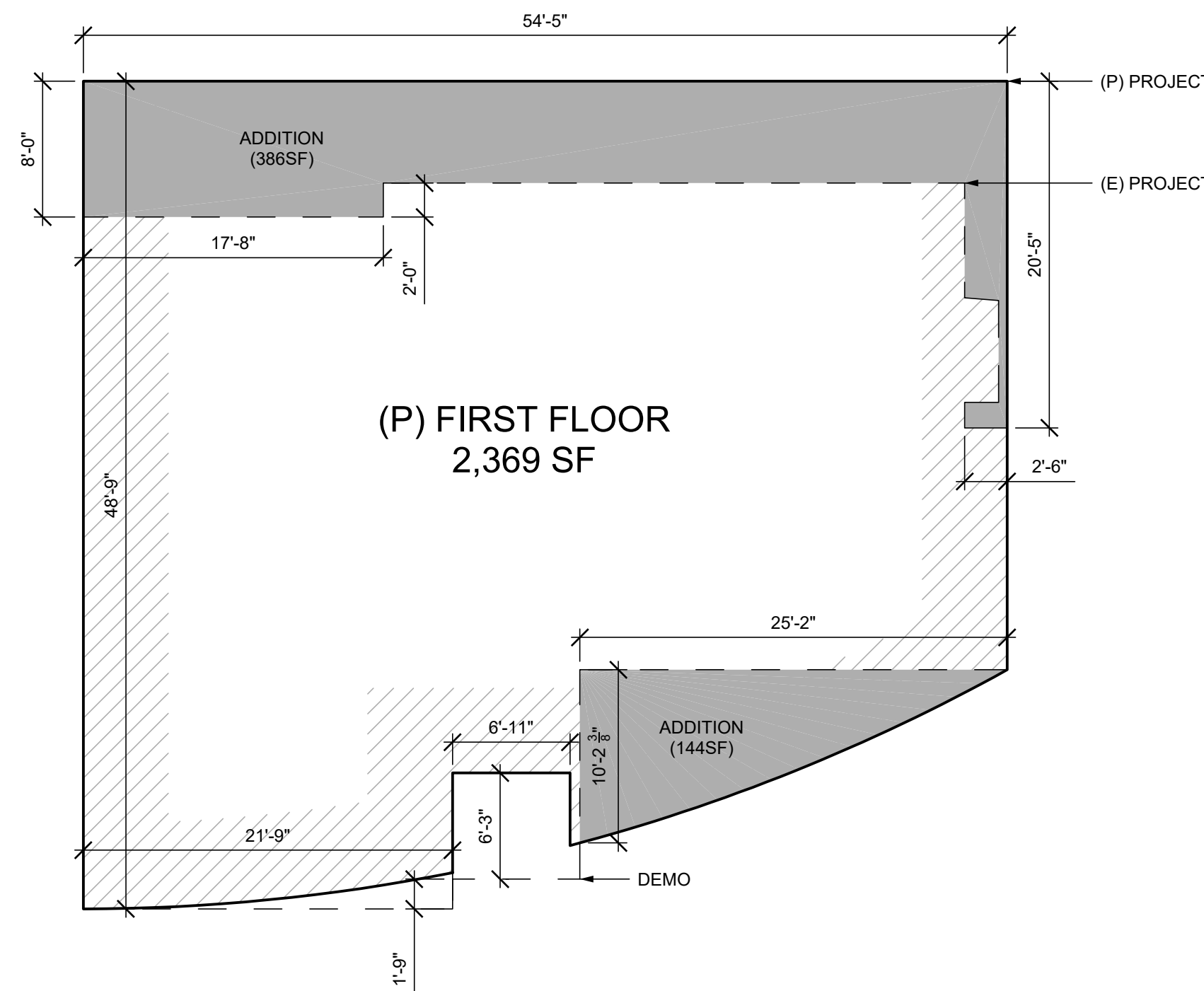
04 (E) SECOND FLOOR
SCALE: 1/8" = 1'-0"



02 (P) SECOND FLOOR
SCALE: 1/8" = 1'-0"



03 (E) FIRST FLOOR
SCALE: 1/8" = 1'-0"



01 (P) FIRST FLOOR
SCALE: 1/8" = 1'-0"

LOT INFORMATION	
ADDRESS	4501 VIA CORONA, TORRANCE, CA 90505
APN	7532-034-016
TRACT NO	23988
BLOCK	NONE
LOT	51
ZONING	R1
ZONING OVERLAY	HILLSIDE
GENERAL PLAN	R-LO
CONST. TYPE	V-B
OCCUPANCY	R3
STORIES	2

(E) PROJECT		(P) PROJECT	
LOT AREA	16,875 SF	LOT AREA	16,875 SF
(E) FIRST FLR	1,900 SF	(P) FIRST FLR	2,369 SF
(E) SECOND FLR	2,118 SF	(P) SECOND FLR	2,043 SF
TOTAL	4,018 SF	TOTAL	4,412 SF

DEMO / ADDITION	
[] FIRST FLR DEMO	60 SF
[] SECOND FLR DEMO	207 SF
TOTAL	267 SF
[] (P) FIRST FLR ADDITION	530 SF
[] (P) SECOND FLR ADDITION	132 SF
TOTAL	662 SF

01 ADDITION / RENOVATION SUMMARY
NTS



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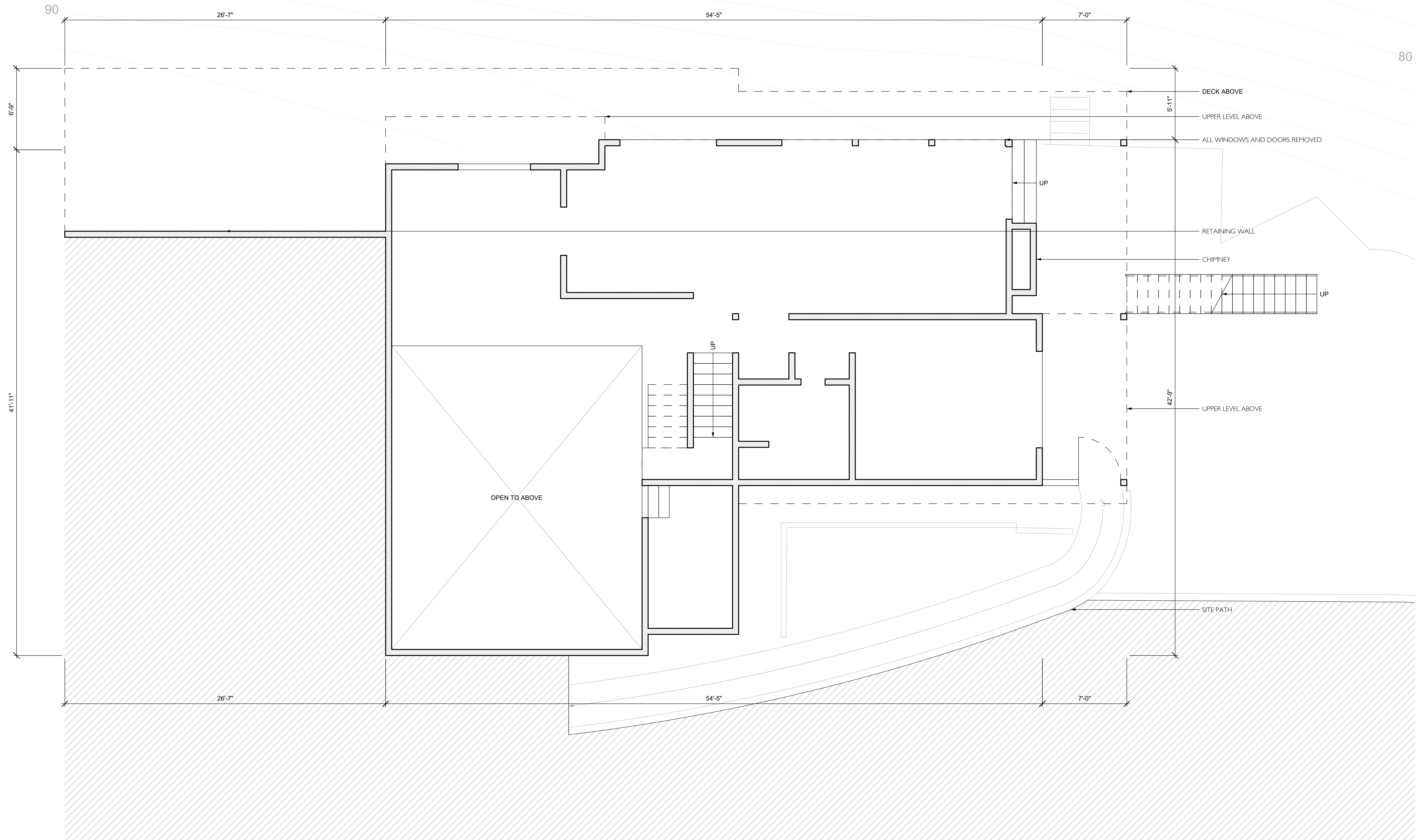
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NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



01 (E) FIRST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

01 / ARCHITECT

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

TORRANCE HILL HOUSE
4501 VIA CORONA
TORRANCE, CALIFORNIA 90505

06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

07 / SHEET TITLE

EXISTING FLOOR PLANS

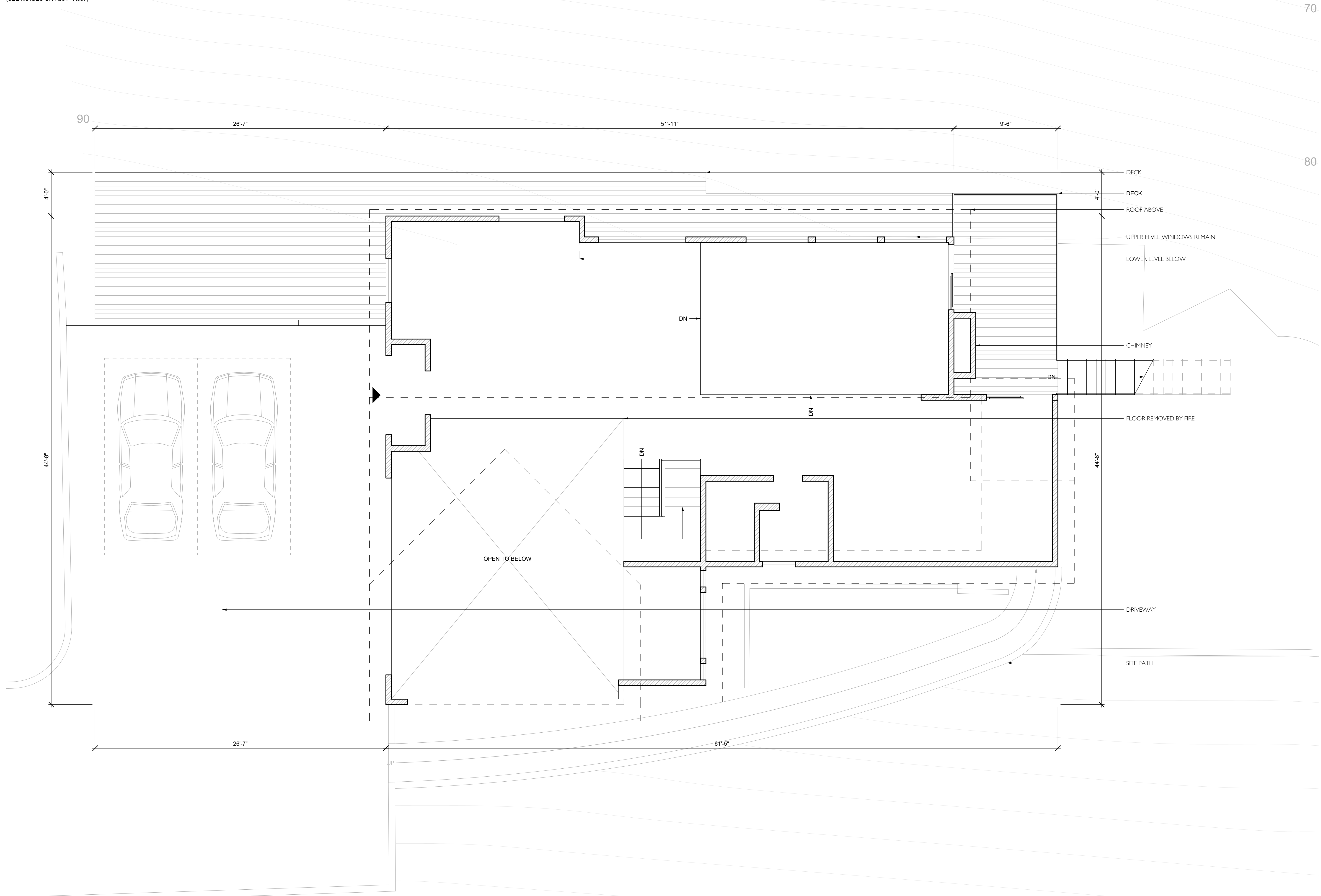
08 / SHEET NUMBER

A081

HAM DESIGN GROUP, INC.

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)

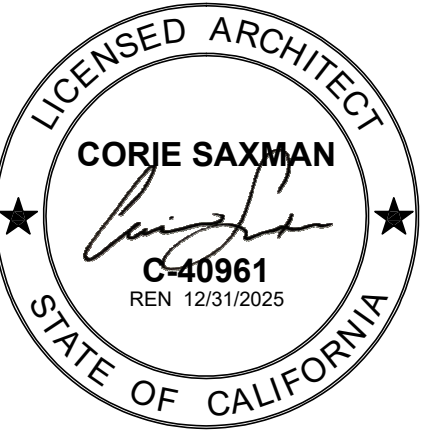


01 (E) SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

01 / ARCHITECT

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

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06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

07 / SHEET TITLE

EXISTING FLOOR PLANS

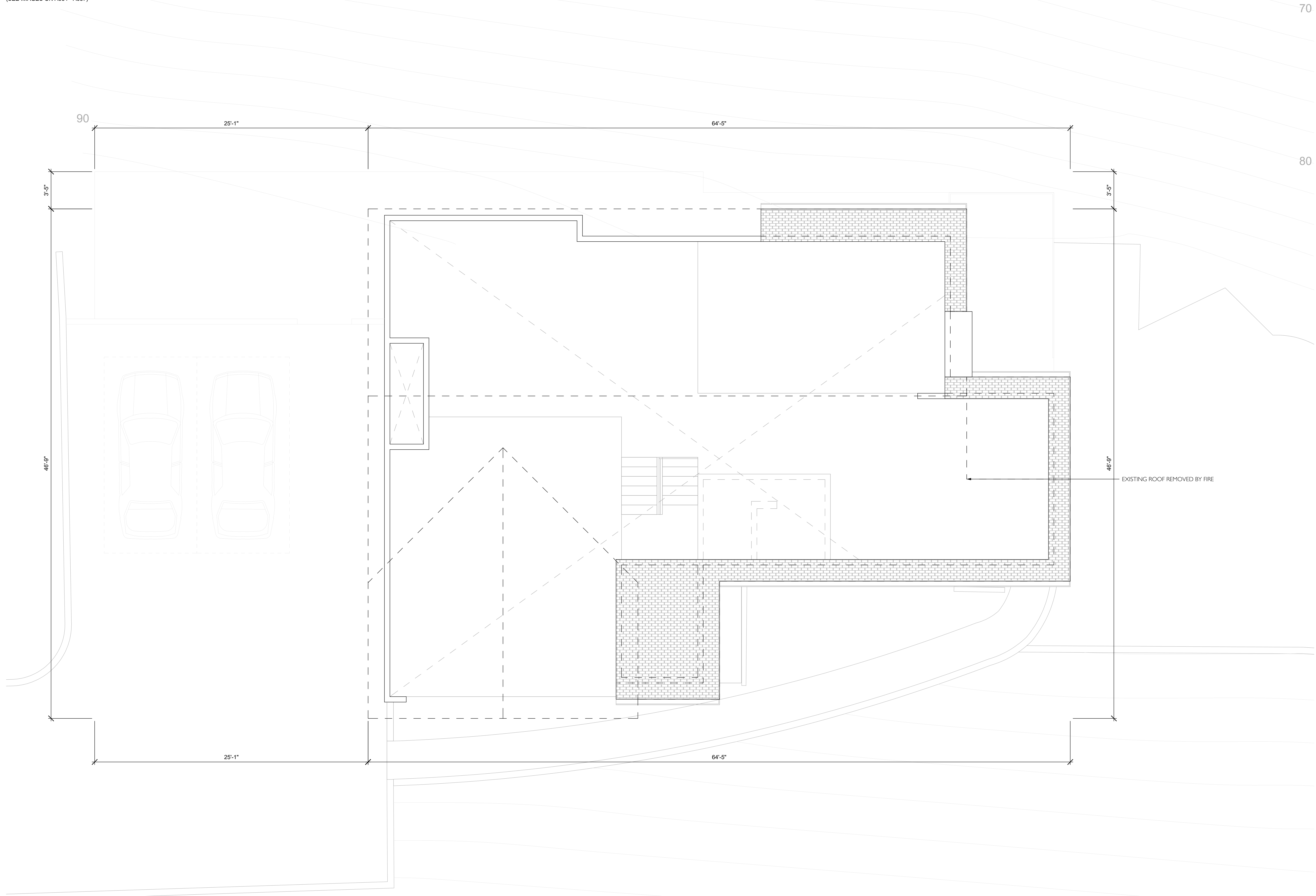
08 / SHEET NUMBER

A082

HAM DESIGN GROUP, INC.

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



01 (E) ROOF PLAN
SCALE: 1/4" = 1'-0"

01 / ARCHITECT

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04 / KEY PLAN N ↑

05 / PROJECT NAME / ADDRESS

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06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

07 / SHEET TITLE

EXISTING FLOOR PLANS

08 / SHEET NUMBER

A083

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



UPPER LEVEL INTERIOR VIEW



UPPER LEVEL EXTERIOR ENTRY VIEW

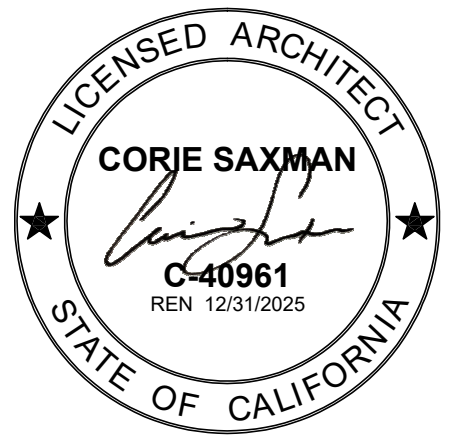


LOWER LEVEL EXTERIOR VIEW

01 / ARCHITECT

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

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06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

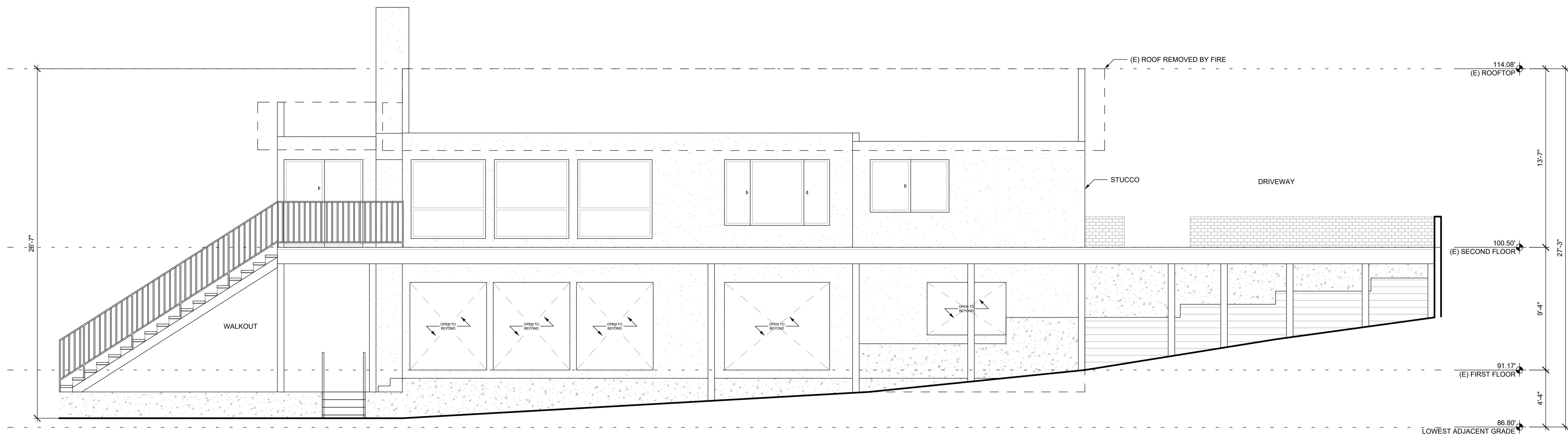
07 / SHEET TITLE

EXISTING ELEVATIONS

08 / SHEET NUMBER

A084

HAM DESIGN GROUP, INC.



01 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



UPPER LEVEL INTERIOR VIEW



UPPER LEVEL EXTERIOR ENTRY VIEW



LOWER LEVEL EXTERIOR VIEW

01 / ARCHITECT

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

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06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

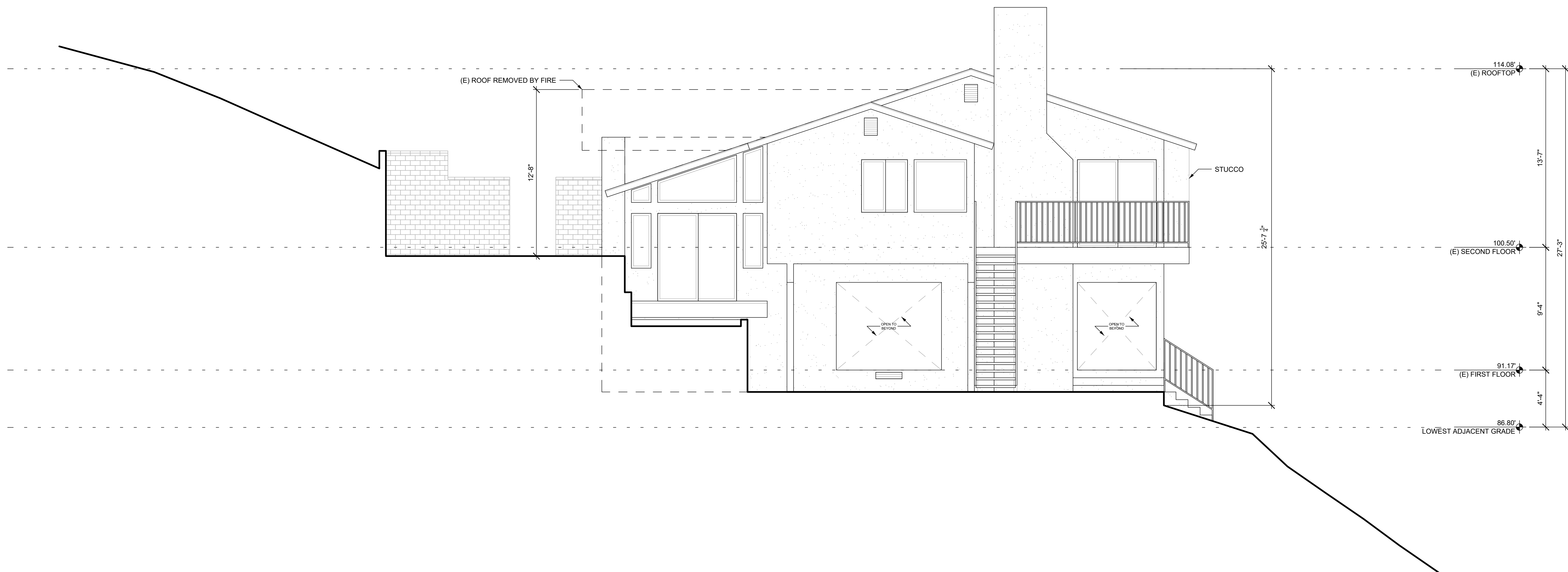
07 / SHEET TITLE

EXISTING ELEVATIONS

08 / SHEET NUMBER

A085

HAM DESIGN GROUP, INC.



