

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Direct questions or concerns to the Planning Division at (310) 618-5990 prior to submission to the Planning Commission. Parties will be notified if the complaint is included on a subsequent agenda.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to one minute per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please provide 10 color copies to staff before speaking.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Written comments may also be delivered by mail or submitted in-person to the Permit Center (Planning Counter) in the Community Development Department located at the above referenced address, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
JULY 24, 2024
REGULAR MEETING
6:30 P.M. IN THE TOYOTA MEETING HALL
AT 3330 CIVIC CENTER DRIVE.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chairman Kartsonis

2. FLAG SALUTE

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, July 18, 2024.

4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 10 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: May 15, 2024 and June 19, 2024

7. ADMINISTRATIVE MATTERS

7A. Appointment of Chair and Vice Chair

Recommendation of the Community Development Director that Planning Commission appoint a member to serve as Chair and appoint a member to serve as Vice Chair for a one-year term effective August 1, 2024, through July 31, 2025.

7B. Community Development – Consider Approval of WAV24-00003: BRYAN AND GEORGINA WOOLHEATER

Recommendation of the Community Development Director that Planning Commission consider approval of a Waiver to allow a reduction of the side yard setback requirement for an existing as-built addition, on property located in the R-1 Zone at 2446 231st Street. This project is Categorically Exempt from CEQA per Guidelines Section 15305 - Minor Alterations. (Res. No. 24-036)

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00006: AMERICAN HONDA MOTOR CO. INC.

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Conditional Use Permit to allow recurring, outdoor company and community events to be conducted on the Honda campus, on property located in the M-2 Zone at 1919 Torrance Boulevard. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-029)

8B. Community Development – Conduct a Public Hearing to Consider Approval of PRE23-00011: FERDYANTO GONDOPUTRO

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 23-078)

8C. Community Development – Conduct a Public Hearing to Consider Approval of PRE23-00013: DOUGLAS LEACH (KIRK FELDKAMP)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Precise Plan of Development to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue. This project is Categorically Exempt from CEQA per Guidelines Section 15303 – New Construction. (Res. No. 24-003)

8D. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00004, MOD24-00002: VETERINARY EMERGENCY GROUP (ROLLING HILLS PLAZA LLC)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Conditional Use Permit to allow a 24-hour animal hospital, in conjunction with a Modification of a previously approved Planned Development (PD00-00001) to conditionally allow veterinary uses, on property located in the P-D Zone at 25210 Crenshaw Boulevard. The project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. Nos. 24-037, 24-038)

8E. Community Development – Conduct a Public Hearing to Consider Approval of MOD23-00016, CUP23-00037: EXTRA SPACE STORAGE INC.

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Modification of a previously approved Conditional Use Permit (CUP73-22) to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, in conjunction with a Conditional Use Permit to allow more than 15,000 square feet, on property located in the M-L Zone at 17575 Western Avenue. This project is Categorically Exempt from CEQA per Guidelines Section 15332 – In-Fill Development. (Res. Nos. 24-039, 24-040)

8F. Finance – Conduct a Public Hearing to Consider Approval of LUS24-00007: CITY OF TORRANCE (COMMUNITY FACILITIES DISTRICT)

Recommendation of the Finance Director that Planning Commission conduct a public hearing for consideration of proposed amendments to the Torrance Municipal Code pertaining to the mitigation of project-related adverse impacts through the use of a Community Facilities District (CFD), as provided by the Mello-Roos Community Facilities Act of 1982. This item is not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15378 and 15061(b)(3) of the CEQA Guidelines, California Code of Regulations, Title 14.