01 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



UPPER LEVEL INTERIOR VIEW



UPPER LEVEL EXTERIOR ENTRY VIEW



LOWER LEVEL EXTERIOR VIEW

01 / ARCHITECT

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

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06 / REVISIONS

NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

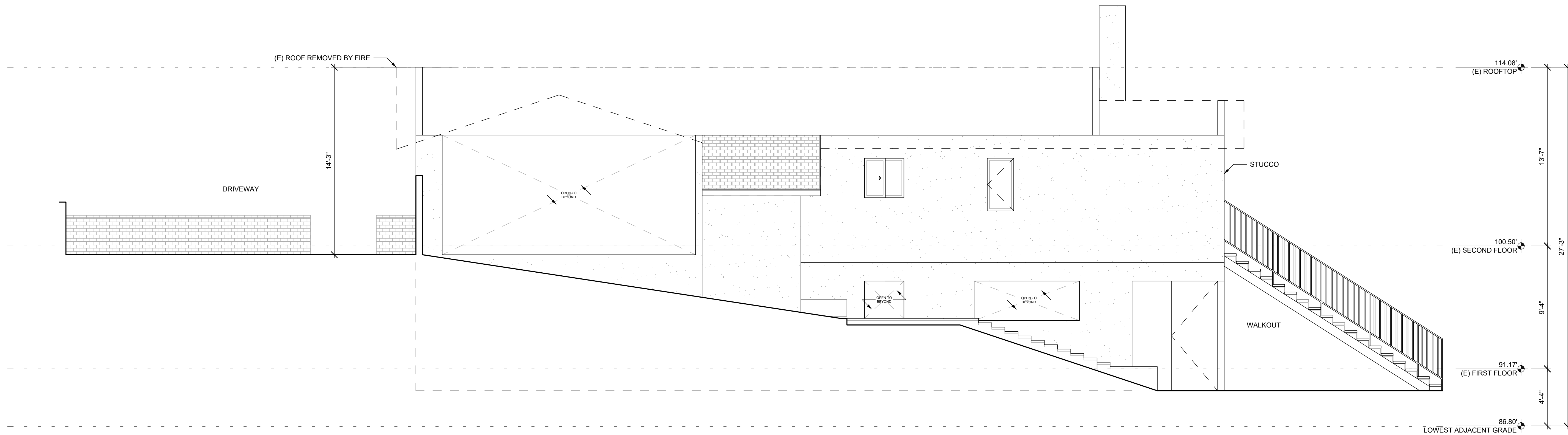
07 / SHEET TITLE

EXISTING ELEVATIONS

08 / SHEET NUMBER

A086

HAM DESIGN GROUP, INC.



01 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)



UPPER LEVEL INTERIOR VIEW



UPPER LEVEL EXTERIOR ENTRY VIEW



LOWER LEVEL EXTERIOR VIEW

01 / ARCHITECT

HAM DESIGN GROUP

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04 / KEY PLAN



05 / PROJECT NAME / ADDRESS

TORRANCE HILL HOUSE
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NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

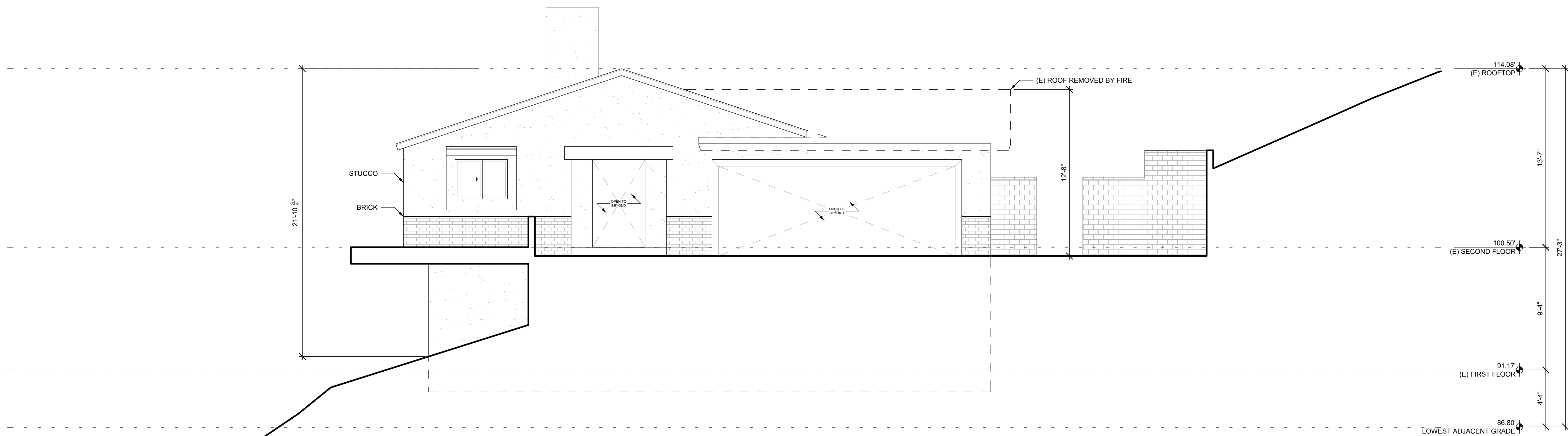
07 / SHEET TITLE

EXISTING ELEVATIONS

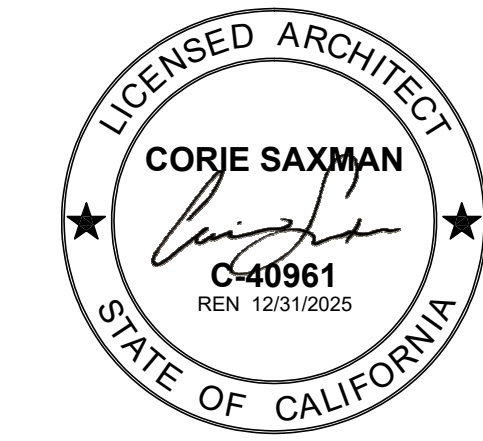
08 / SHEET NUMBER

A087

HAM DESIGN GROUP, INC.



01 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



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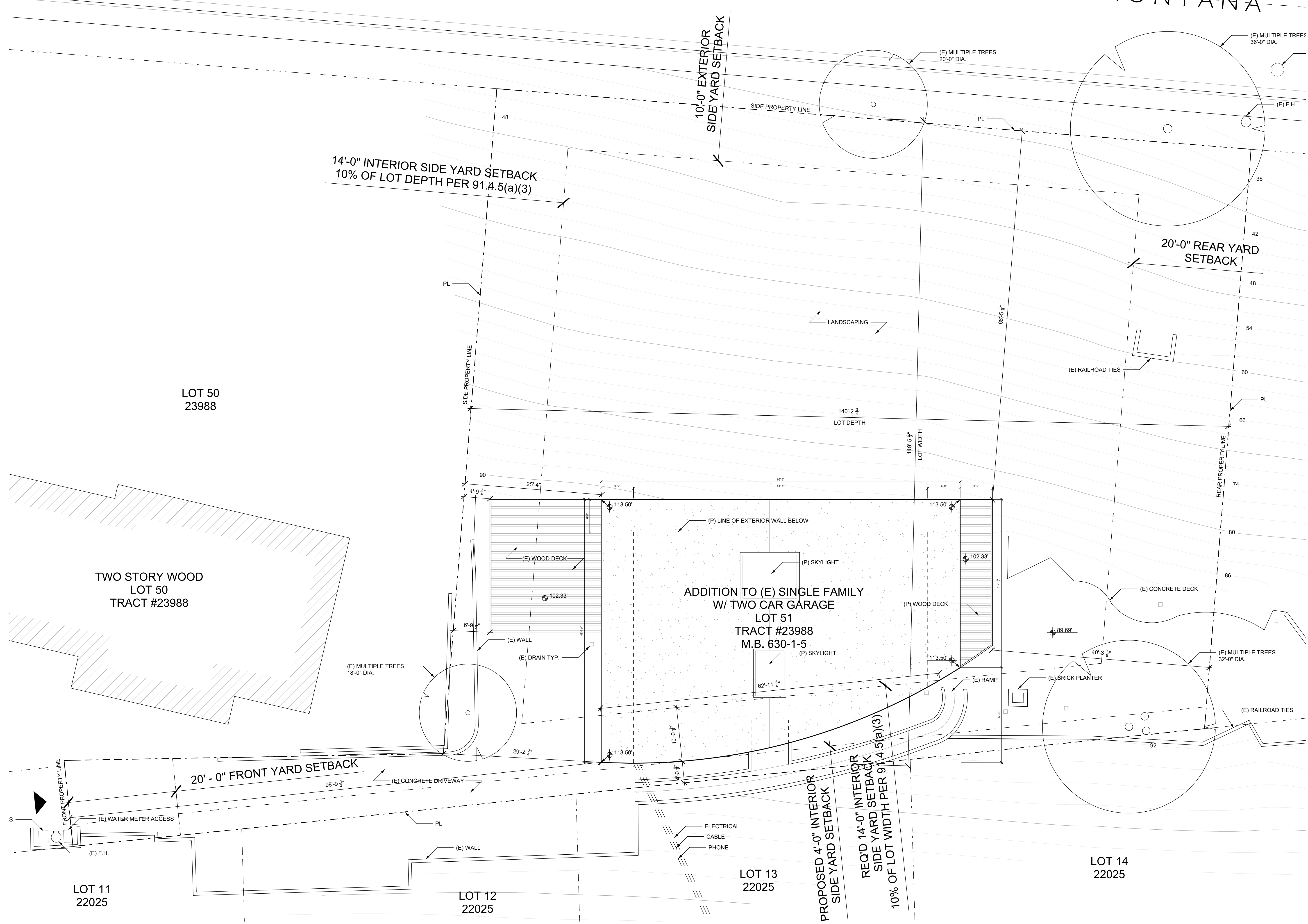
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NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK



01 SITE PLAN
SCALE: 1/8" = 1'-0"

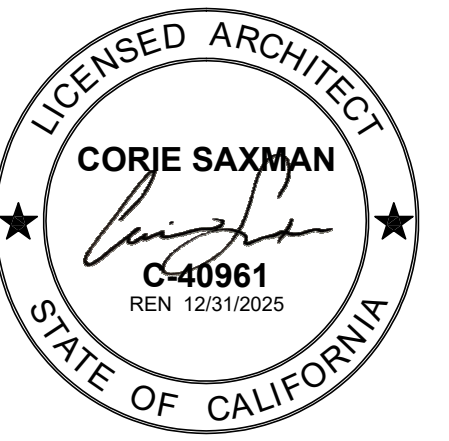
NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE (SEE IMAGES ON A084 - A087)

01 / ARCHITECT

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04 / KEY PLAN

05 / PROJECT NAME / ADDRESS

TORRANCE HILL HOUSE
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NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

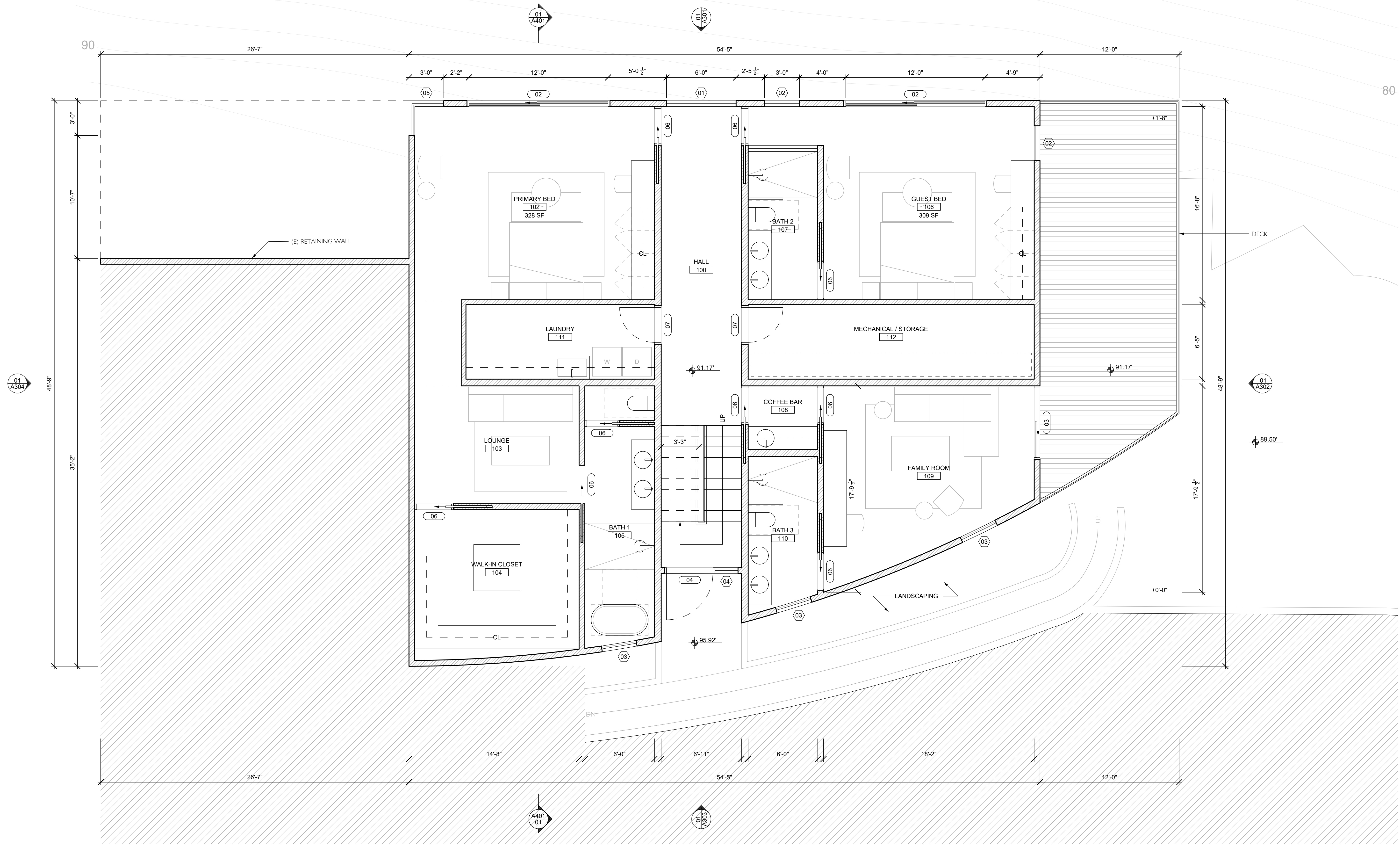
07 / SHEET TITLE

FIRST FLOOR PLAN

08 / SHEET NUMBER

A101

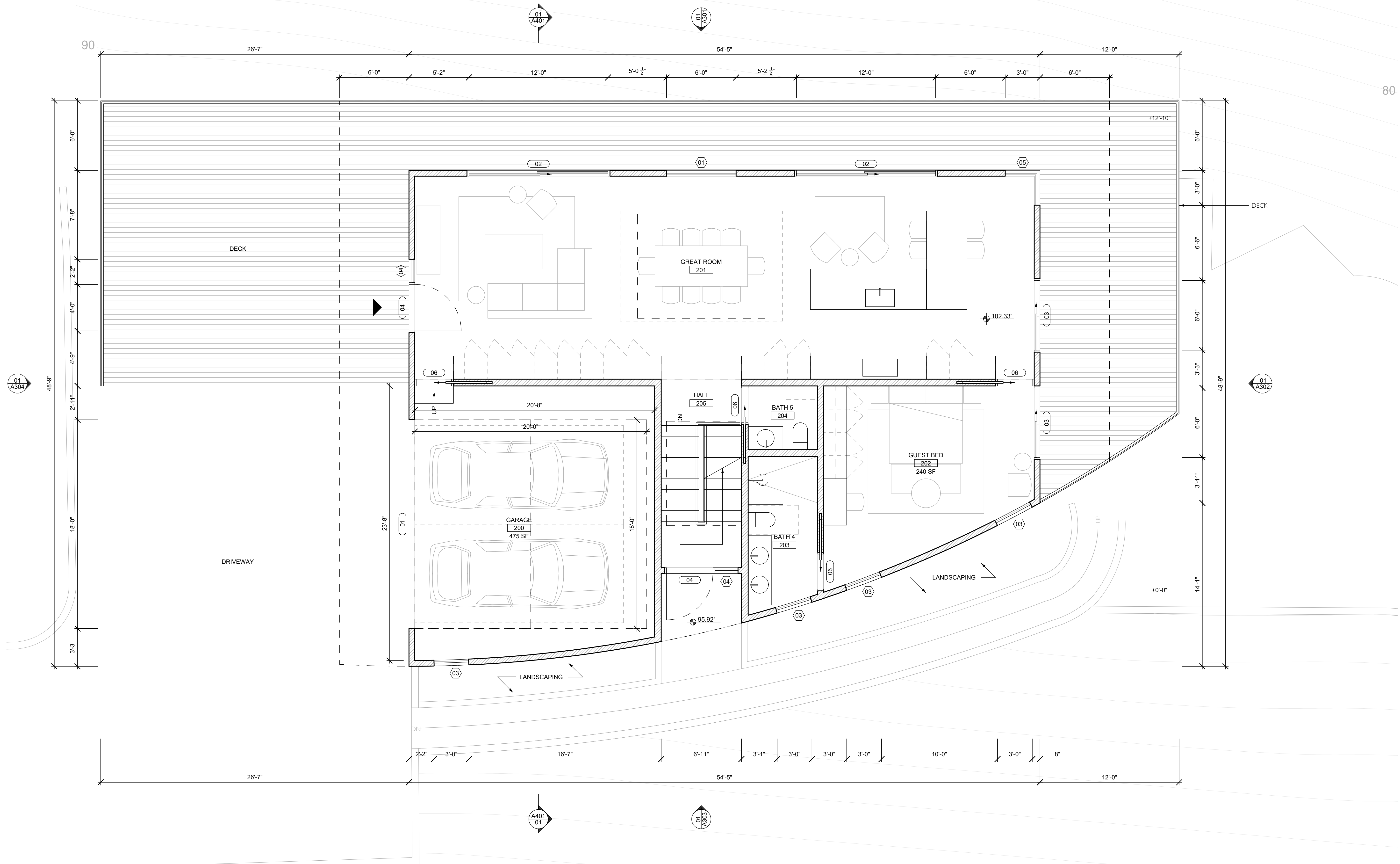
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01 (P) FIRST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE (SEE IMAGES ON A084 - A087)

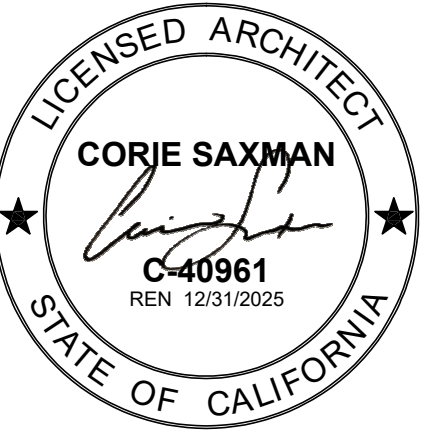


01 (P) SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NO.	DATE	DESCRIPTION
1	OCTOBER 2023	PERCISE PLAN CHECK

07 / SHEET TITLE

SECOND FLOOR PLAN

08 / SHEET NUMBER

A102

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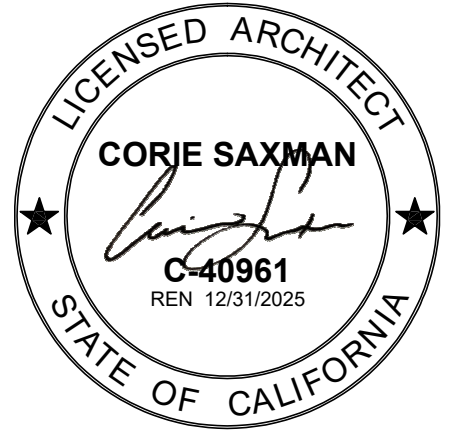
NOTE

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01 / ARCHITECT

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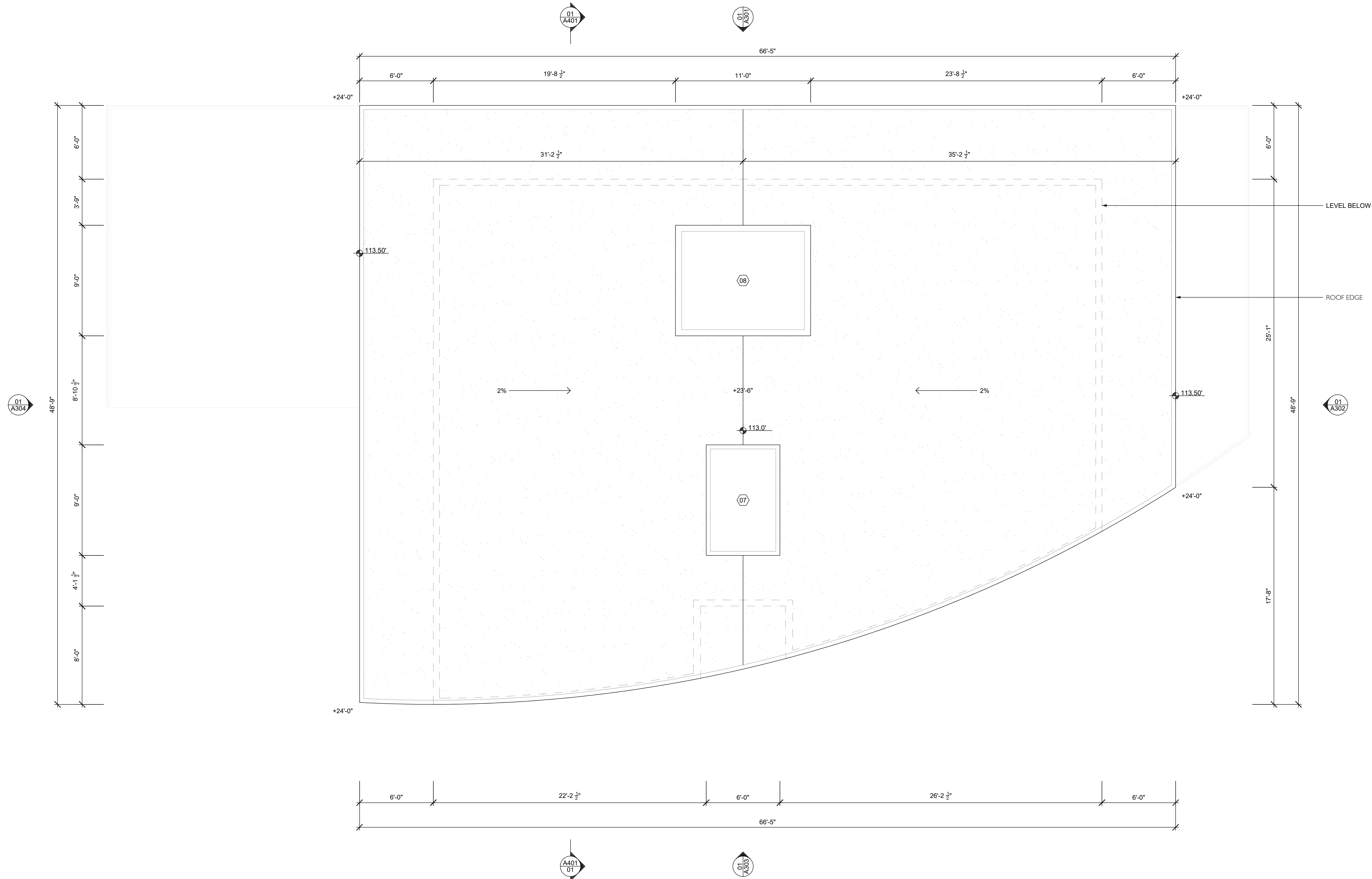
07 / SHEET TITLE

ROOF PLAN

08 / SHEET NUMBER

A103

HAM DESIGN GROUP, INC.



01 (P) ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
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1	OCTOBER 2023	PERCISE PLAN CHECK

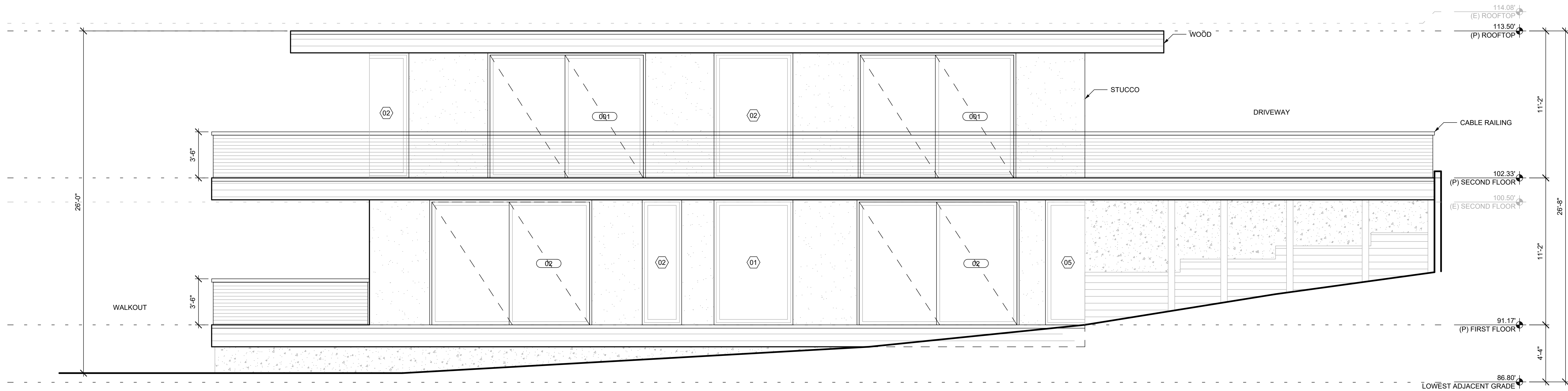
07 / SHEET TITLE

BUILDING ELEVATIONS

08 / SHEET NUMBER

A201

HAM DESIGN GROUP, INC.



01 (P) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
(SEE IMAGES ON A084 - A087)

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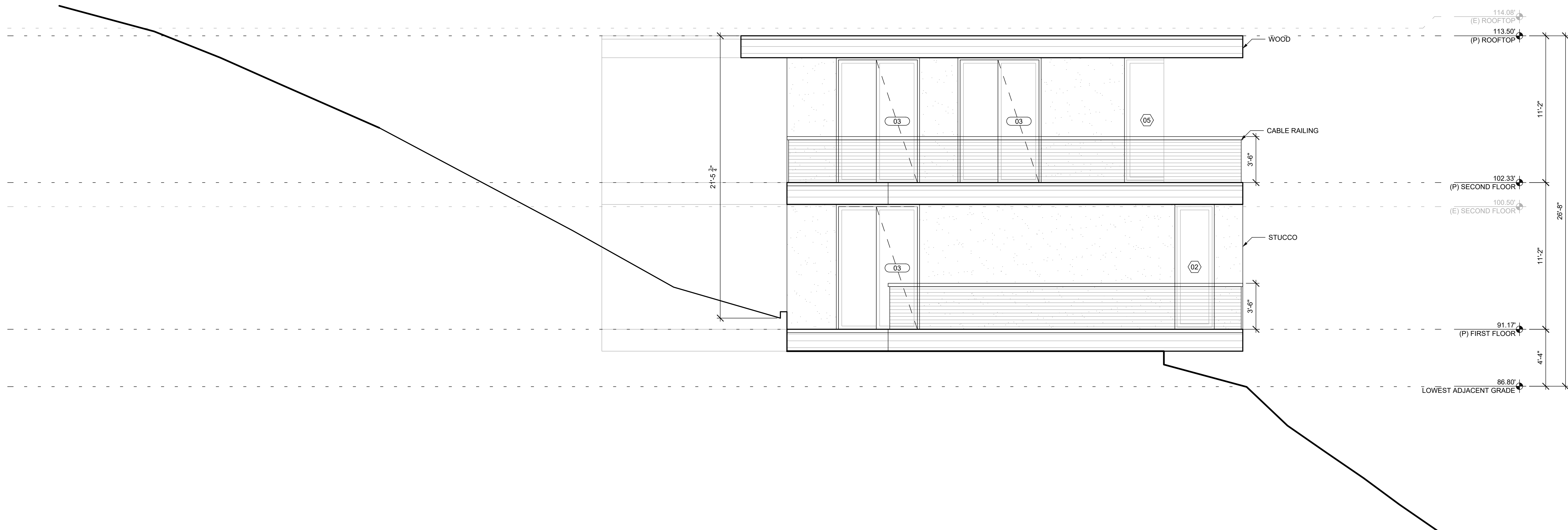
07 / SHEET TITLE

BUILDING ELEVATIONS

08 / SHEET NUMBER

A202

HAM DESIGN GROUP, INC.



01 (P) EAST ELEVATION
SCALE: 1/4" = 1'-0"

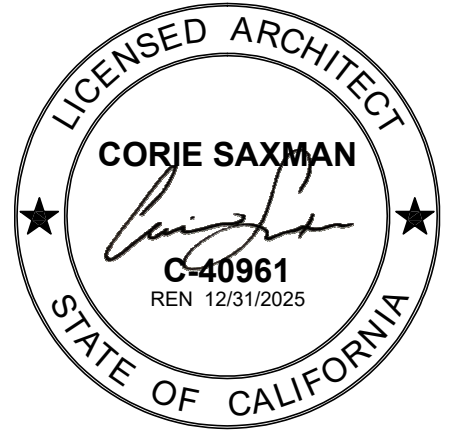
NOTE

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(SEE IMAGES ON A084 - A087)

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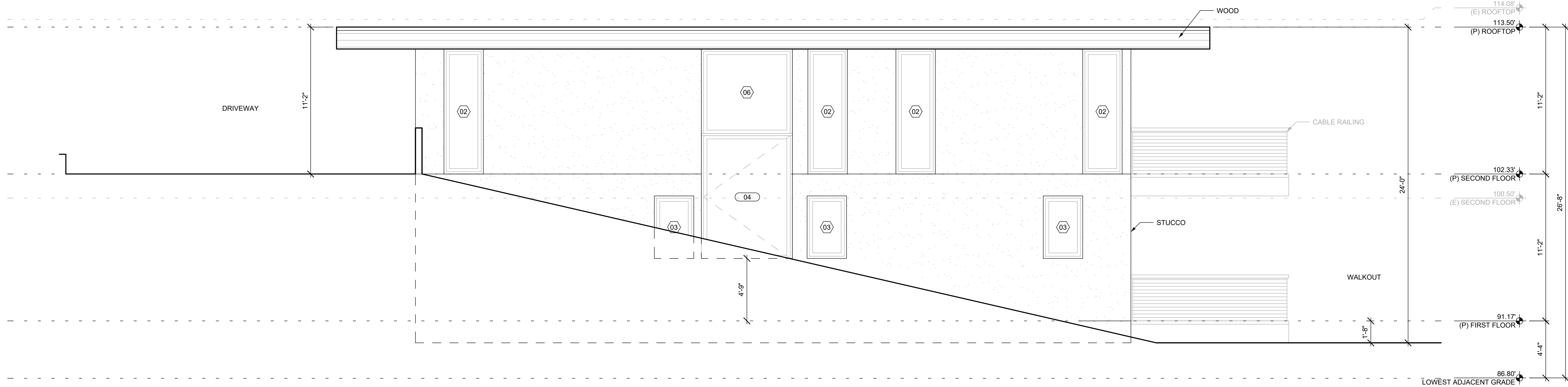
07 / SHEET TITLE

BUILDING ELEVATIONS

08 / SHEET NUMBER

A203

HAM DESIGN GROUP, INC.



01 (P) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

1. EXISTING PROPERTY DAMAGED FROM FIRE REMOVING EXSITING ROOF AND SOUTH WALL OF GARAGE
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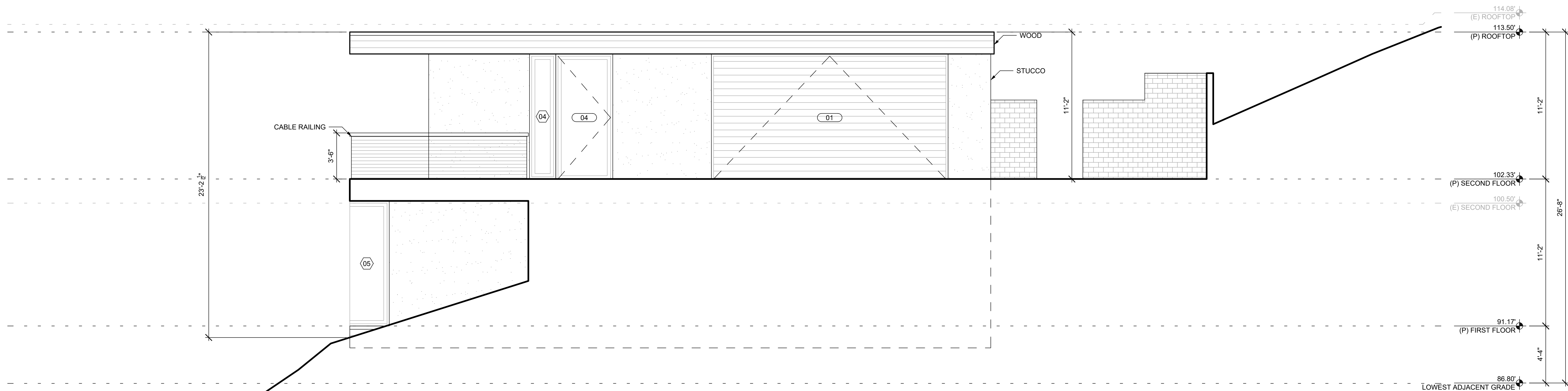
07 / SHEET TITLE

BUILDING ELEVATIONS

08 / SHEET NUMBER

A204

HAM DESIGN GROUP, INC.



01 (P) WEST ELEVATION
SCALE: 1/4" = 1'-0"

AGENDA ITEM NO. 8C

CASE TYPE AND NUMBER: Environmental Assessment – EAS23-00005
General Plan Amendment – GPA23-00002
Conditional Use Permit – CUP23-00027
Planned Development – PUD23-00001
Division of Lot – DIV23-00008

APPLICANT: Rose Equities (Optimus Properties, LLC)

PURPOSE OF APPLICATION: Request for adoption of a Mitigated Negative Declaration, and approval of a General Plan Amendment to amend the land use designation from General Commercial to Medium-High Density Residential, in conjunction with a Conditional Use Permit to allow the construction of a 272-unit multifamily residential development with density bonus, a Planned Development to establish development standards for the development plan, and a Division of Lot to allow a Vesting Tentative Tract Map for condominium purposes, on property located in the P-D Zone at 2325 Crenshaw Boulevard, referred to as the Torrance Del Amo Project.

LOCATION: 2325 Crenshaw Boulevard

ZONING: P-D Planned Development

ADJACENT ZONING AND LAND USE:

NORTH: P-D Planned Development, Single Family Detached Condominiums
SOUTH: P-D Planned Development, Hotel and Residential Condominium Complex
EAST: P-D Planned Development, Professional Office
WEST: P-D Planned Development, Multifamily Attached Condominium

GENERAL PLAN DESIGNATION: General Commercial

COMPLIANCE WITH ZONE AND GENERAL PLAN: The project site is located within the Planned Development District (P-D Zone) and the General Commercial land use designation of the General Plan. The General Commercial designation is implemented by the C-1, C-2, C-3, C-5, C-R and P-D Zones. The P-D designation may be implemented for residential, commercial, industrial, or mixed-use projects that are at least five acres in area and consistent with the corresponding General Plan land use designation for the property. The project is consistent with the proposed General Plan land use designation of Medium-High Density (pending adoption) which allows development within the density range of 31.1 to 44 dwelling units per acre. The General Plan calls for a variety of housing types and sizes to provide housing opportunities for people with a wide range of incomes and lifestyles. Additionally, the City of Torrance is required to provide its share of regional housing needs through the Regional Housing Needs Assessment (RHNA). The addition of 272 dwelling units would help Torrance meet the 6th Cycle (2021-2029) RHNA, which is 4,939 housing units.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: The project site is located within an urbanized environment at the northwest corner of Sepulveda Boulevard and Crenshaw Boulevard and is situated on a flat irregular shaped lot measuring 5.5 acres in area. In 1988, the Planning Commission approved a Planning Development (PD88-1) to allow the construction of an office building that measures approximately 64,000 square feet and surface parking areas that contain 299 spaces. The site is accessed from driveways that connect to Crenshaw Boulevard approximately 400' to the east and Sepulveda Boulevard approximately 480' to the south via cross access easements with the adjacent properties. The site is served by public transit stops located approximately 400' east on Crenshaw Boulevard and 700' south on Sepulveda Boulevard. There are no outstanding natural features on the site nor in the vicinity.

ENVIRONMENTAL ANALYSIS: The potential environmental impacts associated with the proposed project have been assessed in an Initial Study prepared by CAJA Environmental Services, LLC for the City of Torrance, as the Lead Agency, in accordance with the California Environmental Quality Act (CEQA). The Initial Study was circulated for a 20-day public review period that began on February 8, 2024, and ended on February 28, 2024. Notices of the Initial Study and its availability for review and comment were filed with the State Clearinghouse, the Los Angeles County Registrar-Recorder/County Clerk, and advertised in the local newspaper (The Daily Breeze) and mailed to the registered owner of properties located within a 500' radius of the project site. Copies of the Initial Study and its supporting documents were made available for review at the City of Torrance Permit Center, and made available online at the State Clearinghouse webpage and the City of Torrance webpage at www.bit.ly/Torrance-Del-Amo-Project. During the public review period, affected public agencies and any interested parties were able to comment on the adequacy of the Initial Study in identifying and analyzing the potential environmental impacts of the project and the ways in which potentially significant effects can be avoided or mitigated (Attachment 1). Staff notes the comments received do not identify any new unavoidable significant impacts; therefore, recirculation of the Initial Study is not required.

The Initial Study, through its various technical studies (i.e. air quality, noise, traffic), substantiates that implementation and operation of the project would result in either no impact or less than significant impact in the following topics of environmental analysis:

Aesthetics, Agriculture and Forestry Resources, Air Quality, Energy, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, Utilities and Service Systems, and Wildfire.

The Initial Study found the project would result in less than significant impacts with mitigation measures implemented in the following topics of environmental analysis:

Biological Resources

The project site is located within an urban area and developed with an office building and parking area. The site is surrounded primarily by residential and commercial uses. There are no wildlife corridors, wildlife linkages, or wildlife nurseries located onsite. The project does not propose or require facilities or uses that would affect any offsite wildlife corridors, wildlife linkages, or wildlife nurseries. While there is no potential for the site to function as a wildlife corridor, there is the potential that removal of trees could impact nesting habitats for raptors and other unknown migratory non-game native bird species. Any significant adverse impacts to nesting birds would be reduced to less than significant with the incorporation of mitigation measure BIO-1. This measure would require that tree removal occur during the non-breeding season (September 1 to January 31) to comply with the Federal Migratory Bird Treaty Act and avoid potential takes of active nests including raptors and other migratory non-game birds. Should the trees be removed during the breeding season (February 1 through August 31), pre-construction nesting surveys are required to be completed by a qualified wildlife biologist and require that no impacts to nesting birds would occur by establishing an appropriate buffer zone.

Cultural Resources

The project site is located within an urban area that has been subject to previous grading and development. Any surficial archaeological resources that may have existed on the project site are likely to have been previously disturbed or removed. No archaeological resources are known to be located on the project site or in the vicinity. While there are no known archaeological resources on the site, there is the potential to uncover and impact previously unknown archaeological resources. Any significant adverse impacts related to buried archaeological resources would be reduced to less than significant with the incorporation of mitigation measure CULT-1. This measure would require the suspension of all construction activities in the event there is discovery of any archaeological resources. A qualified archeologist would be required to identify the discovery. If determined to be a Native American cultural resource, the archeologist would coordinate with a Native American tribe interested in

monitoring the remaining onsite grade and excavation activities. If determined to be of non-Native American scientific or historical value, recovered materials would be deposited with a local institution with facilities for their proper curation, analysis, and display. Final disposition and location of non-Native American recovered materials would be determined by the City of Torrance.

Geology and Soils

The project site is located within an urban area that has been subject to previous grading and development. There are no unique paleontological resources or unique geologic features known to exist within the site, and none are known to have been encountered under previous site development activities. The site is not located near the shore of a prehistoric lakebed, streambed or other indicators for paleontological fossils; therefore, the likelihood of encountering unique paleontological resources or unique geologic features is considered remote. While paleontological resources or unique geologic features that may have been present at one time have likely been destroyed, there is the potential to uncover and impact previously undiscovered paleontological resources. Any potentially significant adverse impacts to paleontological resources would be reduced to less than significant with the incorporation of mitigation measure GEO-1. This measure would require the suspension of all construction activities in the event there is discovery of any paleontological material. A qualified paleontologist would be required to determine significance of the find. If determined to be of significant value, the recovered materials would be deposited with a local institution with facilities for their proper curation, analysis, and display. Final disposition and location of paleontological resources would be determined by the City of Torrance.

Hazards and Hazardous Materials

The project site is located within an urban area that has been subject to previous grading and development. As part of the environmental analysis, a Phase I Environmental Site Assessment (ESA) was completed for the project site. The Phase I ESA identified the past petroleum production use at the project site, including above-ground storage tanks (ASTs), an oil derrick (and well), and apparent waste oil and water ponds and the HAZNET database reporting of contaminated soil contained onsite by "disposal surface impoundment" as recognized environmental concerns (RECs) for the site. No records regarding cleanup of petroleum-impacted soil (if any) were identified and as such, the potential exists for petroleum-impacted soil to exist at the site. The Phase I ESA recommends that a Soil Management Plan (SMP) be prepared prior to demolition of the existing building and pavements and redevelopment of the site that will describe procedures and protocols for handling apparently impacted soil, if encountered. The SMP would describe the appropriate handling of any undocumented underground storage tanks, septic systems, water wells, or other subsurface structures that might be encountered during site grading and excavation and any applicable regulatory agency reporting/permitting requirements. Any potentially significant adverse impacts related to hazards and hazardous materials would be reduced to less than significant with the incorporation of mitigation measure HAZ-1. Implementation of mitigation measure HAZ-1 would require the preparation and implementation of an SMP to ensure that construction and operation of the project would not create a significant hazard to the public or the environment through the transport, disposal, and accidental release of hazardous materials. The SMP includes practices that are consistent with the California Title 8, Occupational Safety and Health Administration (Cal-OSHA) regulations, as well as appropriate remediation standards that are protective of the planned use. Appropriately trained professionals will be on site during preparation, grading, and related earthwork activities to monitor soil conditions encountered. The SMP will also include requirements for documenting and reporting incidents of encountered contaminants, such as documenting locations of occurrence, sampling results, and reporting actions taken to dispose of contaminated materials. In the event that potentially contaminated soils are encountered, soils shall be tested and stockpiled. The appropriate Certified Unified Program Agency (CUPA) will determine whether further assessment is warranted. The SMP will be submitted to the CPUC 30 days prior to the start of construction for review and approval.

Noise

The project site is located within an urban area and developed with an office building and parking area. The site is surrounded primarily by residential and commercial uses. During a noise measurement study at the project site, the existing use was not observed to be a substantial contributor to existing ambient noise conditions. The existing use likely contributes nominally to existing ambient noise levels from mobile sources such as vehicles circulating within the parking lot and stationary sources such as HVAC equipment. Representative noise-sensitive receptors in the vicinity of the project site include the Woodbury Drive Residences to the north, La Terraza Residences to the west, and the Tradewinds Residences to the south. Other noise-sensitive receptors are located at much greater distances from the project and would reasonably experience less than significant impacts due to construction and operations of the project. The project would also require off-site sewer improvements to be made along a segment of Crenshaw Boulevard between approximately 230th Street and 233rd Street. Noise-sensitive single-family residences located along Crenshaw Boulevard would be directly adjacent to construction activities performed as part of the sewer improvements. Construction of the project would generate noise during the approximately 30 months of grading, building construction, and other related construction activities, including those related to the proposed off-site sewer improvements. Any potentially significant adverse impacts related to construction noise would be reduced to less than significant with the incorporation of mitigation measure NOISE-1. Implementation of mitigation measure NOISE-1 would require during construction activities (not activities related to the off-site sewer improvements) sound barriers erected along the project site construction boundary facing La Terraza Residences, Woodbury Drive Residences, and Tradewinds Residences that are rated to achieve a sound attenuation of at least 15 dBA to shield these receptors from on-site construction noise activities. Sound barriers facing La Terraza Residences and Woodbury Drive Residences would be at least 25 feet tall; sound barriers facing Tradewinds Residences would be at least 20 feet tall. The prescribed sound barriers would be installed prior to the commencement of demolition and grading activities and would remain in place until the project has reached "dry-in" status. Additionally, implementation of sound barriers pursuant to mitigation measure NOISE-1 would also ensure that grading-related noise increases at these noise-sensitive receptors are below the 5 dBA Leq threshold of significance adopted by the analysis. Further, they would also ensure that construction noise levels (irrespective of ambient noise levels) at these receptors are below the 55 dBA Leq daytime noise limit established by Section 46.7.2 of the Torrance Municipal Code. As a result, with mitigation measure NOISE-1, the grading-related noise impacts would be less than significant. Noise impacts from other construction phases would be less than the grading-related noise levels assessed by this analysis and therefore less than significant, as well.

Tribal Cultural Resources

The project site is located within an urban area that has been subject to previous grading and development. Any tribal cultural resources that may have existed on the project site are likely to have been previously disturbed or removed. No tribal cultural resources are known to be located on the project site or in the vicinity. While there are no known tribal cultural resources on the site, there is the potential to uncover and impact previously unknown tribal cultural resources. Any significant adverse impacts related to buried tribal cultural resources would be reduced to less than significant with the incorporation of mitigation measure TCR-1. This measure would ensure that any inadvertent discovery of tribal cultural resources encountered during ground-disturbing activities are protected and preserved. The project applicant would be required to retain a Native American Monitor from or approved by the Gabrieleño Band of Mission Indians—Kizh Nation. The monitor will be retained prior to the commencement of any ground-disturbing activity for the project site at all project locations (i.e., both on-site and any off-site locations that are included in the project description/definition and/or required in connection with the project, such as public improvement work). In the event there is a discovery of tribal cultural resources, all construction activities in the immediate vicinity of the discovery would cease until the find has been fully assessed by a tribal representative. Any tribal cultural resources that are discovered would be treated with appropriate dignity and protected and preserved as appropriate. The tribe will recover and retain all discovered tribal cultural resources in the form and/or manner the tribe

deems appropriate and for any purpose the tribe deems appropriate, including for educational, cultural and/or historical purposes.

ENVIRONMENTAL FINDING: As the decision-making body relative to the proposed development, it is the role of the Planning Commission to review the information provided within the Initial Study and determine the extent of any potential environmental impacts. If, on the basis of the Initial Study and related public testimony, the Planning Commission finds there is no substantial evidence that the project will have a significant effect of the environment, the appropriate action would be to adopt a Mitigated Negative Declaration (MND), prior to taking action on the project.

Based on the information contained in the Initial Study prepared for the project, there is no substantial evidence that the project may have a significant effect on the environment when certain mitigation measures are incorporated into the project, as included in and enforced by the Mitigation Monitoring and Reporting Program, on file in the office of the Community Development Department. On the basis of the Initial Study, the Planning Division recommends adoption of a Mitigated Negative Declaration (Attachment 1).

PROJECT ANALYSIS: The project applicant, Rose Equities (Optimus Properties, LLC), requests approval by the Planning Commission to allow the construction of a new multifamily residential development comprised of 272 dwelling units situated atop a two-level subterranean parking garage with 461 parking spaces, on property located in the P-D Zone at 2325 Crenshaw Boulevard.

The project is subject to review and approval by the Planning Commission for the following entitlements:

- General Plan Amendment (GPA) to amend the land use designation from General Commercial to Medium-High Density Residential;
- Conditional Use Permit (CUP) to allow residential development above three stories in height or more than 100 units or having a density greater than 27 units per acre, and to allow multiple owner-occupied residential structures (condominiums);
- Planned Development (PD) to establish development standards for the development plan; and
- Division of Lot (DIV) to allow a Vesting Tentative Tract Map for condominium purposes.

The development standards of the P-D Zone and the Torrance Municipal Code (TMC) are applicable to the project, which include objective development standards set forth in the proposed development plan that are subject to review and approval by the Planning Commission to ensure the project is compatible with the surrounding land uses to the extent possible as allowed by State law, specifically the Housing Accountability Act (Government Code Section 65589.5). In addition, the project involves a density bonus with related incentives and waivers as provided for in State Density Bonus Law (Government Code Sections 65915 – 65918). Staff has determined the project complies with State Density Bonus Law. The balance of this report provides details regarding each component of the project.

Project Overview

The project is representative of current housing development trends in urbanized areas and features 272 dwelling units distributed within multiple connecting buildings that range from three- to five-stories and heights from 50 feet to 70 feet, respectively, and developed with onsite circulation, amenities, open spaces, and landscaping, all situated atop a two-level subterranean parking garage.

The project's gross floor area measures 480,281 square feet and the project site measures 239,632 square feet (5.5 acres), which results in a 2.01 Floor Area Ratio (FAR). The project utilizes a density range of 31.1 to 44 dwelling units per acre (du/ac) based on the General Plan land use designation, Medium-High Density Residential (R-MH) and proposes 33 du/ac which yields 181 base units. Additionally, the project commits to designate/reserve 15% of 181 base units or 28 affordable units for very low-income households. Therefore, the project is entitled to receive a 50% density bonus increase (or 91 additional units) resulting in the total number of units of 272.