8G. Community Development – Conduct a Public Hearing to Consider Approval of MOD24-00004: GABLE HOUSE DEVELOPMENT LLC

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider a recommendation to the City Council for approval of a Development Agreement, in conjunction with a Modification of a previously approved Conditional Use Permit (CUP22-00001) to add a condition of approval related to the aforesaid Development Agreement, for a previously approved mixed-use development with density bonus comprised of 218 apartment units and 12,000 square feet of commercial floor area, referred as the Gable House Development, on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard. The project is Categorically Exempt from CEQA per Guidelines Section 15332 – In-Fill Development. (Res. No. 24-041)

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, August 7, 2024, at 6:30 p.m. in the George Nakano Theater located at 3330 Civic Center Drive, Torrance, CA 90503.

AGENDA ITEM NO. 7A

DATE: July 24, 2024
TO: Planning Commission
FROM: Leo Oorts, Planning Manager
SUBJECT: Appointment of Chair and Vice Chair

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission appoint a member to serve as Chair and appoint a member to serve as Vice Chair for a one-year term effective August 1, 2024, through July 31, 2025.

DISCUSSION

In accordance with Torrance Municipal Code Section 13.1.5, at the first meeting of every fiscal year, the Planning Commission is required to appoint a member to serve as Chair for a one-year term until their successor is appointed, and in practice the Planning Commission also appoints a member to serve as Vice Chair for a one-year term until their successor is appointed.

At the meeting of June 21, 2023, the Planning Commission appointed Commissioner Kartsonis to serve as Chair and appointed former Commissioner Pino to serve as Vice Chair. Commissioner Pino resigned on December 6, 2023, which created a vacancy for the position of Vice Chair. At the meeting of January 17, 2024, the Planning Commission appointed Commissioner Yeh to serve as Vice Chair for the remainder of the term until the next appointments are held.

In past practice, the Planning Commission has nominated members with the longest tenure and that have not served in these positions; however, there are no established rules governing who may be nominated and there are no term limits. Staff notes that Commissioner Anunson and Commissioner Kartsonis have both served as Chair and Vice Chair, and that Commissioner Yeh has served as Vice Chair.

Staff recommends the Planning Commission appoint a member to serve as Chair and appoint a member to serve as Vice Chair for a one-year term effective August 1, 2024, through July 31, 2025.

Provided below are the Commissioner appointment dates sorted by last name in alphabetical order:

| Commissioner | First Appointed | Current Term |
|-------------------------|------------------------|-------------------------|
| Greg Anunson | 06/11/2019 | 07/01/2023 – 06/30/2027 |
| Dominic Borgialli | 07/02/2024 | 07/01/2024 – 06/30/2025 |
| David Kartsonis (Chair) | 11/17/2020 | 07/01/2021 – 06/30/2025 |
| Mario Obejas | 07/02/2024 | 07/01/2024 – 06/30/2028 |
| Ron Riggs | 08/09/2022 | 07/01/2023 – 06/30/2027 |
| Megan Turner | 01/23/2024 | 07/01/2024 – 06/30/2028 |
| Tony Yeh (Vice Chair) | 06/14/2022 | 07/01/2022 – 06/30/2026 |

AGENDA ITEM NO. 7B

DATE: July 24, 2024

TO: Planning Commission

FROM: Austin Lujan, Management Aide
Leo Oorts, Planning Manager

SUBJECT: 2446 231st Street (APN 7370-020-060)
Waiver (WAV24-00003)

Consideration of a Waiver to allow a reduction of the side yard setback requirement for an existing as-built addition, on property located in the R-1 Zone at 2446 231st Street (APN 7370-020-060).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission consider adoption of Resolution No. 24-036 for approval of a Waiver to allow a reduction of the side yard setback requirement for an existing as-built addition, on property located in the R-1 Zone at 2446 231st Street (APN 7370-020-060), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations).

EXECUTIVE SUMMARY

The project applicants, Bryan and Georgina Woolheater, request approval by the Planning Commission to allow a reduction of the side yard setback requirement for an existing as-built addition, on property located in the R-1 Zone at 2446 231st Street (APN 7370-020-060).

The development standards of the R-1 Zone (Single Family Residential District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Waiver (WAV) to allow a reduction of the side yard setback requirement.