Access to the site is provided via driveways from Crenshaw Boulevard to the east and from Sepulveda Boulevard to the south via cross access easements with the adjacent properties. The two-level parking garage provides 461 spaces, inclusive of accessible spaces and 48 electric vehicle (EV) charging stations. The first level of the garage, which is semi-subterranean, also includes over 15,000 square feet of coworking and amenity space. The project includes 12 short-term bicycle spaces and 120 long-term bicycle spaces. Guest parking spaces will be located entirely within the parking garage located directly below. Entrances to subterranean parking garage will be located along the north and south elevations. Two designated loading zones are located at the street level near the main building entries along the east elevation and west elevation.

Building Architecture and Site Design

The project is consistent with current trends and best practices in building architecture and site design, which encourage scale, placement, and appeal that is compatible with character of the surrounding area and that blend with existing uses.

The project is situated on an interior lot adjacent to commercial office buildings to the southeast, multifamily residential buildings to the west and south, and single-family residential buildings to the north. The project design builds on the existing character of the surrounding area and serves as a bridge between the neighboring single-family residences to the north and the taller office buildings and multifamily residential building to east and south. The project orients the taller residential buildings toward the south to connect with high activity areas along Sepulveda Boulevard and orients the lower residential buildings toward the north near to the single-family residences.

The project design further demonstrates transition and scale in conformity with neighboring structures, with building heights gradually increasing while stepping back further away from the single-family residences to the north. For example, the three-story buildings to the north measure approximately 48' in height, the four- and five-story residential buildings to the south measure approximately 48' and 69' in height respectively. For reference, the 91-unit senior condominium building to the south at 2605 Sepulveda Boulevard measures 48' in height.

Moreover, the project incorporates landscape planters and a 30' wide driveway along the perimeter, thus offering a broad separation between neighboring uses that facilitate a clear and recognizable transition. As designed, the proposed buildings will setback between 35 feet to 62 feet from the property line. Additional features and design enhancements include various ground level amenities, such as open courtyards and plazas that promote quality experience and increased value.

In addition, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. The architectural design of the buildings will be of a contemporary style that utilizes high quality materials including metal roof, metal screen with wood finishes, smooth cement plaster metal fascia trims and stone cladding. The color scheme includes dark gray for metal roof, white smooth stucco, red and brown for wood finishes and beige for stone cladding.

Dwelling Units

The project offers four unit types including studio, one-bedroom, two-bedroom and three-bedroom. The units will range from 650 square feet for a studio unit to 1,610 square feet for a three-bedroom unit. All units will have a minimum of 75 square feet of private open space provided either as balconies or patios.

Table below shows the project summary:

Project Data		
Lot Area	239,581 sf (5.5 acres)	
Building Floor Area	480,281 sf	
Unit Style	Unit Size (Avg. sf)	# of Units Proposed
Studio	650	36
One-Bedroom	990	109
Two-Bedroom	1,330	109
Three-Bedroom	1,610	18
Total # of Units proposed		272

Development Plan

Planned Development (PD) is proposed as part of the project to establish development standards such as height and setbacks via the approvals currently under consideration. As is, the subject parcel is a land-locked parcel where the parcel itself is not contiguous to any public roadways and therefore has no street frontage. Accessibility to nearby streets is through cross access easements with adjacent properties immediately to the east and south of the project site allowing access to Crenshaw Boulevard and Sepulveda Boulevard, respectively. As designed, the outer perimeter of the property will consist of 30' wide access/fire access road which also serves as a buffer between the project and surrounding properties. The landscape area is also incorporated as part of the design to further buffer the project from the surrounding properties. With respect to project's setbacks, per the project's layout, setbacks are varied.

Tables below are summary of the Building Setbacks measured from each property line and Building Heights:

Project Setback		
North Property Line		
Three-Story Residential Buildings		30'
South Property Line		
Five-Story Residential Building		30'
East Property Line		
Three/Four/Five-Story Residential Building		17'
West Property Line		
Three/Five-Story Residential Building		56'
Building Heights Summary		
	Elevation	Building Heights
North		
three-Story Residential Building		50'
South		
Five-Story Residential Building		70'
East		
Three/Four/Five-Story Residential Building		50' – 70'
West		
Three/Five-Story Residential Building		50' – 70'

Access, Circulation, and Parking

The project is consistent with the current trends and best practices in site design for access, circulation and parking, which encourage easy to understand access and circulation that accommodates the needs of both the automobile and the pedestrian and that reduces traffic conflicts. In addition, parking structures are encouraged as part of the site design to provide greater flexibility in uses, minimize lot coverage, and to enhance opportunities for open space and landscaping.

As previously stated, this landlocked parcel is located approximately 400’ west of Crenshaw Boulevard and 480’ north of Sepulveda Boulevard. Access to these arterial roadways will continue to be through existing driveways with established cross access easement agreements. With respect to on-site circulation, the site is designed to have a 30’ wide two-way access road along the outer perimeter of the project. The subterranean parking structure will have two entrances, one along the north elevation and another along the south elevation directly connected with access roadways that lead to Sepulveda Blvd and to Crenshaw Blvd. Within the project site, there is a network of pedestrian pathways with ADA accessible that is also separating from vehicular traffic. The separation is designed to enhance pedestrian safety when walking within the project site and to neighboring walkways along the access roadways to Crenshaw Boulevard and Sepulveda Boulevard.

The project requires 336 parking spaces and provides 461 parking spaces that are located entirely within the two-level subterranean parking structure, including 10 accessible spaces, 24 tandem spaces, and 48 spaces with electric vehicle (EV) charging stations. The project designates 44 spaces as guest parking spaces. Additionally, 105 bike parking spaces will also be provided within the parking structure.

Staff notes although State Density Bonus Law entitles the project to reduced parking ratios for residential use (average 1.2 spaces per unit), the project is providing 125 spaces more than required for a total of 461 spaces (average 1.7 spaces per unit), which is in keeping with recent multifamily residential developments. For example, in 2022 the Planning Commission approved a 217-unit development at 22501 Hawthorne Boulevard that provided 412 spaces (average 1.8 spaces per unit). As this project is a condominium project, a minimum of 200 cubic feet of lockable storage required for each unit is also required. As proposed, the project will provide a total of 61,316 cubic feet for the project. All lockable storage will be located within both levels of the subterranean parking structure.

Table below shows a summary of the parking spaces:

Parking Summary			
	Residential Units	Guest parking	Total
Parking Provided	417	44	461
Parking Required	336*	n/a**	336
<p><i>*Per the State Density Bonus Law, parking ratio for residential units is reduced to:</i></p> <ul style="list-style-type: none"> <i>1 space per studio unit;</i> <i>1 space per one-bedroom unit;</i> <i>1.5 spaces per two-bedroom unit;</i> <i>1.5 spaces per three-bedroom unit</i> <p><i>**Per State Density Bonus Law, guest parking is not required.</i></p> <p>Total parking includes: 379 standard spaces, 24 Tandem spaces, 10 ADA spaces and 48 EV spaces</p>			

Useable Space, Landscape Areas, and Onsite Amenities

The project provides an ample amount of open space with functional and attractive design that not only enhances the aesthetics of the project site but also encourages an outdoor active lifestyle for its occupants.

Amenities include the three landscaped courtyards situated between buildings to be used as recreation areas. The fully landscaped courtyards will consist of flex lawn, outdoor games, outdoor kitchen, outdoor lounge areas, fitness deck, outdoor spa, swimming pool and in-door gym and coworking space. Meandering pedestrian pathways and large number of trees have been incorporated as part of the landscape design for easy access. A generous number of trees will be incorporated along the building frontages to enhance the exterior aesthetic of the development. Every residential unit features a balcony/deck ranges in size from 75 square feet to 164 square feet, for a total of approximately 38,000 square feet of private useable space. In addition to landscaped parkways along the exterior of the buildings, over 50,000 square feet of common open space/courtyards are located between buildings including an outdoor patio located in the first level of the subterranean parking garage. When combined the amenity/recreation/open space areas total more than 150,000 square feet of usable open space, which exceeds the minimum code requirements.

Table below is a summary of the usable space and landscape areas:

Usable Space and Landscape Area Summary (sf = square feet)	
	Total Square Feet
Private Open Space	
Balconies	30,022 sf
Patis	8,131 sf
Courtyards	
Entry Grove, Hammock, Pool, Flex Lawn Umbrella, shared and outdoor patio in parking level 1	54,938 sf
Total Usable Space	93,091 sf*
<i>(*Total Usable Space Required (300 sf per unit) = 81,600 sf)</i>	
Total Permeable Landscape Area	49,366 sf**
<i>(**Total Landscape Area Required (5% of Site Area) = 11,982 sf)</i>	

Building Floor Areas

Planned Development Zone (pending adoption) which allows the City to approve Development Plan setting forth development standards for the project within the zone and the R-MH General Plan Land Use Designation (pending adoption) allows for the development density between 31.1 – 44 dwelling units per acre. The project gross floor area measures approximately 480,281 square feet inclusive of the 91 density bonus units and the project site measures 239,632 (5.5 acres), yielding a 2.01 Floor Area Ration (FAR). For reference purposes, the 91-unit senior condominium project located immediately to the south of the project site was approved by the Planning Commission in 2001 and completed in 2003. The resulting FAR for the said senior condominium project is 1.59.

Table below provides a summary of the building floor area:

Floor Area Summary (sf = square feet)			
	Residential Floor Area (Square Feet)	Amenity/Community space (Square Feet)	Floor Area Ratio
Residential Level 1	95,712		0.40
Residential Level 2	100,147		0.42
Residential Level 3	99,856		0.42
Residential Level 4	76,611		0.32
Residential Level 5	64,777		0.27
Parking Level B1	-	27,037	0.11
Parking Level B2	-	16,141	0.07
Project Gross Floor Area			2.01
<i>*Final project floor areas may vary at building permit issuance, not to exceed project gross floor area. For purposes of calculating the FAR, the parking structure surface area is not counted.</i>			

State Density Bonus Law

As provided for in the State Density Bonus Law (Government Code Section 65915 – 65918), the project includes a density bonus with related incentives and waivers. Staff has determined the project complies with State law and is entitled to receive the density bonus and related benefits.

The project site is located within the P-D Zone (adoption pending) which permits the City to approve development plan setting forth development standards for the project. The project site measures 239,632 sf or 5.5 acres and as proposed the base number of residential condominium unit is 181 or 33 dwelling units per acre. With the proposed General Plan Amendment (adoption pending) from General Commercial (C-GEN) to Medium-High Density Residential (R-MH), the allowable development density for R-MH is 31.1 to 44 dwelling units per acre. The proposed density is within range for R-MH land use designation.

The project will reserve 15% of the base units (28 units) for very low-income households (household income levels are determined by the state Department of Housing and Community Development) and therefore, the project is entitled by the State Density Bonus Law to receive up to 50% increase from the base units. Therefore, 91 density bonus units (50% of 181 base units) have been incorporated into the project. The additional 91 density bonus units increase the project density from 33 dwelling units per acre to 49.45 dwelling units per acre.

In addition to the density bonus, the project is entitled to receive three incentives and concessions among other benefits mandated by the State Density Bonus Law (i.e., reduced parking requirements, waivers). Incentives and concessions can be applied in order for the project to receive reductions of development standards. Incentives and reductions are not subject to discretionary review. However, no incentives or concessions are requested.

Table below shows a summary of the density bonus:

Density Bonus Summary			
Affordable Units	Affordability Level	Density Bonus	Incentives/Reductions
15% (28 Units)	Very Low Income	50% (91 Units)	None requested

In accordance with the State Density Bonus Law, the applicant will be required to record a Density Bonus Housing Agreement to memorialize the approved density bonus allowance, incentives, concessions, waivers of development standards, parking allowances, development standards and uses, and any other terms and conditions relative to the project that have been included in the attached resolutions.

Conclusion

In the judgment of staff, the project is consistent with the Planned Development Zone (adoption pending) which allows development standards set forth in a Development Plan approved by the City and the General Plan Land Use Designation of R-MH (adoption pending) which allows development density between 31.1 – 44 dwelling units per acre.

The project design builds on the existing character of the surrounding area, which is a mixture of multi-family residential and commercial uses. The project architectural design and material used are of high quality which not only help with the project integration into the surrounding properties but also enhancing the overall aesthetic of the neighborhood. The project design further demonstrates transition and scale in conformity with neighboring structures, from three-story along the northerly portion of the project to five-story towards commercial buildings and multi-story senior housing to the east and south, respectively.

The project complies with the development standards of PD zone (adoption pending) and the General Plan (adoption pending) and complies with State Density Bonus Law. The project would also have a less than significant effect with the incorporation of mitigation measures with respect to Biological Resources, Cultural Resources, Geology and Soils, Hazards and Hazardous Materials, Noise and Mandatory Findings of Significance. Based on the analysis provided within the Initial Study and Mitigated Negative Declaration prepared for this project, the project would result in a less than significant effect.

In addition, the anticipated population growth at the project site is well within the growth forecast that was identified in the 2021-2029 Housing Element update. The population of the City of Torrance is forecast to increase from 145,546 in 2020 to 159,800 in 2040. The addition of 272 residential condominium units represents a negligible impact on utility and public service capacity.

Lastly, the project would provide a much-needed supply of housing, and high-quality housing for very low-income households. Like many communities throughout Southern California, Torrance residents face significant issues regarding housing availability and affordability. The addition of 272 residential condominium units would help Torrance meet the 6th Cycle (2021-2029) Regional Housing Needs Allocation (RHNA), which is 4,939 housing units.

For these reasons, staff recommends approval of the request, subject to conditions.

The applicant is advised that Code requirements have been included as an attachment to the staff report and are not subject to modification.

Staff also notes the technical studies prepared for the project are available on the City webpage at: www.bit.ly/Torrance-Del-Amo-Project.

PROJECT RECOMMENDATION: ADOPT MITIGATED NEGATIVE DECLARATION, APPROVAL OF CONDITIONAL USE PERMIT 23-00027, DIVISION OF LOT 23-00008, PLANNED DEVELOPMENT 23-00001 AND RECOMMEND TO CITY COUNCIL APPROVAL OF GENERAL PLAN AMENDMENT TO CHANGE LAND USE DESIGNATION FROM GENERAL COMMERCIAL (C-GEN) TO RESIDENTIAL MINIMUM HIGH (R-MH)

FINDINGS OF FACT IN SUPPORT OF APPROVAL OF THE REQUEST:

Findings of fact in support of approval of the request are set forth in the attached resolutions.

RECOMMENDED CONDITIONS, IF PROJECT IS APPROVED:

Recommended conditions for the project are set forth in the attached resolutions.

Prepared by,



Peerapol Suree, AICP
Planning Associate

Respectfully submitted,



Leo Oorts
Planning Manager

Attachments:

1. Mitigated Negative Declaration (Limited Distribution: www.bit.ly/Torrance-Del-Amo-Project.)
2. Planning Commission Resolutions
3. Location and Zoning Map
4. Code Requirements
5. Initial Study, EAS23-00005 (Limited Distribution: www.bit.ly/Torrance-Del-Amo-Project.)
6. Project Plans (Limited Distribution)
7. Correspondence

PLANNING COMMISSION RESOLUTION NO. 24-013

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, ADOPTING A MITIGATED NEGATIVE DECLARATION FOR THE TORRANCE DEL AMO PROJECT IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

EAS23-00005: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application filed by Rose Equities (Optimus Properties, LLC) for adoption of a Mitigated Negative Declaration (EAS23-00005), and approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Vesting Tentative Tract Map (DIV23-00008) for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 42, and Division 9, Chapter 2, Article 29, and Division 9, Chapter 2, Article 34, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq.) and the State CEQA Guidelines (California Code of Regulations Section 15000 et seq.), as amended, the City of Torrance is the Lead Agency responsible for preparation and consideration of the environmental review for the Torrance Del Amo Project; and

WHEREAS, an Initial Study was prepared to assess the potential environmental impacts associated with the Torrance Del Amo Project, and said Initial Study concluded that the Torrance Del Amo Project may result in or cause potentially significant effects. However, compliance with existing policies, plans and regulations, revisions to the plans, together with design features and mitigation measures incorporated would avoid the effects or mitigate the effects to levels that would be less than significant. Therefore, the City of Torrance has determined a Mitigated Negative Declaration is appropriate and that no further environmental review is required; and

WHEREAS, notices of the Initial Study/Mitigated Negative Declaration (IS/MND) and its availability for review and comment were filed and circulated for a twenty (20) calendar day period commencing on February 8, 2024 and ending on February 28, 2024; and

WHEREAS, during the review and comment period, affected public agencies and any interested parties were able to comment on the adequacy of the IS/MND in identifying and analyzing the potential environmental impacts associated with the Torrance Del Amo Project and the ways in which potentially significant effects can be avoided or mitigated; and

WHEREAS, comment letters were received from private parties and public agencies related to the IS/MND prepared for the Torrance Del Amo Project, and have been thoroughly reviewed to determine whether any new substantial environmental issues have been raised; and

WHEREAS, although CEQA does not require a formal response to each of the comments received on the IS/MND, a Response to Comments has nonetheless been prepared in order to provide the decision-making body with additional information upon which to base their decision; and

WHEREAS, based on the evaluation in the IS/MND together with all comments received, no new substantial environmental issues have been raised and that all issued raised in the comment letters have been adequately addressed in the IS/MND and in the Response to Comments. All potential impacts associated with the Torrance Del Amo Project were found to be less than significant with incorporation of relevant mitigation measures, where applicable. Therefore, the findings and conclusions of the IS/MND are not affected, and no revisions are required or proposed; and

WHEREAS, the Mitigation Monitoring and Reporting Program (MMRP) lists all the mitigation measures, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure; and

WHEREAS, the IS/MND and MMRP and the documents and records relating to the Torrance Del Amo Project are on file and available for review with the Community Development Department of the City of Torrance, located at 3031 Torrance Boulevard, Torrance, CA 90503; and

WHEREAS, based on all the evidence found and public testimony considered, the Planning Commission of the City of Torrance by roll call vote approved a motion to adopt a Mitigated Negative Declaration and approve the Torrance Del Amo Project; and

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION OF THE CITY OF TORRANCE HEREBY FIND AND DETERMINE AS FOLLOWS:

- a) That the Initial Study/Mitigated Negative Declaration was properly prepared and circulated for public review in accordance with the California Environmental Quality Act;
- b) That the Initial Study/Mitigated Negative Declaration was carefully considered and all comments thereon, and is the appropriate environmental document for the Torrance Del Amo Project, and reflects the independent judgment and analysis of the City of Torrance as the Lead Agency, and that no further environmental review is required;
- c) That with implementation of the mitigation measures identified in the Initial Study/Mitigated Negative Declaration and included in and enforced by the Mitigation Monitoring and Reporting Program, and on the basis of the whole record and public testimony considered, including the Response to Comments, there is no substantial evidence that the Torrance Del Amo Project will have a significant effect on the environment;
- d) That the Mitigated Negative Declaration is hereby adopted; and
- e) That the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and the documents and records relating to the Torrance Del Amo Project are on file and available for review with the Community Development Department of the City of Torrance, located at 3031 Torrance Boulevard, Torrance, CA 90503.

INTRODUCED, APPROVED AND ADOPTED at the regular meeting of the Planning Commission of the City of Torrance held on the 20th day of March 2024 by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSE: COMMISSIONERS:

Chairman, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSE:	COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL TO ALLOW THE CONSTRUCTION OF A 272-UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT WITH DENSITY BONUS ON PROPERTY LOCATED IN THE P-D ZONE AT 2325 CRENSHAW BOULEVARD (APN 7359-028-233), HEREIN REFERRED AS THE TORRANCE DEL AMO PROJECT.

CUP23-00027: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application filed by Rose Equities (Optimus Properties, LLC) for adoption of a Mitigated Negative Declaration (EAS23-00005), and approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 42, and Division 9, Chapter 2, Article 29, and Division 9, Chapter 2, Article 34, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, an Initial Study (EAS23-00005) was prepared and circulated for public review in accordance with the California Environmental Quality Act (CEQA) to assess the potential environmental impacts associated with Torrance Del Amo Project, and said Initial Study concluded that the Torrance Del Amo Project may result in or cause potentially significant effects. However, compliance with existing policies, plans and regulations, revisions to the plans, together with design features and mitigation measures incorporated would avoid the effects or mitigate the effects to levels that would be less than significant. Therefore, the City of Torrance has determined a Mitigated Negative Declaration is appropriate and that no further environmental review is required; and

WHEREAS, the Planning Commission of the City of Torrance carefully considered the Initial Study/Mitigated Negative Declaration (IS/MND) and all comments thereon, including the Response to Comments, and determined that such is the appropriate environmental document for the Torrance Del Amo Project, and reflects the independent judgment and analysis of the City of Torrance as the Lead Agency, and that no further environmental review is required; and

WHEREAS, a Mitigation Monitoring and Reporting Program (MMRP) has been prepared that lists all of the mitigation measures, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure; and

WHEREAS, that with implementation of the mitigation measures identified in the IS/MND and included in and enforced by the MMRP, and on the basis of the whole record and public testimony considered, there is no substantial evidence that the Torrance Del Amo Project will have a significant effect on the environment; and

WHEREAS, based on all the evidence found and public testimony considered, the Planning Commission of the City of Torrance adopted a Mitigated Negative Declaration for the Torrance Del Amo Project; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2325 Crenshaw Boulevard (APN 7359-028-233);
- b) That the property is described as "P M 202-51-55 LOT 2" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the Torrance Del Amo Project, as conditioned, will not impair the integrity and character of the proposed P-D Zone (adoption pending) and is compatible with the surrounding uses which includes a hotel, commercial office and residential uses;
- d) That the project site is physically suitable for the Torrance Del Amo Project, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- e) That the Torrance Del Amo Project, as conditioned, will be compatible with the existing and proposed future land uses nearby, and the general area in which the project is to be located because the project site is surrounded by urban uses that include an office building to the east and south, single family residential uses to the north, and multifamily residential uses to the west;
- f) That the Torrance Del Amo Project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the project is located within the proposed Medium High Density Residential land use designation (adoption pending), which is described as multifamily residences with subterranean parking and a density range of 31.1 to 44 dwelling units per acre, and because the project will provide a much needed housing supply to meet the needs of all income levels;
- g) That the Torrance Del Amo Project, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the project is a viable redevelopment of the site and is compatible with the current uses and development in the surrounding vicinity and represents an improvement to the area. For example, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Additional features and design enhancements include various ground level amenities, such as a pool and open courtyards that promote quality experience and increased value;
- h) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the Torrance Del Amo Project, as conditioned, is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. The addition of 272 apartment units or 710 persons at full occupancy (2.61 persons per household) represents a negligible impact on utility and public service capacity, and will not result in the need to construct new facilities. In addition, the project applicant is required to pay development impact fees and school district fees to offset the incremental increase in the demand for public services;

- i) That there will be adequate provisions for public access to serve the Torrance Del Amo Project, as conditioned, because pedestrian and vehicular access is provided from access roadways providing access via cross access easements from adjacent properties to Crenshaw Boulevard to the east and Sepulveda Boulevard to the south;
- j) That the location, size, design, and operating characteristics of the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and is consistent with the proposed Medium High Density Residential land use designation (adoption pending);
- k) That the Torrance Del Amo Project, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and
- l) That the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, as the environment impacts associated with the Torrance Del Amo Project have been properly assessed through an Initial Study/Mitigated Negative Declaration under established CEQA guidelines. The Torrance Del Amo Project would not have a significant effect on the environment, when certain mitigation measures are incorporated, and therefore a Mitigated Negative Declaration was adopted; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** CUP23-00027, subject to conditions:

AYES: COMMISSIONERS:
 NOES: COMMISSIONERS:
 ABSENT: COMMISSIONERS:
 ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP23-00027 filed by Rose Equities (Optimus Properties, LLC) for approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