Staff has thoroughly reviewed the project and determined the project is consistent with the Low-Density Residential land use designation, and with approval of the Waiver, complies with the objective development standards of the R-1 Zone and does not require further environmental review. The project meets the criteria for granting a Waiver and staff recommends approval of the project, as conditioned. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Waivers are Categorically Exempt by the Guidelines for implementation of the California Environmental Quality Act; Article 19, Section 15305 (Minor Alterations).

General Plan Land Use Designation

The project site has a General Plan land use designation of Low Density Residential (R-LO), which allows up to nine dwelling units per acre. Development in the R-LO land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The existing single family residential use on this property is consistent with the R-LO land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-1 Zone (Single Family Residential District) and bounded by five parcels that share the same zoning designation and developed with similar land uses.

| | | |
|--------|----------|-----------------------------------|
| NORTH: | R-1 | Two-Story Single-Family Residence |
| SOUTH: | R-1 | One-Story Single-Family Residence |
| EAST: | R-1 | Two-Story Single-Family Residence |
| WEST: | R-1 (RP) | One-Story Single-Family Residence |

Project Site

The subject site is located on the south side of 231st Street, between Crenshaw Boulevard and Pennsylvania Avenue. The project is situated on a rectangular lot measuring 5,250 square feet. The residence is oriented towards the north. The site contains a one-story single-family residence, originally built in 1926, then relocated to the subject site in 1953. A detached two-car garage was added in 1969. Residences in the vicinity are one- and two-story structures.

As-Built Addition

The as-built addition is located at the southeast corner of the residence and measures 332 square feet in floor area and with a height of 11' 11" measured from the adjacent grade. There are no permit records for the as-built addition and the exact construction date is unknown; however, historic aerial photographs indicate the subject addition was constructed between 1978 and 1981. In 2015, a building permit application to legalize the as-built addition was submitted by the previous property owner (BLD15-00385), but that permit was not pursued and never issued. In 2023, a separate building permit application to remodel the residence was submitted by the current property owner (BLD23-02866), which requires a Waiver to maintain the nonconforming east side yard setback.

Open Space and Lot Coverage

The total usable open space in the front and rear yard areas measure 2,900 square feet (55%), which exceeds the 33% minimum open space requirement of the R-1 Zone. The total land area covered by the residence measures 1,702 square feet (32%), within the allowable 50% lot coverage limit of the R-1 Zone.

Building Setbacks

The as-built addition features an existing nonconforming east side yard setback of 4' 7", less than the 5' required by Code and deficient by 5", therefore necessitating a Waiver to allow a reduction of the development standard. The applicants were required to provide facts to substantiate the criteria by which the Planning Commission may grant the Waiver (Attachment 3). Staff notes that no other reductions of development standards have been incorporated into the project.

Criteria for Granting a Waiver

The Planning Commission may grant a Waiver of development standards relating to front, rear, and side yard requirements, court requirements, building heights, and distances between buildings.

The criteria for granting a Waiver are specified in Section 94.2.4 of the Torrance Municipal Code, which states:

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

In the judgement of staff, the request for a Waiver to allow a reduction of the east side yard setback requirement is deemed appropriate due to existing site conditions. Strict enforcement of the side yard setback requirement would result in unreasonable difficulties such as the cost of demolition. Granting of the Waiver will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof because the request legalizes an existing longstanding structure. Lastly, granting of the Waiver will not substantially interfere with the orderly development of the City as approval would not worsen an existing nonconforming condition nor interfere with the adjacent land uses.

CONCLUSION

In the judgment of the staff, a Waiver to allow a reduction of the side yard setback requirement satisfies the hardship criteria for approval, as the subject addition is an existing longstanding structure and the demolition of 5" would cause unreasonable difficulties. Maintaining the existing east side yard setback of the as-built addition would not have a substantial adverse impact on the other properties in the vicinity. The project is compatible with surrounding homes and the existing single family residence is consistent with the Low-Density Residential land use designation.

Staff recommends approval of the project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al. that are pertinent to the project (Attachment 4). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 11, 2024, to the registered owner of properties located within a 300' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-036
2. Location and Zoning Map
3. Waiver Substantiation
4. Code Requirements
5. Project Plans (Limited Distribution)

STAFF CONTACT

Austin Lujan, Management Aide
ALujan@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 7B
ATTACHMENT 1
RESOLUTION NO. 24-036

PLANNING COMMISSION RESOLUTION NO. 24-036

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A WAIVER AS PROVIDED FOR IN DIVISION 9, CHAPTER 4, ARTICLE 2 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A REDUCTION OF THE SIDE YARD SETBACK REQUIREMENT FOR AN EXISTING AS-BUILT ADDITION, ON PROPERTY LOCATED IN THE R-1 ZONE AT 2446 231ST STREET.

WAV24-00003: BRYAN AND GEORGINA WOOLHEATER

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application filed by Bryan and Georgina Woolheater for a Waiver to allow a reduction of the side yard setback requirement for an existing as-built addition, on property located in the R-1 Zone at 2446 231st Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 4, Article 2 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2446 231st Street (APN 7370-020-060);
- b) That the property is described as Lot 1 of P M 16-17 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the approval of a Waiver is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15305 (Minor Alterations);
- d) That the project complies with the development standards of the R-1 Zone, with the exception of the east side yard setback requirement, and is consistent with the Low-Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That there are unreasonable difficulties resulting from the strict enforcement of the east side yard setback because demolishing portions of an existing longstanding structure to address a deficiency of 5 inches is an undue hardship and would result in a significant financial cost;
- f) That a reduction of the east side yard setback requirement will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof because the project legalizes an existing longstanding structure, and the project complies with the other development standards of the R-1 Zone. The subject request does not change the nature of the existing residence and the property will still be compatible with the character of the neighborhood; and
- g) That a reduction of the east side yard setback requirement, as conditioned, will not substantially interfere with the orderly development of the City because the project meets the front yard, west side yard, and rear yard setback requirements, is within the required Lot Coverage, open space, and height requirements, and the proposed project will maintain the land use as a single-family residence, complying with the Zone and General Plan designation.

WHEREAS, the Planning Commission by the following roll call votes APPROVED WAV24-00003, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that WAV24-00003 filed by Bryan and Georgina Woolheater to allow a reduction of the side yard setback requirement for an existing as-built addition, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property shall be subject to all conditions imposed in Waiver 24-00003 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Waiver is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the Torrance Municipal Code;
3. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
4. That a copy of this signed Resolution, with all conditions of approval, shall be included as an attachment to the building set of plans when submitting for plan check; (Planning)
5. That the applicant shall obtain proper building permits to legalize the as-built addition; (Planning)
6. That the as-built addition shall maintain no less than a 4' 7" side yard setback to east property line; and (Planning)
7. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 7B
ATTACHMENT 2
LOCATION AND ZONING MAP




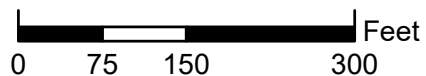
LOCATION AND ZONING MAP

WAV24-00003
2446 W. 231st St.



LEGEND

-  Notification Area
-  2446 W 231st ST



ITEM 7B
ATTACHMENT 3
WAIVER SUBSTANTIATION



Waiver Substantiation Form

Pursuant to Article 2, Chapter 4, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant a waiver of the following development standards: front, rear, and side yard setbacks, court requirements, building heights, and distances between buildings.

A waiver may be granted if, in the judgment of the Planning Commission or the City Council:

- a) Unreasonable difficulties will result from the strict enforcement of this Division;
- b) It will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof; and
- c) It will not substantially interfere with the orderly development of the City as provided for in this Division.