- 1. That use of the subject property for the Torrance Del Amo Project shall be subject to all conditions imposed in Conditional Use Permit 23-00027; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if Conditional Use Permit 23-00027 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the Planning Commission Resolutions and the Mitigation Monitoring and Reporting Program shall appear on all grading plans, construction specifications, and bid documents associated with the Torrance Del Amo Project to facilitate coordination and effective implementation of the conditions of approval and the mitigation measures; (Planning)
4. That a draft copy of the Covenants, Conditions and Restrictions (CC&Rs) shall be submitted to the Community Development Department for review and approval by the City Attorney's Office prior to the recordation of a condominium plan to permit sale of individual units within the project to ensure that all conditions required by the City Council to be included in the CC&R's are in fact properly included in the document and that a copy of the document shall be submitted to the Community Development Department for placement in the permanent file; (Planning)
5. That the Covenants, Conditions and Restrictions shall make a provision for a tie breaker vote in the event of a disagreement between the owners of the condominiums; (Planning)
6. That the Covenants, Conditions, and Restrictions shall make provisions for the storage, collection, and retrieval of the shared trash receptacles (trash, green waste, and recyclables) and trash enclosures areas; (Planning)
7. That the Covenants, Conditions, and Restrictions shall make provisions for reciprocal access and parking agreements for the drive aisles, vehicle turnaround areas, and guest parking spaces; (Planning)
8. That the applicant shall submit, in order to ensure with compliance with Government Code Section 65915 (c)(1)(A) (or successor statute) a Density Bonus Housing Agreement or similar named agreement, complete with attachment and exhibits, as appropriate, to memorialize the approved density bonus allowance, incentives, concessions, waivers of development standards, parking allowances, development standards and uses, the City Monitoring Fee, and any other terms and conditions relative to the approved project. The applicant shall submit a draft Density Bonus Housing Agreement (DBH Agreement) no less than 90 days prior to the anticipated date for issuance of the first building permit for the project, and the DBH Agreement shall be final and executed by the applicant and the City, in recordable form, prior to issuance of the first building permit for the project. The DBH Agreement shall be presented to the Community Development Department and City Attorney's Office for review and approval, and shall be in a form approved by the Community Development Department and City Attorney's Office, prior to issuance of the first building permit. The DBH Agreement may be executed by the City Manager on behalf of the City, subject to any preference of the City Manager or legal requirement for the DBH Agreement to be approved by the City Council. The applicant may request from the City a form to be used for the DBH Agreement, and the applicant shall reimburse the City for the cost of legal review. The DBH Agreement shall be executed and recorded with the County of Los Angeles Recorder prior to occupancy of units; (Planning)
9. That the 28 affordable units reserved for very low income shall remain affordable in accordance with the State Density Bonus Law or be sold to the initial buyer at an affordable housing costs which may not exceed the area median income for a household size suitable for the unit in accordance with the State Density Bonus Law. The applicant, property manager and/or owner shall provide the Community Development Department with an annual report detailing compliance with the Density Bonus Housing Agreement. The report shall include income verification for all tenants in affordable units, rent rolls and confirmation of rents charged including utility allowances used for the rental project or units sold including mortgage loan payments, mortgage insurance payments, property taxes and assessments, homeowner association fees, utilities allowance, insurance premiums, maintenance costs and space rent; (Planning)

10. That for purposes of defraying the monitoring activities required to ensure compliance with recorded affordability covenants governing the affordable units, the owner(s) of the project, or their successor(s) in interest, shall pay a City Monitoring Fee each year. The City shall deliver to the owner(s) of the project an invoice for the City Monitoring each year. In the event that City fails to deliver an invoice for the applicable year, then that failure shall relieve the owner(s) of the project of their obligation to pay the City Monitoring Fee for that year only. Such failure to deliver the invoice for the applicable year shall not relieve said owner(s) of their obligation to pay any future City Monitoring Fees for which City timely delivers an invoice or to provide annual monitoring reports. Upon City's written request to the applicant, the applicant shall provide the mailing and delivery information for any owner(s) of the project. The terms and requirements of the City Monitoring Fee shall be included in the Density Bonus Housing Agreement; (Planning)
11. That during all construction activities, the applicant or developer shall provide a toll free hotline for complaints relating to the construction of the project. The hotline shall be staffed with a live operator who is able to immediately access a construction supervisor who is present at the project site during regular construction hours. Prior to the issuance of grading permits, the applicant or developer shall post at least two highly visible signs on the perimeter of the site informing the public of the availability of the hotline; (Planning)
12. That during all construction activities the project site shall be secured with perimeter fencing and screened with a decorative wrap to the satisfaction of the Community Development Director; (Planning)
13. That a sample of the exterior building materials, finishes, and color shall be submitted with the building plan set for review prior to permit issuance. The sample shall include the gates, perimeter fencing/walls, and outdoor furniture. The exterior building materials, finishes, and color shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
14. That a detail of the perimeter fencing and walls shall be provided to the Community Development Department for approval prior to the issuance of any building permits and that no chain link shall be allowed; (Planning)
15. That the project shall comply with the development standards established in Plan of Development PUD23-00001; (Planning)
16. That the project shall comply with the following development standards established for the project:

Perimeter wall setback from property line
 North property line = 30 feet
 South property line = 30 feet
 East property line = 17 feet
 West property line = 56 feet

Minimum street/fire access width = 30 feet (with or without street parking)

Parking

Studio	1 space
1 Bedroom	1 space
2 Bedroom	1.5 spaces
3 Bedroom	1.5 spaces
4 Bedroom	2.5 spaces

Minimum

Usable

Open space = There shall be provided a minimum of three hundred (300) square feet of useable open space per dwelling unit.

Maximum Height = 50 feet (3-story buildings)
70 feet (5-story buildings)

17. That an exterior photometric lighting plan shall be submitted with the building plan set for review prior to permit issuance. The lighting plan shall be prepared in compliance with the California Green Code (CGC) and shall ensure that all parking areas and pathways are provided with adequate illumination, security lights that are non-glaring, and that all building lights are properly shaded and reflected to prevent excess lighting onto adjacent uses and public streets. Lighting values at property line shall not exceed 1 foot candle. The height of light fixtures shall be reduced to 15 feet maximum in height when adjacent to the multifamily residential use; (Planning)
18. That all mechanical equipment, electrical boxes, meters, pipes, transformers, air conditioners and all other equipment shall be prohibited on the roof; (Planning)
19. That a sample of the exterior building materials, finishes, and color shall be submitted with the building plan set for review prior to permit issuance. The sample shall include the gates, perimeter fencing/walls, and outdoor furniture. The exterior building materials, finishes, and color shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
20. That a detail of the trash enclosures shall be submitted with the building plan set for review prior to permit issuance. The trash enclosures shall be bounded on three sides by a wall and shall be equipped with solid doors, concrete stress pads to reduce pavement stress, a rainwater intrusion barrier (roof) to meet the current National Pollutant Discharge Elimination System (NPDES) requirements, and shall provide receptacles for the storage and collection of trash and recyclable materials. The trash enclosures shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
21. That all pedestrian pathways connecting from the sidewalks along Crenshaw Boulevard and Sepulveda Boulevard to the project site shall feature a decorative element, such as stamped concrete, pavers or other enhancement to the satisfaction of the Planning Manager; (Planning)
22. That a landscape plan shall be submitted with the building plan set for review prior to permit issuance. The landscape plan shall be prepared in compliance with the latest State Water Efficient Landscape Ordinance and shall utilize drought tolerant California friendly vegetation, shade-producing trees, and shall provide a water efficient irrigation system. Outdoor furniture and fixtures such as lighting, trellises, raised planters, benches, trash receptacles, fencing, etc., shall be included on the landscape plan. The planting arrangement shall provide landscaping of sufficient height and texture to provide an effective screen of all trash enclosures, transformers, utility connections, backflow devices. All trees planted within the project site shall not be less than 24 inch box in size, and all shrubs shall not be less than 5 gallon in size. The location of street trees planted alongside the buildings shall be reviewed for approval by the Torrance Fire Department and the Torrance Public Works Department; (Planning)
23. That a minimum 10% of total parking spaces shall be reserved for electric vehicle charging (EV), with no less than 47 EV spaces fully operable at the time of occupancy and maintained for the duration of the project. The placement and installation of EV spaces, electric vehicle supply equipment (EVSE), and electric vehicle charging stations (EVCS) shall comply with the California Green Code (CGC) and shall be identified on the building plan set for review prior to permit issuance; (Planning)
24. That two loading spaces for pickups and deliveries shall be provided onsite for residential use to the satisfaction of the Planning Manager; (Planning)
25. That a utility management plan shall be submitted with the building plan set for review prior to permit issuance. The utility management plan shall identify the placement, design, and screening of all utility and related equipment, including but not limited to any transformer, panel, meter,

- backflow preventer, double detector check assembly, fire riser, etc. Screening shall comply with all utility company and emergency access requirements to the satisfaction of the Planning Manager; (Planning)
26. That mail kiosks and building directories with maps shall be provided onsite to the satisfaction of the Planning Manager; (Planning)
 27. That a required number of parking space(s) shall be assigned to each condominium unit; (Planning)
 28. That pickups and deliveries of products, material or trash and parking lot sweeping shall occur onsite and shall not be allowed prior to 7:00 a.m. or after 10:00 p.m., and that such restrictions shall be posted at the trash enclosure, the loading spaces, and the driveway entrances to the satisfaction of the Planning Manager; (Planning)
 29. That the residential amenities (e.g. courtyards, club room, fitness room, recreation room, pool etc.) shall be provided and maintained for resident use for the duration of the project. The residential amenities shall not be available for lease to third parties for regular use or special events; (Planning)
 30. That each residential unit shall be provided with 200 cubic feet of lockable storage space to the satisfaction of the Planning Manager. The storage space may be located above each parking space extending downward not closer than 4' 6" above the floor and not further than 3' from the rear of the parking space; (Planning)
 31. That each residential unit shall be provided with a washer and dryer appliance (laundry) as shown on the floor plans; (Planning)
 32. That all open space and landscape areas located at ground level, including the large variety of onsite amenities and outdoor furniture, shall be maintained, repaired, and kept free of trash, litter, debris, graffiti and vandalism; (Planning)
 33. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the buildings; (Planning)
 34. That no outdoor sound amplifying equipment, speakers, radios, paging, telephone bells, buzzers and similar noise emitting devices shall be permitted outside of the building; (Planning)
 35. That all forms of barbed wire and razor wire, chain link fence or similar fence type shall be prohibited; (Planning)
 36. That exterior security bars and roll-up doors applied to windows and building entrances shall be prohibited; (Planning)
 37. That any future request for a Wireless Telecommunications Facility (WTC) shall require a separate approval and that all related equipment cabinets shall be located within the structure and screened from public view; (Planning)
 38. That a striping and signage plan for all drive aisles and parking areas shall prepared in conformance the development standards for residential parking areas (Article 5, Chapter 3 of Division 9 of the Torrance Municipal Code) and said plan shall be submitted with the building plan set for review prior to permit issuance; provided, however, that a request for reduction of the development standards pursuant to State Density Bonus Law shall be subject to administrative review by the Community Development Director prior to permit issuance. The striping and signage shall include stop and/or yield controls, directional signage, and pavement markings to assist right-of-way assignment and pedestrian safety. The plan shall note the spaces reserved for accessible parking, electric vehicle parking, and loading. All parking spaces shall be striped with double lines (6" both sides of center) to facilitate the movement into and out of the parking space. Parking spaces adjacent to walls shall be minimum 10' wide. The onsite

curbs and drive aisles shall be striped red color and signed "NO PARKING" to facilitate fire access and to prohibit parallel parking. Signage shall be installed at the entrance of each drive aisle alerting drivers of the pedestrian walkways and that the drive aisle shall not be used for recreational activities or other non-vehicular activities. The driveways, parking spaces, turnaround areas, and walkways shall be treated with high quality finishes and decorative features, such as stamped concrete or pavers; (Planning)

39. That a noise attenuation plan shall be submitted to the Environmental Division prior to the issuance of the first building permit associated with the Torrance Del Amo Project to the satisfaction of the Planning Manager. The acoustical engineer / noise consultant shall contact the Environmental Division prior to conducting the noise study. The recommendations of the noise attenuation plan shall be adhered to so that when the proposed development is completed, noise from this use will comply with the noise ordinance of the Torrance Municipal Code, will not disturb the internal tenants, and will not disturb neighboring properties; (Environmental)
40. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission; (Environmental)
41. That address numbers shall measure at a minimum 4" in height and be a color that contrasts with the color of the façade; (Environmental)
42. That prior to occupancy the applicant shall perform the following as it pertains to the oil well:
 - a. Submit an application for Construction Site Well review to California Geological Energy Management (CalGem/Dept. of Oil and Gas).
 - b. Submit to the Environmental Division of the Community Development Department a copy of the CalGem letter, with findings of the well review or submit a letter insuring the City that the results will be submitted once they are received.
 - c. The property owner shall comply with California Geological Energy Management (CalGem) determinations regarding the abandoned well.
 - d. The property owner shall provide a site plan showing:
 - The location of the abandoned well.
 - Distances left around the abandoned well as indicated below so that future re-abandonment is possible.
 - An open and unobstructed area shall be provided immediately adjacent to the surface location of the well head as follows: No structure or property line shall be closer than ten (10) feet to any two (2) adjacent sides of the said well; No structure or property line shall be closer than fifty (50) feet from the third (3rd) side of the said well; and The fourth (4th) side shall have open access so that an oil well abandonment rig can be driven onto the site.
 - Well shall be vented.
43. That a drawing demonstrating that no building surcharge loads shall be imposed on the public storm drain shall be submitted for review prior to the issuance of grading permit; (Engineering)
44. That the existing driveways on Crenshaw Boulevard and Sepulveda Boulevard shall be reconstructed per current City of Torrance Standards. The driveways shall be commercial radius type driveways, minimum 30' wide, with depressed back of walk and wheelchair ramps; (Engineering)
45. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering)
46. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduce pressure backflow assemblies shall be located above ground on private property

near the public right-of-way and shall be screened from public view with approved plant material. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to BUILDING PERMIT ISSUANCE. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering)

47. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Engineering)
48. That the project shall be supplied by a master public water meter with privately owned, operated, maintained, and administered submetering system for each dwelling unit. Common areas shall be served by a separate meter. Master meters and backflow preventers shall be installed at each connection point at the public main; (Engineering)
49. That an easement shall be granted to the City of Torrance for the proposed public water line; (Engineering)
50. That the public water main shall be relocated to follow the fire lane and remain as a loop with fire hydrants; (Engineering)
51. That the applicant shall design a private on-site sewer main line and shall be constructed to public standards. The sewer plans, prepared by professional engineer, shall be submitted by the applicant to the Engineering Division of CDD for review and approval prior to issuance of grading permit; (Engineering)
52. That the applicant shall submit a sewer study discussing the new development's impact on the public sewer system. The proposed sewer study shall include the proposed development at 22600 Crenshaw Boulevard. The study shall include flow monitoring data and be approved by the Engineering Division of the Community Development Department prior to issuance of grading permit. The applicant shall design and construct improvements to the public sewer system as per recommendations of the approved study prior to occupancy; (Engineering)
53. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval of this Conditional Use Permit or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; and

54. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

INTRODUCED, APPROVED, and ADOPTED this 20th day of March 2024.

Chairman, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSE: COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-015

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A PLANNED DEVELOPMENT AS PROVIDED FOR IN DIVISION 9 CHAPTER 1, ARTICLE 42 OF THE TORRANCE MUNICIPAL CODE TO ESTABLISH DEVELOPMENT STANDARDS FOR A DEVELOPMENT PLAN FOR PROPERTY LOCATED IN THE P-D ZONE AT 2325 CRENSHAW BOULEVARD (APN 7359-028-233), HEREIN REFERRED AS THE TORRANCE DEL AMO PROJECT.

PUD23-00001: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application filed by Rose Equities (Optimus Properties, LLC) for adoption of a Mitigated Negative Declaration (EAS23-00005), and approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 42, and Division 9, Chapter 2, Article 29, and Division 9, Chapter 2, Article 34, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, an Initial Study (EAS23-00005) was prepared and circulated for public review in accordance with the California Environmental Quality Act (CEQA) to assess the potential environmental impacts associated with Torrance Del Amo Project, and said Initial Study concluded that the Torrance Del Amo Project may result in or cause potentially significant effects. However, compliance with existing policies, plans and regulations, revisions to the plans, together with design features and mitigation measures incorporated would avoid the effects or mitigate the effects to levels that would be less than significant. Therefore, the City of Torrance has determined a Mitigated Negative Declaration is appropriate and that no further environmental review is required; and

WHEREAS, the Planning Commission of the City of Torrance carefully considered the Initial Study/Mitigated Negative Declaration (IS/MND) and all comments thereon, including the Response to Comments, and determined that such is the appropriate environmental document for the Torrance Del Amo Project, and reflects the independent judgment and analysis of the City of Torrance as the Lead Agency, and that no further environmental review is required; and

WHEREAS, a Mitigation Monitoring and Reporting Program (MMRP) has been prepared that lists all of the mitigation measures, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure; and

WHEREAS, that with implementation of the mitigation measures identified in the IS/MND and included in and enforced by the MMRP, and on the basis of the whole record and public testimony considered, there is no substantial evidence that the Torrance Del Amo Project will have a significant effect on the environment; and

WHEREAS, based on all the evidence found and public testimony considered, the Planning Commission of the City of Torrance by roll call vote adopted a Mitigated Negative Declaration and approve the Torrance Del Amo Project; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2325 Crenshaw Boulevard (APN 7359-028-233);
- b) That the property is described as "P M 202-51-55 LOT 2" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the Torrance Del Amo Project, as conditioned, will not impair the integrity and character of the proposed P-D Zone (adoption pending) and is compatible with the surrounding uses which includes a hotel, commercial office and residential uses;
- d) That the project site is physically suitable for the Torrance Del Amo Project, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- e) That the Torrance Del Amo Project, as conditioned, will be compatible with the existing and proposed future land uses nearby, and the general area in which the project is to be located because the project site is surrounded by urban uses that include an office building to the east and south, single family residential uses to the north, and multifamily residential uses to the west;
- f) That the Torrance Del Amo Project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the project is located within the proposed Medium High Density Residential land use designation (adoption pending), which is described as multifamily residences with subterranean parking and a density range of 31.1 to 44 dwelling units per acre, and because the project will provide a much needed housing supply to meet the needs of all income levels;
- g) That the Torrance Del Amo Project, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the project is a viable redevelopment of the site and is compatible with the current uses and development in the surrounding vicinity and represents an improvement to the area. For example, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Additional features and design enhancements include various ground level amenities, such as a pool and open courtyards that promote quality experience and increased value;
- h) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the Torrance Del Amo Project, as conditioned, is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. The addition of 272 apartment units or 710 persons at full occupancy (2.61 persons per household) represents a negligible impact on utility and public service capacity, and will not result in the need to construct new facilities. In addition, the project applicant is required to pay development impact fees and school district fees to offset the incremental increase in the demand for public services;
- i) That there will be adequate provisions for public access to serve the Torrance Del Amo Project, as conditioned, because pedestrian and vehicular access is provided from access roadways providing access via cross access easements from adjacent properties to Crenshaw Boulevard to the east and Sepulveda Boulevard to the south;

- j) That the location, size, design, and operating characteristics of the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and is consistent with the proposed Medium High Density Residential land use designation (adoption pending);
- k) That the Torrance Del Amo Project, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;
- l) That the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, as the environment impacts associated with the Torrance Del Amo Project have been properly assessed through an Initial Study/Mitigated Negative Declaration under established CEQA guidelines. The Torrance Del Amo Project would not have a significant effect on the environment, when certain mitigation measures are incorporated, and therefore a Mitigated Negative Declaration was adopted; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** PUD23-00001, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSE: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION OF THE CITY OF TORRANCE HEREBY APPROVED PUD23-00001, filed by Rose Equities (Optimus Properties, LLC) to establish the development standards for the development plan, in conjunction with a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project, on file in the Community Development Department of the City of Torrance, subject to the following conditions:

1. That use of the subject property for the Torrance Del Amo Project shall be subject to all conditions imposed in Planned Development 23-00001; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if Planned Development 23-00001, is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of Conditional Use Permit 23-00027 shall be met;
4. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

INTRODUCED, APPROVED, and ADOPTED this 20th day of March 2024.

Chairman, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSE: COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-016

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9 CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A VESTING TENTATIVE TRACT MAP FOR CONDOMINIUM PURPOSES ON PROPERTY LOCATED IN THE P-D ZONE AT 2325 CRENSHAW BOULEVARD (APN 7359-028-233), HEREIN REFERRED AS THE TORRANCE DEL AMO PROJECT.

DIV23-00008: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application filed by Rose Equities (Optimus Properties, LLC) for adoption of a Mitigated Negative Declaration (EAS23-00005), and approval a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map (No.84269) for condominium purposes in conjunction with a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 42, and Division 9, Chapter 2, Article 29, and Division 9, Chapter 2, Article 34, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, an Initial Study (EAS23-00005) was prepared and circulated for public review in accordance with the California Environmental Quality Act (CEQA) to assess the potential environmental impacts associated with Torrance Del Amo Project, and said Initial Study concluded that the Torrance Del Amo Project may result in or cause potentially significant effects. However, compliance with existing policies, plans and regulations, revisions to the plans, together with design features and mitigation measures incorporated would avoid the effects or mitigate the effects to levels that would be less than significant. Therefore, the City of Torrance has determined a Mitigated Negative Declaration is appropriate and that no further environmental review is required; and

WHEREAS, the Planning Commission of the City of Torrance carefully considered the Initial Study/Mitigated Negative Declaration (IS/MND) and all comments thereon, including the Response to Comments, and determined that such is the appropriate environmental document for the Torrance Del Amo Project, and reflects the independent judgment and analysis of the City of Torrance as the Lead Agency, and that no further environmental review is required; and

WHEREAS, a Mitigation Monitoring and Reporting Program (MMRP) has been prepared that lists all the mitigation measures, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure; and

WHEREAS, that with implementation of the mitigation measures identified in the IS/MND and included in and enforced by the MMRP, and on the basis of the whole record and public testimony considered, there is no substantial evidence that the Torrance Del Amo Project will have a significant effect on the environment; and

WHEREAS, based on all the evidence found and public testimony considered, the Planning Commission of the City of Torrance adopted a Mitigated Negative Declaration for the Torrance Del Amo Project; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2325 Crenshaw Boulevard (APN 7359-028-233);
- b) That the property is described as "P M 202-51-55 LOT 2" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the Torrance Del Amo Project, as conditioned, together with provision for its design and improvement, is consistent with the Medium-High Density Residential land use designation (adoption pending);
- d) That the Torrance Del Amo Project, as conditioned, is conditionally permitted within the Planned Development District (P-D Zone), and complies with the provisions of the Torrance Municipal Code;
- e) That the site is physically suitable for the Torrance Del Amo Project, as conditioned, and will not interfere with the orderly development of the City because the project is situated in an urban area that is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- f) That the Torrance Del Amo Project, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;
- g) That the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, as the environmental impacts associated with the Torrance Del Amo Project have been properly assessed through an Initial Study/Mitigated Negative Declaration under established CEQA guidelines. The Torrance Del Amo Project would not have a significant effect on the environment, when certain mitigation measures are incorporated, and therefore a Mitigated Negative Declaration was adopted; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** DIV23-00008, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that DIV23-00008 filed by Rose Equities (Optimus Properties, LLC) to allow a Vesting Tentative Tract Map (No.84269) for condominium purposes, in conjunction with a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for the Torrance Del Amo Project be subject to all conditions imposed in Division of Lot 23-00008 (Vesting Tentative Tract Map 84269); and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Division of Lot 23-00008 (Vesting Tentative Tract Map 84269) is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.29.13 of the Torrance Municipal Code;
3. That centerline ties be filed with and checked by the Community Development Department; (Engineering)
4. That all fees be paid and a subdivision agreement be signed with bonds furnished to cover all public improvements prior to recordation of Final Map or issuance of development permits whichever occurs first; (Engineering)
5. That all conditions of Conditional Use Permit 23-00027 and Planned Development 23-00001 shall be met; and (Planning)
6. That all conditions of other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

INTRODUCED, APPROVED, and ADOPTED at the regular meeting of the Planning Commission of the City of Torrance held on the 20th day of March 2024.

Chairperson, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission



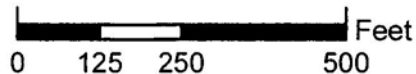
LOCATION AND ZONING MAP

CUP23-00027, DIV23-00008, EAS23-00005,
 GPA23-00002, MOD23-00013, PUD23-00001
 2325 Crenshaw Blvd



LEGEND

- Notification Area
- 2325 Crenshaw Blvd



CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided here and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING & SAFETY:

- Comply with 2019 CBC, CMC, CEC, CPC & CGBC.
- Comply with the Green Code's Tier 1 Requirements.
- Provide Automatic Fire Sprinklers - Separate permit required thru Torrance Fire.
- Comply with all ADA requirements from code Section 11B.

ENGINEERING:

- A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Crenshaw Blvd. and Sepulveda Blvd. (City Code Sec. 74.6.2)
- Provide evidence of a reciprocal easement agreement for cross access, drainage and utilities with the easterly and southerly lots.
- The proposed public storm drain easement shall be shown on the Final Tract Map
- Public water facilities needed to serve this site, including as applicable, mains and appurtenances shall be constructed at the cost of applicant/owner per Torrance Municipal Water (TMW) plans and specifications. TMWD shall make final determination/approval for location, type, and size of all water facilities.
- Reroute the existing 45" RCP public storm drain outside the proposed buildings. The storm drain pipe shall be designed and constructed to public standards prior to issuance of building permit.
- All the abandoned public easements shall be quitclaimed on the Final Tract Map
- All the proposed and existing public easements shall be shown on Final Tract Map.
- For condominium units, Final Tract Map must record prior to obtaining occupancy permits.
- For condominium units, Final Tract Map must record prior to obtaining occupancy permits.
- All physical public improvements which are conditions of this Planning Case must be completed prior to occupancy.
- Remove all existing structures prior to Final Tract Map recordation.
- All Final Tract Maps are to be compiled from field survey data.

ENVIRONMENTAL:

- Comply with all pool safety requirements and verify that all pool safety requirement have been met
- Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per Torrance code(92.30.4)
- The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
- The property shall be landscaped prior to final inspection per Torrance code (92.21.9).
- Residential parking stalls next to walls shall be a minimum of 10-ft. Wide per Torrance code (93.5.2).

- Double-line stripe all parking spaces per Torrance code (93.4.6).
- Screen all roof equipment from public view per Torrance code(92.30.2)
- Provide 200 cubic feet of storage area per unit in garage area (R-3) per Torrance code (93.5.11).

FIRE PREVENTION:

- Please refer to The City of TORRANCE FIRE DEPARTMENT OPERATIONS MANUAL Access Roadways for Fire Apparatus Fire Lanes
- 2022 CFC will apply.
- Fire sprinkler, fire alarm, fire UG will all be separate submittals.

From: Nancy Howard

Sent: Monday, March 11, 2024 12:18 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

From: Robin Kim

Sent: Monday, March 11, 2024 3:52 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

Some people who received this message don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

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Sent: Monday, March 11, 2024 3:52 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>
Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

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We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.
- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?

- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.

- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.

- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.

- Both streets need to be enhanced to accommodate the additional traffic.

- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.

- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

From: Gail Orloff
Sent: Tuesday, March 12, 2024 4:21 AM
From: [REDACTED]
Sent: Tuesday, March 12, 2024 4:21 AM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject:

You don't often get email from [REDACTED] [Learn why this is important](#)

**Subject: Re: Public Comment CUP23-00027 GPA23-00002
PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw
Blvd.**

Dear Council Members and
Planning Committee,

I would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

I purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

To: Planning Commission <PlanningCommission@TorranceCA.gov>

Subject:

You don't often get email from [REDACTED] [learn why this is important](#)

**Subject: Re: Public Comment CUP23-00027 GPA23-00002
PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw
Blvd.**

Dear Council Members and
Planning Committee,

I would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

I purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?

- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.
- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.

- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.
- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

From: Patricia Masuda ·
Sent: Monday, March 11, 2024 9:44 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

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Dear Council Members and Planning Committee,

Does the Council Member and Planning Committee realize the street to enter from Sepulveda Blvd between the Marriot Hotel to the development is privately owned?

The City of Torrance does NOT maintain the street lights, install speed bumps , clean the street drains or have the street cleaners. The business park has been maintaining the street between the senior complex and Marriott Courtyard to Crenshaw. The speed bumps and stop sign were installed to slow down the cars driving to child services and business park. The police will not ticket speeding drivers on private property.

Currently there are 4 lanes to the corner between the Marriott Courtyard Hotel and senior complex narrowing to 2 lands. The Rose Company should be responsible for the resurface the street surface from Crenshaw Blvd and Sepulveda Blvd.

Traffic lights are needed to safely accommodate the additional traffic entering and exiting to Sepulveda Blvd. Currently, the guest of the Marriott Courtyard hotel, worker from the business park, and TradeWind senior complex share this private extended driveway/road and soon the condo development trucks and cars with an approximate additional 600 cars exiting into a street with a speed limit of 45 miles an hour; it is dangerous and accidents that should not be happening.

I am not attending the meeting. I drive, but not at night.

Patricia Masuda

Sent from my iPad

From: Joshua Watts

Sent: Monday, March 11, 2024 9:20 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>

Cc: TRICIA WATTS [REDACTED]

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

Some people who received this message don't often get email from [REDACTED] [learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where our mother lives and which we own. Our mother lives in a senior condominium complex with 91 units. Because we are busy with two kids, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased a unit in this particular senior complex for our mother, because she values the peaceful environment, which we want to maintain for her. Most seniors (including our mother) have various levels of health challenges and our building has strict regulations governing noise to support our mother's / the residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including the individual units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact the community in which our mother resides.

Moreover, our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our home will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.
- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our senior complex via windows and air conditioner units on the roof, going directly into our unit and the lungs of our mother (who is in remission from cancer) and the other residents. This cannot be good for the health of our mother (or the other residents), many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our mother, and likely the other residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of the residents have allergies, some have asthma. Some have cancer. How will our mother and the other residents manage their health during the construction, and after, with this much new traffic volume?

We believe any plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.
- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

Best regards,
Joshua and Tricia Watts

From: Bob Kato
Sent: Monday, March 11, 2024 9:13 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject: new construction

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My wife and I moved into the Trade winds Condominium 5 years ago. The reasons we choose this location was 1) It was a senior complex. 2) It was a secure building. 3) Peace and Quite.

The proposed construction will cause unwanted noise and traffic congestion. Not to mention extra pollution created by all the extra activity. There are many seniors with health issues living here.

Please consider cancelling or at least down sizing the proposed project.

Thank you for your consideration, Bob & Kathy Kato



Virus-free www.avg.com

From: Donald Reed

Sent: Monday, March 11, 2024 5:55 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

Some people who received this message don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.
- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?

- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

Donald Reed

(

From: Debbie Henderson

Sent: Monday, March 11, 2024 5:46 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We believe any plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

Deborah Henderson

Sent from my iPhone

From: Jason Kim ·

Sent: Monday, March 11, 2024 4:11 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.
- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?

- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.

- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.

- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.

- Both streets need to be enhanced to accommodate the additional traffic.

- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.

- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

From: Yahoo
Sent: Monday, March 11, 2024 3:57 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>
Subject: Re: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
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We are not against development. We simply believe the plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

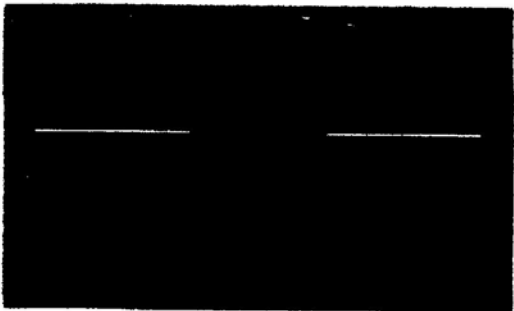
- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

January 14, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503



RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at Torrance Vision Center in retail center Pacific Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

Torrance Vision Center and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

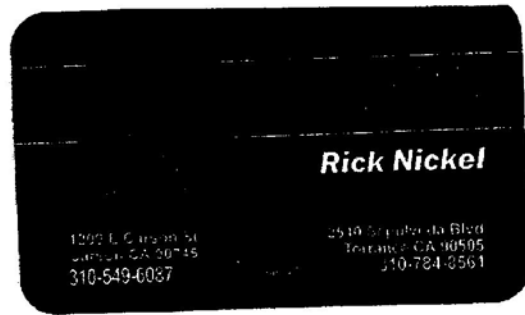
Nathan Ah

Torrance Vision Center

2396 Crenshaw Blvd. Ste.C
Torrance, CA 90501
(310) 320-0081
www.torrancevisioncenter.com

January 16, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503



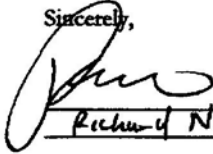
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at Rick's Lube in retail center 2540 Sepulveda Blvd and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Rick Nickel

Tues. 10:00 a.m. to 1:00 p.m.
Thurs. 10:00 a.m. to 1:00 p.m.
Sat. 10:00 a.m. to 1:00 p.m.

Deon W. Bell
Registered Dispensing Optician
Owner

January 16, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

Touch of Glass
Eyeglasses and Contact Lenses
Adult and Children

22529 Crenshaw Blvd. • Torrance, CA 90505 • 310-530-6701
Near Sepulveda and Crenshaw

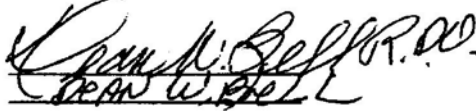
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the OWNER at TOUCH OF GLASS in retail center 310 PLAZA and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,


DEON W. BELL

January 19, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

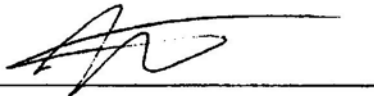
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Store Manager at Starbucks in retail center Star Plaza
and we wanted to express our support for the proposed Torrance Del Amo residential community
at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new
residents in the area, an easy walk away. A huge part of Torrance's strength is its economic
diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents
will help both our business and the city build on this strength. We look forward to Torrance Del
Amo being a part of the city's success story as well.

Sincerely,



Jose Garcia

January 22, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503


RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at STEV'S in retail center STEV'S
and we wanted to express our support for the proposed Torrance Del Amo residential community
at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new
residents in the area, an easy walk away. A huge part of Torrance's strength is its economic
diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents
will help both our business and the city build on this strength. We look forward to Torrance Del
Amo being a part of the city's success story as well.

Sincerely,



Mike Zang

January 22, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Store Manager at Tastea in retail center 2435 Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

Tastea and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



January 12, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503




RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at The Marbella in retail center 310 PLAZA and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

310 PLAZA and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Atziri Arburu

January 25, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Assistant at B Escrow in retail center Star Plaza and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Viviana Gutierrez
Viviana Gutierrez

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

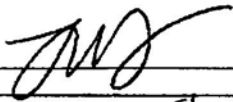
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at coco sushi in retail center Horizon Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Sujung Choe

January 12, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

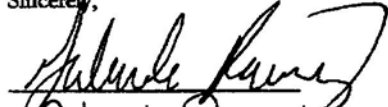
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Wendy's in retail center 2404 Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Gabriela Ramirez

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

PIGEONDA BARBER 211

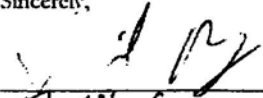
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Owner at Black Barber Flag Studio in retail center 2350 W. Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Daniel Garcia

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503


RE: Support for Torrance Del Amo

To Whom It May Concern,

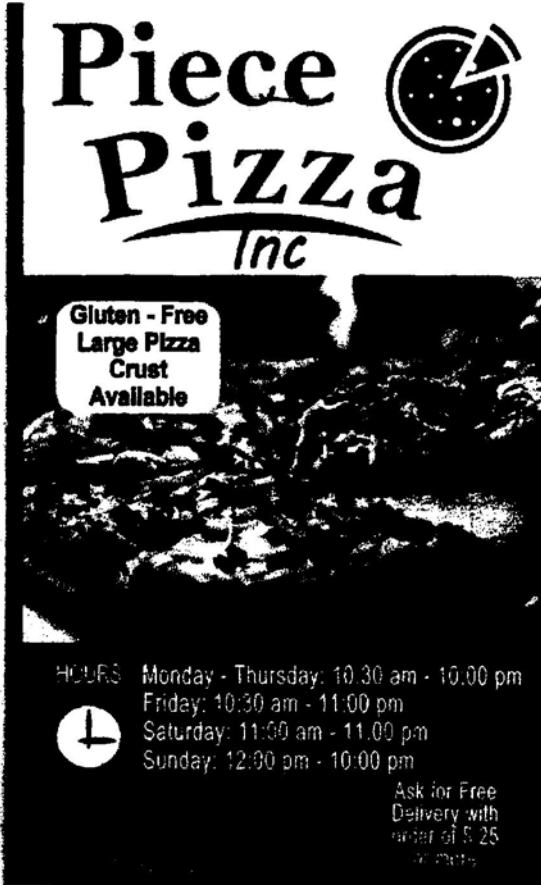
I am the Manager at Piece O Pizza in retail center 2550 W Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Andy
Peter



**Piece
Pizza
Inc**

Gluten - Free
Large Pizza
Crust
Available

HOURS Monday - Thursday: 10:30 am - 10:00 pm
Friday: 10:30 am - 11:00 pm
Saturday: 11:00 am - 11:00 pm
Sunday: 12:00 pm - 10:00 pm

Ask for Free
Delivery with
order of \$ 25

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

RHC
RAPHA HEALING CENTER
라파엘힐링센터·한방병원

Yong Suk Kim LAc

대표원장 김용숙

Tel. 310-784-1328

Cell. 323-854-6776

22525 Crenshaw Blvd,
Torrance, CA 90505

Appt. Date:

Time:

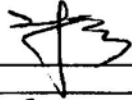
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at Rapha Healing Center in retail center 3Ten Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

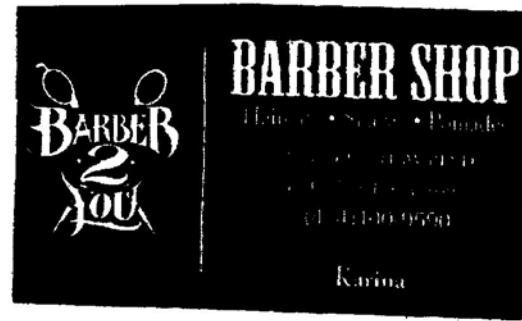
Sincerely,



Yong Suk Kim

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503



RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Owner at Barber 2 You in retail center 3TEN Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Barber 2 You

January 18, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503



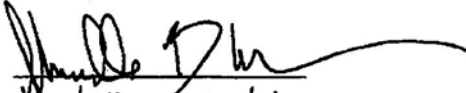
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Sihan Allen in retail center 2700 Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Michelle Blackburn

January 22, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Vapor DNA in retail center 3TEN Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

Vapor DNA and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Manuel Jimenez

INTERNATIONAL LIQUOR

January 25, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

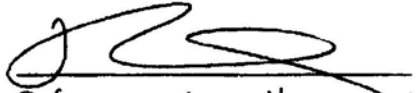
DATE	01/25/2024	THU
LOTTO OUT TB		-2.00
LOTTO TS		\$88.00
SUBTOTAL		88.00
TAXABLE 5		\$88.00
TAXABLE 6		-2.00
TOTAL		\$88.00
CASH TEND		\$100.00
CHANGE		\$14.00

* ORDER# 0152 *
NO.000052 REG01 REYAD TIME 13:40
**YOUR THE REASON WE ARE
HERE THANK YOU**

I am the owner at Int. Liquor in retail center Torrance Plaza and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

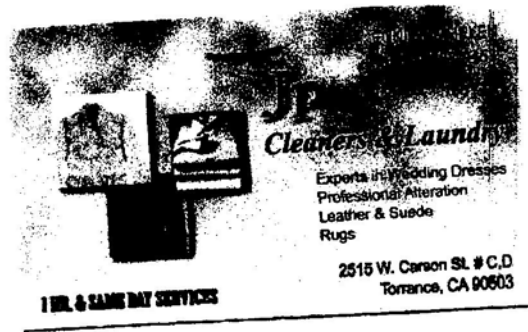
Sincerely,



Pedram Nahakandi - AZZ

January 25, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503



RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Owner at J.P. Cleaners in retail center Torrance Plaza and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Jeong Nam Kim
Jeong Nam Kim

January 24, 2024



The Wax Specialists

www.thewaxspecialists.com

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

22521 Crenshaw Blvd.
Torrance, CA 90505

(424) 328-0167
thewaxspecialists@yahoo.com

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at The Wax Specialists in retail center STen Plaza and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Bobbie Franco
[Signature]

January 24, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503



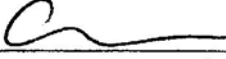
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the manager at Palo Vista Properties in retail center 3TEN PLAZA and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



CRISNEL CASTANEDA



Julie Guzman
 Account Representative
 2521 W Carson St Torrance, CA 90503-6101
 Bus: 310-328-3096
 julie@michellekilian.com
 Insurance License #4103146
Michelle M Kilian, Agent
 Insurance License #0D25628
 Thank you for your loyalty. We appreciate you.

January 24, 2024

City of Torrance
 3031 Torrance Blvd.
 Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the ~~assistant~~ State Farm in retail center 2521 Carson and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Julie Guzman
Julie Guzman



**Success Physical Therapy
and Balance Center, Inc.**

NOELLE G. BUDROVICH, PT, DPT, CSCS, CAE, C/NDT
*Doctor of Physical Therapy
Certified Strength and Conditioning Specialist*

Success Physical Therapy, Inc.
2842 W. Sepulveda Blvd.
Torrance, CA 90505
www.SuccessPT.net

Tel. (310) 325-0800
Fax (310) 325-7705
email: successpt@att.net

January 22, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Owner at Success PT in retail center 2842 Sepulveda and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

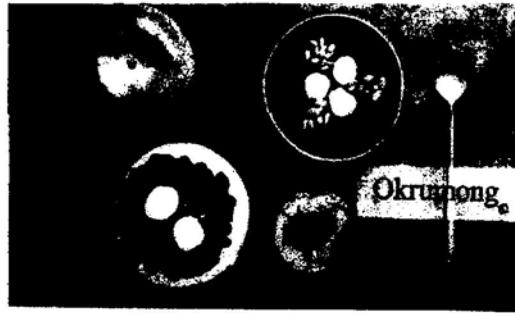
Success PT and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Noelle Budroich
[Signature]
1-22-24

January 19, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503



RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Okramong in retail center 2813 Sepulveda, and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

John Seung

Dr. Rick Goldenson
Chiropractor • Sports Medicine



2814 W. Sepulveda Blvd.
Suite H
Torrance, CA 90505
(310) 539-7380
Fax (310) 539-1456
email: GoldensonChiro@att.net
www.GoldensonChiropractic.com

January 19, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the owner at Goldenson Chiro retail center KL Plaza
and we wanted to express our support for the proposed Torrance Del Amo residential community
at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new
residents in the area, an easy walk away. A huge part of Torrance's strength is its economic
diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents
will help both our business and the city build on this strength. We look forward to Torrance Del
Amo being a part of the city's success story as well.

Sincerely,

Dr Rick Goldenson
Dr. Rick Goldenson

January 17, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503


RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Tacobell in retail center 2840 Sepulveda and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Daniel V Soto


January 25, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

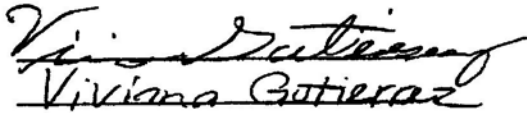
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Assistant at C&E Capital in retail center Star Plaza and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,


Viviana Gutierrez

January 12, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

RE: Support for Torrance Del Amo

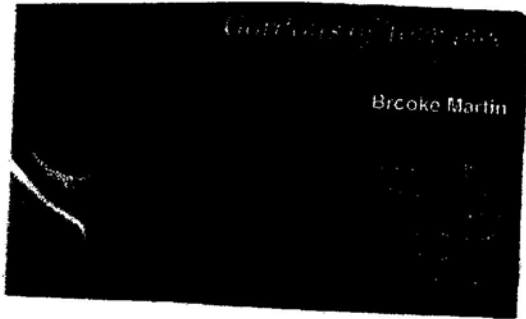
To Whom It May Concern,

I am the manager at Performance Plus in retail center 2466 Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

David Fox
[Signature]



January 12, 2024
City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

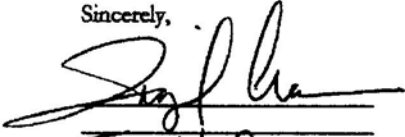
RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Owner at Gordon's of Torrance in retail center @ Crenshaw Sepulveda and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



Ingrid Cramer

January 25, 2024

City of Torrance
3031 Torrance Blvd.
Torrance, CA 90503

HONDA
SERVICE CENTER

ULISES GOMEZ
Parts Manager

2280 Crenshaw Blvd
Torrance, CA 90501
Phone: 310 782-8551
Fax: 310 782-6521
Email: ugomez@scottrobinson.com

"At Your Service"

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the parts Manager at Scott Robinson Honda in retail center 2280 Crenshaw Blvd. and we wanted to express our support for the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity, and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Ulises Gomez



January 12, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503


RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at Perisx Nail Nails in retail center Sepulveda Crenshaw Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

_____ and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,



HU TRAN

January 16, 2024

City of Torrance
3031 Torrance Blvd
Torrance, CA 90503

RE: Support for Torrance Del Amo

To Whom It May Concern,

I am the Manager at HR Block in retail center Palm Plaza and we wanted to express our support the proposed Torrance Del Amo residential community at the corner of Sepulveda and Crenshaw.

HR Block and all our retail neighbors will benefit greatly from having new residents in the area, an easy walk away. A huge part of Torrance's strength is its economic diversity and we are proud to be a part of that success story. Torrance Del Amo and its residents will help both our business and the city build on this strength. We look forward to Torrance Del Amo being a part of the city's success story as well.

Sincerely,

Erin Kurica; MTL/HRBlock
Erin Kurica

From: Patricia Masuda
Sent: Monday, March 11, 2024 9:59:06 PM
To: Mattucci, Aurelio <AMattucci@TorranceCA.Gov>
Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

You don't often get email from [REDACTED] [learn why this is important](#)

Dear Council Members and Planning Committee,

Does the Council Member and Planning Committee realize the street to enter from Sepulveda Blvd between the Marriot Hotel to the development is privately owned?

The City of Torrance does NOT maintain the street lights, install speed bumps , clean the street drains or have the street cleaners. The business park has been maintaining the street between the senior complex and Marriott Courtyard to Crenshaw. The speed bumps and stop sign were installed to slow down the cars driving to child services and business park. The police will not ticket speeding drivers on private property.

Currently there are 4 lanes to the corner between the Marriott Courtyard Hotel and senior complex narrowing to 2 lands. The Rose Company should be responsible for the resurface the street surface from Crenshaw Blvd and Sepulveda Blvd.

Traffic lights are needed to safely accommodate the additional traffic entering and exiting to Sepulveda Blvd. Currently, the guest of the Marriott Courtyard hotel, worker from the business park, and TradeWind senior complex share this private extended driveway/road and soon the condo development trucks and cars with an approximate additional 600 cars exiting into a street with a speed limit of 45 miles an hour; it is dangerous and accidents that should not be happening.

I am not attending the meeting. I drive, but not at night.

Patricia Masuda

Sent from my iPad

From: Esther Cheng <>
Sent: Tuesday, March 12, 2024 3:37 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>
Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Council Members and Planning Committee,

We would like to share our concerns about the proposed apartments to be built behind the building where we live. We live in a senior condominium complex with 91 units. Because we are all seniors, it is a bit more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

We purchased homes in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations governing noise to support our residents' need for rest/sleep.

One of those rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4:30 PM. In addition, they cannot work on Sundays or holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negatively impact our community.

Our senior community will no longer be attractive to other retirees in the South Bay during construction and after, due to the dirt, noise, the increase in congestion and population. The value of our homes will decrease tremendously.

We have additional concerns about the construction:

- Where will the heavy equipment be housed overnight?
- We were told there are no plans for any additional entry/exits and roads into the site. Nor is there a plan to improve the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel that road? It will create horrible congestion and destroy the road.

- How will the Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from their destinations?
- The construction will cause dirt to be spread throughout our complex via windows and air conditioner units on the roof, going directly into our units and our lungs. This cannot be good for the health of our seniors, many with acute, chronic and even terminal illnesses.

Once built, noise from the residents in a complex three times our size (proposed 272 units) will present a hardship for our residents:

- This proposed site will have more than 500 parking spaces! The additional traffic volume created by 272 new residences and 500 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles.) There will be congestion due to the traffic volume and only two outlets/inlets. We can predict accidents and bottlenecks if there is no signal on the Sepulveda road.
- Our health will be negatively impacted by the emissions of the sizable increase of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this much new traffic volume?

We believe any plans must consider the health and well-being of the current residents in the neighborhood. We are steadfastly against a monolithic complex and ask that you reconsider the number of units in this development. A smaller footprint will reduce construction time and be less impactful to the environment and our health.

- The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.
- A new signal is required at the Sepulveda exit. Without one, we can predict congestion and accidents.
- Both streets need to be enhanced to accommodate the additional traffic.
- Effective protections from dirt and noise must be in place to mitigate the construction dirt, emissions and noise.
- Noise, dirt and emission mitigation needs to be in place when the new complex is inhabited to assure the health and safety of all residents.

- There will be a need for additional emergency personnel (paramedics, police and fire) due to the increase in population.

We sincerely hope you, as our elected officials, take our concerns seriously and revise the plans for this development accordingly.

Thank you!

- David and Esther Cheng
- Resident of Trade Winds Senior Condominium

I am concerned about the traffic caused by the proposed development at 2532 Crenshaw Blvd of 272 apartment units and close to 500 parking spaces, with only two existing access roads available. I live at and will be personally affected by this traffic. This will cause incredible traffic burden upon these two roads, one of which is not even controlled by a traffic signal. If no new roads are constructed, the number of units and parking spaces must be decreased to decrease the traffic burden upon the existing roads. Additionally during construction, there will be considerable traffic secondary to the demolition of the existing buildings and construction material being brought into the area. The heavy trucks will damage the existing roads, which will need to be reinforced.

Yours,

Jeffrey = Sue

Sent = from <https://go.microsoft.com/fwlink/?LinkId=3D550986> = for Windows

From: Microsoft Mail

Sent: Tuesday, March 12, 2024 12:26 PM

To: Planning Commission <PlanningCommission@TorranceCA.gov>; Lewis, Bridgett <BLewis@TorranceCA.Gov>; Sheikh, Asam <ASheikh@TorranceCA.Gov>; Mattucci, Aurelio <AMattucci@TorranceCA.Gov>; Griffiths, Mike <MGriffiths@TorranceCA.Gov>; Kaji, Jon <JKaji@TorranceCA.gov>; Kalani, Sharon <SKalani@TorranceCA.Gov>

Subject: Public Comment CUP23-00027 GPA23-00002 PUD23-00001 DIV23-00005 EAS23-00005 2325 Crenshaw Blvd.

[Some people who received this message don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

March 12, 2024

Dear Council Members and Planning Committee,

I would like to share my concerns about the proposed apartments to be built behind the Trade Winds building at 2605 Sepulveda Blvd. We live in a senior condominium complex with 91 units. Because we are all seniors, it is more challenging to personally attend City meetings and we hope you will value our written opinion just as much as one that is delivered in person.

I purchased home in a senior complex, this one in particular, because we value our peaceful environment. Most seniors have various levels of health challenges. Our building has strict regulations in place governing noise to support our residents need for rest/sleep.

One of these rules prohibits workers (plumbers, electricians, etc.) from working anywhere in the building, including our units, after 4.30pm. In addition they can not work on Sundays and holidays. We understand the construction of this development is estimated to span more than two years. Any construction noise during the prohibited hours will negative impact the Trade Winds.

Our senior community will no longer be attractive to other retirees in the South Bay during construction due to dirt, dust, noise increase in traffic congestion and population. The value of our homes will decrease significantly.

We additional concerns about the construction:

Where will the heavy equipment be housed when not in use?

We were told there are no plans for any additional entry/exits and new roads into the site nor is there a plan to maintain the road between our building and the Marriott Courtyard Hotel. Will the heavy equipment travel this road? It will create horrible noise, congestion and damage the road.

How will Trade Winds residents, hotel guests, employees of the adjacent business center, delivery and emergency personnel get to and from our site?

The construction will cause pollutants (dust and germs) to be spread throughout our complex via windows and air conditioner units that are mounted on the roof, going directly into our units and our lungs. This is not good for the health of our seniors, many with acute chronic and even terminal illnesses.

The additional traffic volume created by 272 new residences and 599 new parking spaces will be significant. The traffic volume includes tenants, visitors, delivery services (mail, food, Amazon, and emergency vehicles). There will be congestion due to increase

traffic volume with only two outlets/inlets. There will be accidents and bottlenecks and we suggest a traffic signal at the end of the alley that connects to Sepulveda.

Our health will be negatively impacted by the emissions of the sizable increase in the number of automobiles in our neighborhood. Some of us have allergies, some have asthma. Some have cancer. How will we manage our health during the construction, and after, with this increased traffic volume?

The current residents need protected entry/exit points on both Crenshaw and Sepulveda that are safe and available during construction.

A new signal is required at the alley exit to Sepulveda. Without one, we can predict congestion and accidents.

The alley to Sepulveda and the street to the Crenshaw exit are not designed to accept increased volume of traffic.

To mitigate the construction dirt, dust, emissions and noise effective protection needs to be installed.

The 272 new residencies imply a significant increase in the tenant's density. As such there is potential loss of life in case of fire/earthquake.

The new building has four and five floors way above the two and three floors that are in place now. The building needs to be not only functional but also esthetical. That building that is envision to be built it will not be esthetic an important architectural requirement that is missing.

We sincerely hope you, as our elected officials, will not accept this development due to the concerns shown above.

-----Original Message-----

From: [REDACTED] <[REDACTED]>
Sent: Tuesday, March 12, 2024 10:09 AM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject: Rose Equities proposed apartment unit construction

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Commission Members

These are some very serious concerns I have concerning the proposed 272 unit apartment building at 2325 Crenshaw Blvd.

1. Traffic in and out of the development.
2. There is a private street between the Courtyard and Tradewinds Senior Condos, off of Sepulveda with no traffic signal. New traffic would make it impossible to enter or exit our parking garage at Trade Winds or cars entering or exiting the Courtyard Hotel.
3. All the trucks, equipment etc. entering the construction area during the long building process would be a hazard.
4. The dirt and dust from the construction site would be a health hazard for Trade Winds residents who are 55+ seniors.
5. More traffic to already congested Crenshaw Blvd., with residents of 272 units of the new apartments.
6. Parking for 272 units with more than two residents for each unit would be insufficient.

It would be greatly appreciated if you would take these concerns seriously and reconsider the size and complexity of this project for the all the residents of the surrounding area.

Respectfully,
Bella Weiner

Sent from my iPhone



March 13, 2024

Ref. DOC 7173677

VIA EMAIL PlanningCommission@TorranceCA.gov

Mr. Leo Oorts
Community Development
City of Torrance
3031 Torrance Boulevard
Torrance, CA 90503

Dear Mr. Oorts:

Comment Letter for DIV23-00009 and Torrance Del Amo Project

The Los Angeles County Sanitation Districts (Districts) received the letter and plans for the subject projects, located in the City of Torrance forwarded by your office on March 11, 2024. The proposed projects are located within the jurisdictional boundary of District No. 5. We offer the following comments regarding sewerage service:

1. The wastewater flow originating from the proposed projects will discharge to a local sewer line, which is not maintained by the Districts, for conveyance to the Districts' West Torrance Trunk Sewer, located in West 233rd Street at Arlington Avenue. The Districts' 15-inch diameter trunk sewer has a capacity of 1.2 million gallons per day (mgd) and conveyed a peak flow of 0.9 mgd when last measured in 2016.
2. The wastewater generated by the proposed projects will be treated at the A.K. Warren Water Resource Facility (formerly known as the Joint Water Pollution Control Plant) located in the City of Carson, which has a capacity of 400 mgd and currently processes an average flow of 237 mgd.
3. The expected increase in average wastewater flow from DIV23-00009, described in the plan as a flat lot subdivision of one residential parcel into two residential parcels, is 260 gallons per day (gpd), based on the estimated flow from two single-family homes. The expected increase in average wastewater flow from the Torrance Del Amo Project, described in the Notice of Public Hearing as 272 multifamily residential units, is 40,321 gpd, after all structures on the project site are demolished. For a copy of the Districts' average wastewater generation factors, go to www.lacsd.org, under Services, then Wastewater Program and Permits and select Will Serve Program, and click on the [Table 1, Loadings for Each Class of Land Use](#) link.
4. The Districts are empowered by the California Health and Safety Code to charge a fee to connect facilities (directly or indirectly) to the Districts' Sewerage System or to increase the strength or quantity of wastewater discharged from connected facilities. This connection fee is used by the Districts for its capital facilities. Payment of a connection fee may be required before this project is permitted to discharge to the Districts' Sewerage System. For more information and a copy of the Connection Fee Information Sheet, go to www.lacsd.org, under Services, then Wastewater (Sewage) and select Rates & Fees. In determining the impact to the Sewerage System and applicable connection fees, the Districts will determine the user category (e.g. Condominium, Single Family Home, etc.) that best represents the actual or anticipated use of the parcel(s) or facilities on the parcel(s) in the development. For more specific information regarding the

connection fee application procedure and fees, please contact the Districts' Wastewater Fee Public Counter at (562) 908-4288, extension 2727.

5. In order for the Districts to conform to the requirements of the Federal Clean Air Act (CAA), the capacities of the Districts' wastewater treatment facilities are based on the regional growth forecast adopted by the Southern California Association of Governments (SCAG). Specific policies included in the development of the SCAG regional growth forecast are incorporated into clean air plans, which are prepared by the South Coast and Antelope Valley Air Quality Management Districts in order to improve air quality in the South Coast and Mojave Desert Air Basins as mandated by the CAA. All expansions of Districts' facilities must be sized and service phased in a manner that will be consistent with the SCAG regional growth forecast for the counties of Los Angeles, Orange, San Bernardino, Riverside, Ventura, and Imperial. The available capacity of the Districts' treatment facilities will, therefore, be limited to levels associated with the approved growth identified by SCAG. As such, this letter does not constitute a guarantee of wastewater service, but is to advise the applicant that the Districts intend to provide this service up to the levels that are legally permitted and to inform the applicant of the currently existing capacity and any proposed expansion of the Districts' facilities.

If you have any questions, please contact the undersigned at (562) 908-4288, extension 2708 or at shirlywang@lacsdsd.org.

Very truly yours,

Shirly Wang

Shirly Wang
Customer Service Specialist
Facilities Planning Department

SW:sw

cc: A. Schmidt
A. Howard

From: Suzanne Bierman <[REDACTED]>
Sent: Wednesday, March 13, 2024 8:52 AM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject: Public Comment CUP-23-0027 GPA23-0002 PUD23-00001 DIV23-00005 EAS-00005 2325 Crenshaw Blvd.

You don't often get email from [REDACTED]. [Learn why this is important](#)

I am a resident of the Trade Winds Senior Condominium complex and have grave concerns about this project. To wit:

1. The project will severely impact traffic on both Crenshaw Boulevard and Sepulveda Boulevard. As it is, the Farmers Market causes bumper to bumper traffic on the days it is operational. It is my understanding that there are currently no plans to install a light at the access road from Sepulveda; the addition of a light would take some of the burden from Crenshaw and decrease the likelihood of a traffic accident or pedestrian accident.
2. During construction, all neighboring buildings (Marriott Courtyard, The Verde townhomes, Park Del Amo, and Trade Winds) will experience traffic, noise and dust far beyond what they currently endure on a daily basis.
3. The developers were very short-sighted in their planning. The project encompasses the entirety of the lot; no provision was made for large delivery trucks, moving vans or even construction materials and workers.

From: michael Heffner
Sent: Tuesday, March 12, 2024 7:23 PM
To: Planning Commission <PlanningCommission@TorranceCA.gov>
Subject: Torrance Del Amo Project

You don't often get email from [REDACTED] [learn why this is important](#)

Subject: Torrance Del Amo Project

I am opposed to the planned project aka- the Torrance Del Amo project.

I live on Sepulveda Blvd in the 91 unit senior condo complex. This project would seriously impact the area with increased traffic, noise, and congestion.

At present the traffic is very busy due to the adjacent hotel and the increased occupancy in the business park next store.

The area is too dense to place such a large building in such a small space. I don't believe the infrastructure can handle the proposed density. It's called OVERCROWDING..

I would prefer the property remain / zoned commercial.

I would ask all the planning commissioners to PLEASE drive to the location and examine the area yourself. Honestly ask yourself is this overcrowding and congestion something you would like in your neighborhood.

SUPPLEMENTAL #1 TO AGENDA ITEM NO. 8C

TO: Members of the Planning Commission

FROM: Planning Division

SUBJECT: Conditional Use Permit – CUP23-00027, et al.

Please find attached Revised Planning Commission Resolution No. 24-014 with an added condition of approval related to grading (Condition No. 55), which was inadvertently omitted during preparation of the staff report (Attachment 1). Also attached are additional Code requirements related to grading (Attachment 2).

In addition, attached are presentation slides prepared by the project applicant (Attachment 3).

Respectfully Submitted,

/s/ Leo Oorts
Planning Manager

Attachment:

1. Revised Planning Commission Resolution No. 24-014
2. Grading Code Requirements
3. Presentation Slides

ITEM 8C - SUPPLEMENTAL

ATTACHMENT 1

Revised Planning Commission Resolution

REVISED PLANNING COMMISSION RESOLUTION NO. 24-014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL TO ALLOW THE CONSTRUCTION OF A 272-UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT WITH DENSITY BONUS ON PROPERTY LOCATED IN THE P-D ZONE AT 2325 CRENSHAW BOULEVARD (APN 7359-028-233), HEREIN REFERRED AS THE TORRANCE DEL AMO PROJECT.

CUP23-00027: ROSE EQUITIES (OPTIMUS PROPERTIES, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on March 20, 2024, to consider an application filed by Rose Equities (Optimus Properties, LLC) for adoption of a Mitigated Negative Declaration (EAS23-00005), and approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 42, and Division 9, Chapter 2, Article 29, and Division 9, Chapter 2, Article 34, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, an Initial Study (EAS23-00005) was prepared and circulated for public review in accordance with the California Environmental Quality Act (CEQA) to assess the potential environmental impacts associated with Torrance Del Amo Project, and said Initial Study concluded that the Torrance Del Amo Project may result in or cause potentially significant effects. However, compliance with existing policies, plans and regulations, revisions to the plans, together with design features and mitigation measures incorporated would avoid the effects or mitigate the effects to levels that would be less than significant. Therefore, the City of Torrance has determined a Mitigated Negative Declaration is appropriate and that no further environmental review is required; and

WHEREAS, the Planning Commission of the City of Torrance carefully considered the Initial Study/Mitigated Negative Declaration (IS/MND) and all comments thereon, including the Response to Comments, and determined that such is the appropriate environmental document for the Torrance Del Amo Project, and reflects the independent judgment and analysis of the City of Torrance as the Lead Agency, and that no further environmental review is required; and

WHEREAS, a Mitigation Monitoring and Reporting Program (MMRP) has been prepared that lists all of the mitigation measures, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure; and

WHEREAS, that with implementation of the mitigation measures identified in the IS/MND and included in and enforced by the MMRP, and on the basis of the whole record and public testimony considered, there is no substantial evidence that the Torrance Del Amo Project will have a significant effect on the environment; and

WHEREAS, based on all the evidence found and public testimony considered, the Planning Commission of the City of Torrance adopted a Mitigated Negative Declaration for the Torrance Del Amo Project; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2325 Crenshaw Boulevard (APN 7359-028-233);
- b) That the property is described as “P M 202-51-55 LOT 2” as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the Torrance Del Amo Project, as conditioned, will not impair the integrity and character of the proposed P-D Zone (adoption pending) and is compatible with the surrounding uses which includes a hotel, commercial office and residential uses;
- d) That the project site is physically suitable for the Torrance Del Amo Project, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- e) That the Torrance Del Amo Project, as conditioned, will be compatible with the existing and proposed future land uses nearby, and the general area in which the project is to be located because the project site is surrounded by urban uses that include an office building to the east and south, single family residential uses to the north, and multifamily residential uses to the west;
- f) That the Torrance Del Amo Project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the project is located within the proposed Medium High Density Residential land use designation (adoption pending), which is described as multifamily residences with subterranean parking and a density range of 31.1 to 44 dwelling units per acre, and because the project will provide a much needed housing supply to meet the needs of all income levels;
- g) That the Torrance Del Amo Project, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the project is a viable redevelopment of the site and is compatible with the current uses and development in the surrounding vicinity and represents an improvement to the area. For example, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Additional features and design enhancements include various ground level amenities, such as a pool and open courtyards that promote quality experience and increased value;
- h) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the Torrance Del Amo Project, as conditioned, is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. The addition of 272 apartment units or 710 persons at full occupancy (2.61 persons per household) represents a negligible impact on utility and public service capacity, and will not result in the need to construct new facilities. In addition, the project applicant is required to pay development impact fees and school district fees to offset the incremental increase in the demand for public services;

- i) That there will be adequate provisions for public access to serve the Torrance Del Amo Project, as conditioned, because pedestrian and vehicular access is provided from access roadways providing access via cross access easements from adjacent properties to Crenshaw Boulevard to the east and Sepulveda Boulevard to the south;
- j) That the location, size, design, and operating characteristics of the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and is consistent with the proposed Medium High Density Residential land use designation (adoption pending);
- k) That the Torrance Del Amo Project, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and
- l) That the Torrance Del Amo Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, as the environment impacts associated with the Torrance Del Amo Project have been properly assessed through an Initial Study/Mitigated Negative Declaration under established CEQA guidelines. The Torrance Del Amo Project would not have a significant effect on the environment, when certain mitigation measures are incorporated, and therefore a Mitigated Negative Declaration was adopted; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** CUP23-00027, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP23-00027 filed by Rose Equities (Optimus Properties, LLC) for approval a Conditional Use Permit (CUP23-00027) to allow the construction of a 272-unit residential condominium development with density bonus, in conjunction with a Division of Lot (DIV23-00008) to allow a Vesting Tentative Tract Map for condominium purposes, a Planned Development (PUD23-00001) to establish development standards for the development plan, and a General Plan Amendment (GPA23-00002) to amend the land use designation from General Commercial to Medium-High Density Residential, on property located in the P-D Zone at 2325 Crenshaw Boulevard (APN 7359-028-233), herein referred as the Torrance Del Amo Project, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for the Torrance Del Amo Project shall be subject to all conditions imposed in Conditional Use Permit 23-00027; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if Conditional Use Permit 23-00027 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the Planning Commission Resolutions and the Mitigation Monitoring and Reporting Program shall appear on all grading plans, construction specifications, and bid documents associated with the Torrance Del Amo Project to facilitate coordination and effective implementation of the conditions of approval and the mitigation measures; (Planning)
4. That a draft copy of the Covenants, Conditions and Restrictions (CC&Rs) shall be submitted to the Community Development Department for review and approval by the City Attorney's Office prior to the recordation of a condominium plan to permit sale of individual units within the project to ensure that all conditions required by the City Council to be included in the CC&R's are in fact properly included in the document and that a copy of the document shall be submitted to the Community Development Department for placement in the permanent file; (Planning)
5. That the Covenants, Conditions and Restrictions shall make a provision for a tie breaker vote in the event of a disagreement between the owners of the condominiums; (Planning)
6. That the Covenants, Conditions, and Restrictions shall make provisions for the storage, collection, and retrieval of the shared trash receptacles (trash, green waste, and recyclables) and trash enclosures areas; (Planning)
7. That the Covenants, Conditions, and Restrictions shall make provisions for reciprocal access and parking agreements for the drive aisles, vehicle turnaround areas, and guest parking spaces; (Planning)
8. That the applicant shall submit, in order to ensure with compliance with Government Code Section 65915 (c)(1)(A) (or successor statute) a Density Bonus Housing Agreement or similar named agreement, complete with attachment and exhibits, as appropriate, to memorialize the approved density bonus allowance, incentives, concessions, waivers of development standards, parking allowances, development standards and uses, the City Monitoring Fee, and any other terms and conditions relative to the approved project. The applicant shall submit a draft Density Bonus Housing Agreement (DBH Agreement) no less than 90 days prior to the anticipated date for issuance of the first building permit for the project, and the DBH Agreement shall be final and executed by the applicant and the City, in recordable form, prior to issuance of the first building permit for the project. The DBH Agreement shall be presented to the Community Development Department and City Attorney's Office for review and approval, and shall be in a form approved by the Community Development Department and City Attorney's Office, prior to issuance of the first building permit. The DBH Agreement may be executed by the City Manager on behalf of the City, subject to any preference of the City Manager or legal requirement for the DBH Agreement to be approved by the City Council. The applicant may request from the City a form to be used for the DBH Agreement, and the applicant shall reimburse the City for the cost of legal review. The DBH Agreement shall be executed and recorded with the County of Los Angeles Recorder prior to occupancy of units; (Planning)
9. That the 28 affordable units reserved for very low income shall remain affordable in accordance with the State Density Bonus Law or be sold to the initial buyer at an affordable housing costs which may not exceed the area median income for a household size suitable for the unit in accordance with the State Density Bonus Law. The applicant, property manager and/or owner shall provide the Community Development Department with an annual report detailing compliance with the Density Bonus Housing Agreement. The report shall include income verification for all tenants in affordable units, rent rolls and confirmation of rents charged including utility allowances used for the rental project or units sold including mortgage loan payments, mortgage insurance payments, property taxes and assessments, homeowner association fees, utilities allowance, insurance premiums, maintenance costs and space rent; (Planning)

10. That for purposes of defraying the monitoring activities required to ensure compliance with recorded affordability covenants governing the affordable units, the owner(s) of the project, or their successor(s) in interest, shall pay a City Monitoring Fee each year. The City shall deliver to the owner(s) of the project an invoice for the City Monitoring each year. In the event that City fails to deliver an invoice for the applicable year, then that failure shall relieve the owner(s) of the project of their obligation to pay the City Monitoring Fee for that year only. Such failure to deliver the invoice for the applicable year shall not relieve said owner(s) of their obligation to pay any future City Monitoring Fees for which City timely delivers an invoice or to provide annual monitoring reports. Upon City's written request to the applicant, the applicant shall provide the mailing and delivery information for any owner(s) of the project. The terms and requirements of the City Monitoring Fee shall be included in the Density Bonus Housing Agreement; (Planning)
11. That during all construction activities, the applicant or developer shall provide a toll free hotline for complaints relating to the construction of the project. The hotline shall be staffed with a live operator who is able to immediately access a construction supervisor who is present at the project site during regular construction hours. Prior to the issuance of grading permits, the applicant or developer shall post at least two highly visible signs on the perimeter of the site informing the public of the availability of the hotline; (Planning)
12. That during all construction activities the project site shall be secured with perimeter fencing and screened with a decorative wrap to the satisfaction of the Community Development Director; (Planning)
13. That a sample of the exterior building materials, finishes, and color shall be submitted with the building plan set for review prior to permit issuance. The sample shall include the gates, perimeter fencing/walls, and outdoor furniture. The exterior building materials, finishes, and color shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
14. That a detail of the perimeter fencing and walls shall be provided to the Community Development Department for approval prior to the issuance of any building permits and that no chain link shall be allowed; (Planning)
15. That the project shall comply with the development standards established in Plan of Development PUD23-00001; (Planning)
16. That the project shall comply with the following development standards established for the project:

Perimeter wall setback from property line

North property line = 30 feet

South property line = 30 feet

East property line = 17 feet

West property line = 56 feet

Minimum street/fire access width = 30 feet (with or without street parking)

Parking

Studio	1 space
1 Bedroom	1 space
2 Bedroom	1.5 spaces
3 Bedroom	1.5 spaces
4 Bedroom	2.5 spaces

Minimum

Open space = There shall be provided a minimum of three hundred (300) square feet of useable open space per dwelling unit.

Usable

Maximum Height = 50 feet (3-story buildings)
70 feet (5-story buildings)

17. That an exterior photometric lighting plan shall be submitted with the building plan set for review prior to permit issuance. The lighting plan shall be prepared in compliance with the California Green Code (CGC) and shall ensure that all parking areas and pathways are provided with adequate illumination, security lights that are non-glaring, and that all building lights are properly shaded and reflected to prevent excess lighting onto adjacent uses and public streets. Lighting values at property line shall not exceed 1 foot candle. The height of light fixtures shall be reduced to 15 feet maximum in height when adjacent to the multifamily residential use; (Planning)
18. That all mechanical equipment, electrical boxes, meters, pipes, transformers, air conditioners and all other equipment shall be prohibited on the roof; (Planning)
19. That a sample of the exterior building materials, finishes, and color shall be submitted with the building plan set for review prior to permit issuance. The sample shall include the gates, perimeter fencing/walls, and outdoor furniture. The exterior building materials, finishes, and color shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
20. That a detail of the trash enclosures shall be submitted with the building plan set for review prior to permit issuance. The trash enclosures shall be bounded on three sides by a wall and shall be equipped with solid doors, concrete stress pads to reduce pavement stress, a rainwater intrusion barrier (roof) to meet the current National Pollutant Discharge Elimination System (NPDES) requirements, and shall provide receptacles for the storage and collection of trash and recyclable materials. The trash enclosures shall have a cohesive design to the satisfaction of the Planning Manager; (Planning)
21. That all pedestrian pathways connecting from the sidewalks along Crenshaw Boulevard and Sepulveda Boulevard to the project site shall feature a decorative element, such as stamped concrete, pavers or other enhancement to the satisfaction of the Planning Manager; (Planning)
22. That a landscape plan shall be submitted with the building plan set for review prior to permit issuance. The landscape plan shall be prepared in compliance with the latest State Water Efficient Landscape Ordinance and shall utilize drought tolerant California friendly vegetation, shade-producing trees, and shall provide a water efficient irrigation system. Outdoor furniture and fixtures such as lighting, trellises, raised planters, benches, trash receptacles, fencing, etc., shall be included on the landscape plan. The planting arrangement shall provide landscaping of sufficient height and texture to provide an effective screen of all trash enclosures, transformers, utility connections, backflow devices. All trees planted within the project site shall not be less than 24 inch box in size, and all shrubs shall not be less than 5 gallon in size. The location of street trees planted alongside the buildings shall be reviewed for approval by the Torrance Fire Department and the Torrance Public Works Department; (Planning)
23. That a minimum 10% of total parking spaces shall be reserved for electric vehicle charging (EV), with no less than 47 EV spaces fully operable at the time of occupancy and maintained for the duration of the project. The placement and installation of EV spaces, electric vehicle supply equipment (EVSE), and electric vehicle charging stations (EVCS) shall comply with the California Green Code (CGC) and shall be identified on the building plan set for review prior to permit issuance; (Planning)
24. That two loading spaces for pickups and deliveries shall be provided onsite for residential use to the satisfaction of the Planning Manager; (Planning)
25. That a utility management plan shall be submitted with the building plan set for review prior to permit issuance. The utility management plan shall identify the placement, design, and screening of all utility and related equipment, including but not limited to any transformer, panel, meter,

- backflow preventer, double detector check assembly, fire riser, etc. Screening shall comply with all utility company and emergency access requirements to the satisfaction of the Planning Manager; (Planning)
26. That mail kiosks and building directories with maps shall be provided onsite to the satisfaction of the Planning Manager; (Planning)
 27. That a required number of parking space(s) shall be assigned to each condominium unit; (Planning)
 28. That pickups and deliveries of products, material or trash and parking lot sweeping shall occur onsite and shall not be allowed prior to 7:00 a.m. or after 10:00 p.m., and that such restrictions shall be posted at the trash enclosure, the loading spaces, and the driveway entrances to the satisfaction of the Planning Manager; (Planning)
 29. That the residential amenities (e.g. courtyards, club room, fitness room, recreation room, pool etc.) shall be provided and maintained for resident use for the duration of the project. The residential amenities shall not be available for lease to third parties for regular use or special events; (Planning)
 30. That each residential unit shall be provided with 200 cubic feet of lockable storage space to the satisfaction of the Planning Manager. The storage space may be located above each parking space extending downward not closer than 4' 6" above the floor and not further than 3' from the rear of the parking space; (Planning)
 31. That each residential unit shall be provided with a washer and dryer appliance (laundry) as shown on the floor plans; (Planning)
 32. That all open space and landscape areas located at ground level, including the large variety of onsite amenities and outdoor furniture, shall be maintained, repaired, and kept free of trash, litter, debris, graffiti and vandalism; (Planning)
 33. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the buildings; (Planning)
 34. That no outdoor sound amplifying equipment, speakers, radios, paging, telephone bells, buzzers and similar noise emitting devices shall be permitted outside of the building; (Planning)
 35. That all forms of barbed wire and razor wire, chain link fence or similar fence type shall be prohibited; (Planning)
 36. That exterior security bars and roll-up doors applied to windows and building entrances shall be prohibited; (Planning)
 37. That any future request for a Wireless Telecommunications Facility (WTC) shall require a separate approval and that all related equipment cabinets shall be located within the structure and screened from public view; (Planning)
 38. That a striping and signage plan for all drive aisles and parking areas shall prepared in conformance the development standards for residential parking areas (Article 5, Chapter 3 of Division 9 of the Torrance Municipal Code) and said plan shall be submitted with the building plan set for review prior to permit issuance; provided, however, that a request for reduction of the development standards pursuant to State Density Bonus Law shall be subject to administrative review by the Community Development Director prior to permit issuance. The striping and signage shall include stop and/or yield controls, directional signage, and pavement markings to assist right-of-way assignment and pedestrian safety. The plan shall note the spaces reserved for accessible parking, electric vehicle parking, and loading. All parking spaces shall be striped with double lines (6" both sides of center) to facilitate the movement into and out of the parking space. Parking spaces adjacent to walls shall be minimum 10' wide. The onsite

curbs and drive aisles shall be striped red color and signed "NO PARKING" to facilitate fire access and to prohibit parallel parking. Signage shall be installed at the entrance of each drive aisle alerting drivers of the pedestrian walkways and that the drive aisle shall not be used for recreational activities or other non-vehicular activities. The driveways, parking spaces, turnaround areas, and walkways shall be treated with high quality finishes and decorative features, such as stamped concrete or pavers; (Planning)

39. That a noise attenuation plan shall be submitted to the Environmental Division prior to the issuance of the first building permit associated with the Torrance Del Amo Project to the satisfaction of the Planning Manager. The acoustical engineer / noise consultant shall contact the Environmental Division prior to conducting the noise study. The recommendations of the noise attenuation plan shall be adhered to so that when the proposed development is completed, noise from this use will comply with the noise ordinance of the Torrance Municipal Code, will not disturb the internal tenants, and will not disturb neighboring properties; (Environmental)
40. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission; (Environmental)
41. That address numbers shall measure at a minimum 4" in height and be a color that contrasts with the color of the façade; (Environmental)
42. That prior to occupancy the applicant shall perform the following as it pertains to the oil well:
 - a. Submit an application for Construction Site Well review to California Geological Energy Management (CalGem/Dept. of Oil and Gas).
 - b. Submit to the Environmental Division of the Community Development Department a copy of the CalGem letter, with findings of the well review or submit a letter insuring the City that the results will be submitted once they are received.
 - c. The property owner shall comply with California Geological Energy Management (CalGem) determinations regarding the abandoned well.
 - d. The property owner shall provide a site plan showing:
 - The location of the abandoned well.
 - Distances left around the abandoned well as indicated below so that future re-abandonment is possible.
 - An open and unobstructed area shall be provided immediately adjacent to the surface location of the well head as follows: No structure or property line shall be closer than ten (10) feet to any two (2) adjacent sides of the said well; No structure or property line shall be closer than fifty (50) feet from the third (3rd) side of the said well; and The fourth (4th) side shall have open access so that an oil well abandonment rig can be driven onto the site.
 - Well shall be vented.
43. That a drawing demonstrating that no building surcharge loads shall be imposed on the public storm drain shall be submitted for review prior to the issuance of grading permit; (Engineering)
44. That the existing driveways on Crenshaw Boulevard and Sepulveda Boulevard shall be reconstructed per current City of Torrance Standards. The driveways shall be commercial radius type driveways, minimum 30' wide, with depressed back of walk and wheelchair ramps; (Engineering)
45. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering)
46. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduce pressure backflow assemblies shall be located above ground on private property

near the public right-of-way and shall be screened from public view with approved plant material. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to BUILDING PERMIT ISSUANCE. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering)

47. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Engineering)
48. That the project shall be supplied by a master public water meter with privately owned, operated, maintained, and administered submetering system for each dwelling unit. Common areas shall be served by a separate meter. Master meters and backflow preventers shall be installed at each connection point at the public main; (Engineering)
49. That an easement shall be granted to the City of Torrance for the proposed public water line; (Engineering)
50. That the public water main shall be relocated to follow the fire lane and remain as a loop with fire hydrants; (Engineering)
51. That the applicant shall design a private on-site sewer main line and shall be constructed to public standards. The sewer plans, prepared by professional engineer, shall be submitted by the applicant to the Engineering Division of CDD for review and approval prior to issuance of grading permit; (Engineering)
52. That the applicant shall submit a sewer study discussing the new development's impact on the public sewer system. The proposed sewer study shall include the proposed development at 22600 Crenshaw Boulevard. The study shall include flow monitoring data and be approved by the Engineering Division of the Community Development Department prior to issuance of grading permit. The applicant shall design and construct improvements to the public sewer system as per recommendations of the approved study prior to occupancy; (Engineering)
53. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval of this Conditional Use Permit or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award;
54. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met; and
55. That upon completion of the project the applicant shall hire a Certified Access Specialist (CASp) to verify the project complies with California Building Code. All deficiencies shall be addressed to the satisfaction of the Building Official. (Grading)

INTRODUCED, APPROVED, and ADOPTED this 20th day of March 2024.

Chairman, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

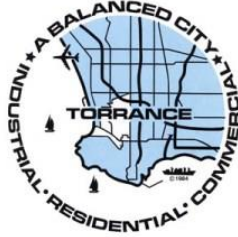
I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 20th day of March 2024, by the following roll call vote:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSE:	COMMISSIONERS:

Secretary, Torrance Planning Commission

**ITEM 8C - SUPPLEMENTAL
ATTACHMENT 2**

Grading Code Requirements



**2325 Crenshaw Blvd
Typical Grading Comments**

March 18, 2024

Code Requirements:

1. The applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per TMC 81.2.49 (J103) and TMC 81.2.50(J104). Precise grading plan shall detail compliance paths of travel, accessible parking stalls per 2022 California Building Code (CBC) 11B-201.
2. The applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. **Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.**
3. The applicant shall have a final drainage study prepared by a Registered Civil Engineer. The drainage study shall be prepared in report format and include sections addressing on-site and off-site drainage areas, existing and developed conditions hydrology, the design hydraulics for the on-site drainage system, including sizing of inlets, conduits, v-ditches, down drains and other structures, and associated calculations and conclusions. The drainage study shall demonstrate project compliance with the current Los Angeles County Public Work Department's Hydrology Manual and Hydraulic Design Manual; however the minimum design flow for sizing onsite drainage devices shall be 25 year recurrence (Q25)

or 50 year storm for sump conditions. The drainage study shall be submitted to the Building and Safety and approved by the Building official prior the issuance of a grading permit Per TMC 81.2.50 (J104.9)

4. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6)
5. Drainage plans shall incorporate appropriate post-construction best management practices (BMPs) into the design of the project and must be prepared and approved prior to issuance of any grading permit per TMC 411.1.050. Please refer to the Los Angeles County Low Impact Development (LID) Manual for applicable design requirements. The project-specific LID plans shall describe how this project design conforms to all requirements set forth in the LID manual and must include a fully executed and recorded LID covenant to provide for on-going maintenance of the BMPs that have been chosen. **Stormwater quality design volume (SWQDv) shall be retained onsite per TMC 411.1.070.**
6. Per TMC 410.1.070 the owner/owner's agent shall submit erosion control plan to Building and Safety review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
7. Cover sheet of construction document shall include area (acres) of disturbed soil, disturbed soil 1 acre or more required the owner to file a Notice of Intent with the Division of Water Quality of State Water Resources Control Board and prepare a SWPPP per TMC 410.1.070.
8. All undocumented fill shall be removed, until competent native soils have reached, and recompacted from property line to property line. TMC 81.2.50(J104.5)

9. Retaining wall proposed to accommodate the cuts and fills shall obtain separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
10. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6)
11. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per TMC 81.2.52.

Special Conditions:

12. Upon completion of the project, the applicant shall hire a Certified Access Specialist (CAsp) to verify that project(s) are in compliance with California Building Code. All deficiencies shall be addressed to the satisfaction of the Building Official.

**ITEM 8C - SUPPLEMENTAL
ATTACHMENT 3**

Presentation Slides

TORRANCE
DEL AMO

2325 CRENSHAW BLVD



ROSE EQUITIES
OWNER-BUILDERS SINCE 1949

Torrance Planning Commission
MARCH 20, 2024



SPEAKERS

- ◆ Leonard Glickman
ROSE EQUITIES
- ◆ Brent Stoll
ROSE EQUITIES

Rose Equities/Garden Communities

OWNER/APPLICANT

Moore Ruble Yudell

DESIGN ARCHITECT

Studio Valerius

INTERIOR & AMENITIES ARCHITECT

Studio MLA

LANDSCAPE & URBAN DESIGN

PSOMAS

CIVIL ENGINEER

Fehr & Peers

TRAFFIC ENGINEER

FireSafe Planning Solutions

FIRE SAFETY PLANNING

OWNERSHIP BACKGROUND

- ◆ Two individual, family-owned real estate businesses in operation for over 70 years
- ◆ Long-term generational owner-builders
- ◆ Extensive multi-family apartment portfolio throughout the United States
- ◆ Fully vertically integrated

PROJECT OVERVIEW

- ◆ 272 apartment residences (28 affordable apartment residences)
5.50 acres
- ◆ 2-level subterranean parking = more open space
- ◆ Massing sensitive to surrounding neighborhoods
- ◆ 1,085 square feet average apartment residence size
- ◆ 17,100 SF of indoor amenity space, including fitness and wellness facilities and co-working space

REQUESTED APPROVALS

- ◆ Environmental Assessment/Mitigated Negative Declaration
- ◆ Development Application (GPA, Density Bonus, CUP)
- ◆ Tentative Map

COMMUNITY OUTREACH

- ◆ **Objective:** To address community concerns
 - ▶ Regularly met with 4 HOAs (Verdi Estates, South Bayport, Tradewinds, La Terrazza) within the community
 - ▶ Reached out to approximately 50 nearby businesses, resulting in 30 letters of support
 - ▶ In process of working with surrounding community to create a comprehensive Construction Protocol and Mitigation Plan



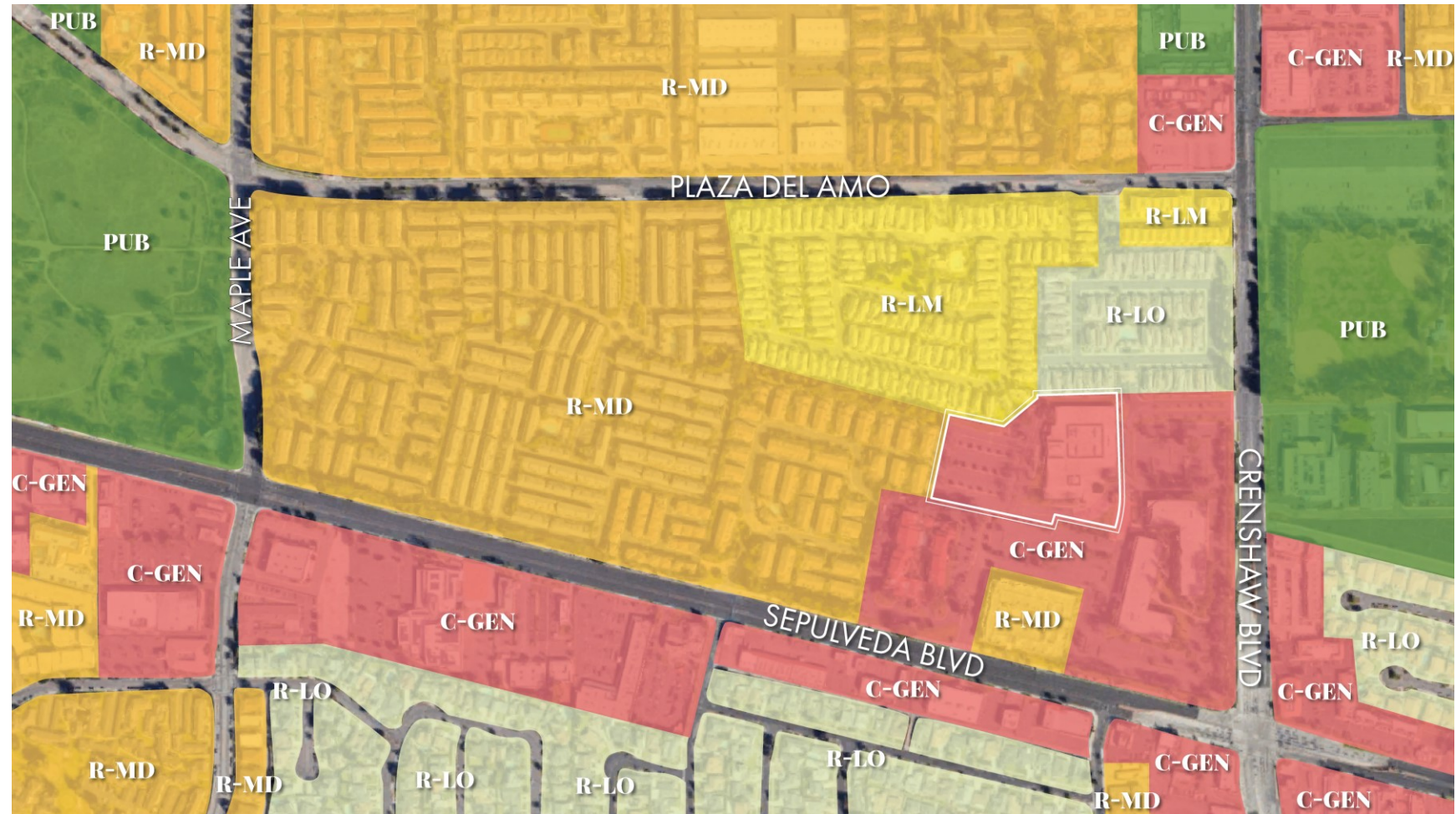
Key Map



AERIAL LOOKING SOUTHWEST

GENERAL PLAN DESIGNATION

◆ General Plan Designation:
General Commercial



TORRANCE DEL AMO

2325 CRENSHAW BLVD
TORRANCE PLANNING BOARD

ZONING DESIGNATION

◆ Zoning Designation: Planned Development



TORRANCE DELAMO

2325 CRENSHAW BLVD
TORRANCE PLANNING BOARD

- ◆ Studio
36 units
 - ◆ One Bedroom
109 units
 - ◆ Two Bedroom
109 units
 - ◆ Three Bedroom
18 units
-
- ▶ **TOTAL 272 UNITS**
 - ◆ Average market residence size: **800-950 SF**
 - ◆ Our average residence size: **1,085 SF**

SITE PLAN



Level 1
Site Plan

TORRANCE DELAMO

2325 CRENSHAW BLVD
TORRANCE PLANNING BOARD

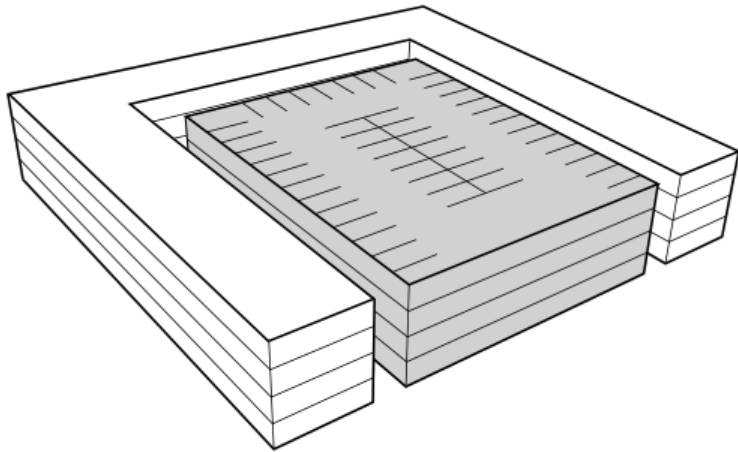
- ◆ Excess Parking
- ◆ **461**
TOTAL PARKING SPACES
- ◆ **399**
MAXIMUM PARKING
DEMAND FOR RESIDENTS

SUBTERRANEAN PARKING



PARKING TYPE COMPARISONS

Above Ground Parking



WRAP GARAGE

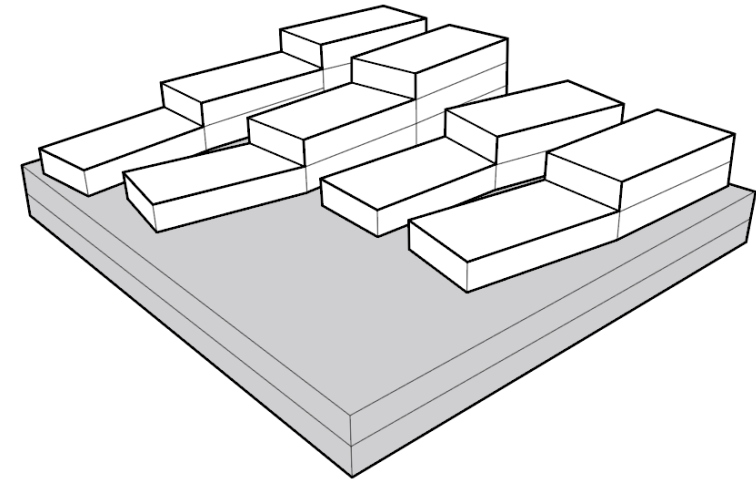
ADVANTAGES

- MORE ECONOMICAL

DISADVANTAGES

- LESS OPEN SPACE
- MORE SITE COVERAGE FOR PARKING
- LESS BUILDING ARTICULATION
- 4 STORY BUILDING HEIGHT

Subterranean Parking



PODIUM GARAGE

ADVANTAGES

- MORE OPEN SPACE
- CONVENIENT PARKING UNDER BUILDING
- MORE CREATIVE BUILDING ARTICULATION
- 3 STORY BUILDING HEIGHT

DISADVANTAGES

- ADDITIONAL COSTS

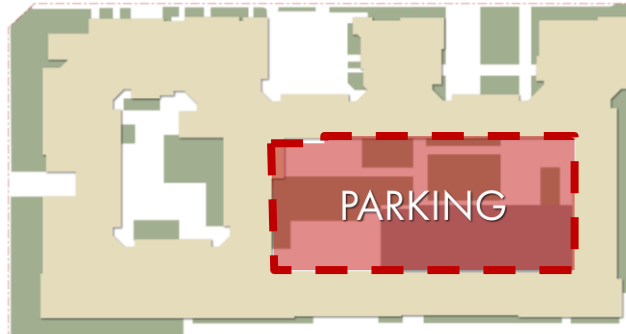
KEY DESIGN ELEMENT- SUBTERRANEAN PARKING

◆ Torrance Del Amo's subterranean parking provides:

- ▶ More sensitivity to surrounding neighbors
- ▶ More open space
- ▶ More articulation



EXAMPLE OF WRAP GARAGE



EXAMPLE OF WRAP GARAGE



Torrance Del Amo

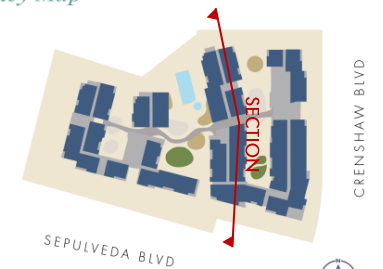
SUBTERRANEAN PARKING

◆ Subterranean garage allows for tiering of the building articulation

PARKING SECTION



Key Map



CRENSHAW BLVD

SEPULVEDA BLVD



TORRANCE DELAMO

2325 CRENSHAW BLVD
TORRANCE PLANNING BOARD

- ◆ All northern apartment residences face inward, toward the interior courtyards
- ◆ All northern apartment residences have landscape buffers to neighbors
- ◆ 57,056 SF total courtyards

CONSIDERATE DESIGN



- ◆ Ongoing discussions with our respective neighbors to establish landscape screening

NEIGHBORHOOD OUTREACH



TORRANCE DELAMO

2325 CRENSHAW BLVD
TORRANCE PLANNING BOARD

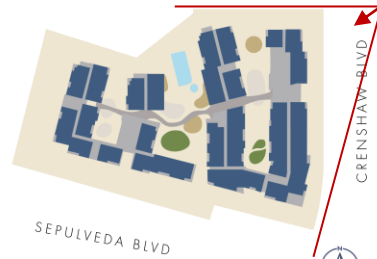
- ◆ Entry Grove
- ◆ Hammock Court
- ◆ Pool and Hot Spa
- ◆ Fitness Deck
- ◆ Outdoor Games
- ◆ Outdoor Kitchen
- ◆ Indoor/Outdoor Lounge
- ◆ Multiple Flex Areas
- ◆ Shared Courtyards
- ◆ Umbrella Court

LANDSCAPE & AMENITIES





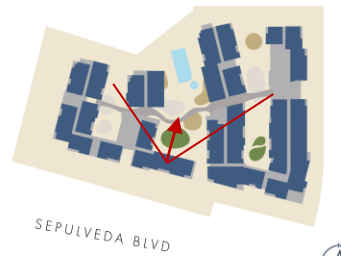
Key Map



STREET VIEW FROM CRENSHAW BOULEVARD



Key Map



CRENSHAW BLVD

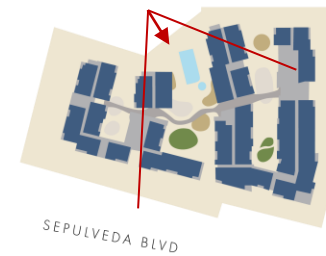
SEPULVEDA BLVD



CENTRAL COURTYARD



Key Map



CRENSHAW BLVD

SEPUVEDA BLVD

POOL VIEW



Key Map



CRENSHAW BLVD

SEPULVEDA BLVD

EAST COURTYARD

COMMUNITY OUTREACH

- ◆ Replacing surplus old office spaces by converting to residential in a Post-COVID world meets today's housing demands
- ◆ A mixed use residential apartment home community inclusive of home office space
- ◆ Addresses the Housing Crisis by adding 272 units, 28 of which are affordable
- ◆ Compliance with State Law Regional Housing Needs Assessment (RHNA) housing requirements
- ◆ More buying power for Torrance's businesses
- ◆ Community will bring approximately 300 permanent jobs

TORRANCE
DEL AMO

2325 CRENSHAW BLVD



ROSE EQUITIES
OWNER-BUILDERS SINCE 1949

Torrance Planning Commission
MARCH 20, 2024