Applicants requesting a waiver must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the waiver.

a) There are practical difficulties or unnecessary hardships resulting from strict enforcement of the development standard based on the following circumstances:

To comply with the current development standard the AS BUILT addition would need to be moved a further 4.8 inches from property line.

Teardown and rebuild would result in substantial financial difficulties and bankruptcy for the first time home buyers and newlyweds.

b) Waiver of the development standard will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity thereof based on the following circumstances:

The addition was built sometime around 2015 by the previous owners and is located at the rear of the original house.

A waiver will not impact public welfare or the property of other persons and neighbors located in the vicinity.

c) Waiver of the development standard will not substantially interfere with the orderly development of the City based on the following circumstances:

A waiver will not interfere with the orderly development of the City.

The AS BUILT addition is located at the rear of the original house.

ITEM 7B
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements. They are provided for information purposes only.

ENGINEERING:

1. Install a street tree in the City parkway every 50' for the width of this lot on 231st St. (74.3.2).
2. Replace grinded and cracked sidewalk along the property frontage on 231st St. per City of Torrance standards.
3. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work on 231st St. in the public right-of-way (74.6.2).

ITEM 7B
ATTACHMENT 5
PROJECT PLANS (LIMITED DISTRIBUTION)

AGENDA ITEM NO. 8A

DATE: July 24, 2024
TO: Planning Commission
FROM: Kevin Joe, Planning Associate
Leo Oorts, Planning Manager
SUBJECT: 1919 Torrance Boulevard (APN 7352-022-002)
Conditional Use Permit (CUP24-00006)

Consideration of a Conditional Use Permit to allow recurring, outdoor company and community events to be conducted on the Honda campus on property located in the M-2 Zone at 1919 Torrance Boulevard (APN 7352-022-002).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-029 to approve a Conditional Use Permit to allow recurring, outdoor company and community events to be conducted on the Honda campus on property located in the M-2 Zone at 1919 Torrance Boulevard (APN 7352-022-002), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, American Honda Motor Co. Inc., requests approval by the Planning Commission to allow recurring, outdoor company and community events to be conducted on the Honda campus on property located in the M-2 Zone at 1919 Torrance Boulevard (APN 7352-022-002).

The development standards of the M-2 Zone (Heavy Manufacturing District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow recurring outdoor events in the M-2 Zone.

Staff has thoroughly reviewed the project and determined the project is consistent with the Industrial Business Park (I-BP) land use designation and complies with the objective development standards to the extent possible, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor alterations to existing facilities are Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of Business Park, which is characterized by business, professional and medical office, research and design, and light industrial uses. This designation is implemented by the PD Planned Development District.

The existing corporate headquarters campus is consistent with the Business Park designation. The proposed recurring, outdoor company and community events are conditionally permitted within the M-2 Zone and are compatible with the existing campus.

Zoning Designation and Adjacent Land Uses

The project site is designated as M-2 Zone (Heavy Manufacturing District) (Attachment 2). Given its size, the campus is surrounded by numerous different zoning designations, summarized below.

| | | |
|--------|--------|---|
| NORTH: | M-2 | Light Manufacturing |
| SOUTH: | DT | Downtown Torrance District / Restaurant |
| | C-1 PP | Retail Commercial District, Precise Plan Overlay / Multi-Family Residences |
| EAST: | M-2 | Warehousing, Light Industrial, and Office Buildings |
| WEST: | M-2 | Light and Heavy Manufacturing |
| | R-3 | Limited Multi-Family Residential District / Single-Family Residences |
| | R-MF | Downtown Residential Multiple-Family Residential District / Multi-Family Residences |
| | M-1 | Light Manufacturing District / Light Industrial, Warehousing, Automobile Repair, Restaurant |

Project Site

The subject site consists of a 100-acre irregular shaped parcel bounded by Harpers Way to the north, Torrance Boulevard to the south, multiple industrial properties to the east, and Van Ness Avenue to the west. The site is developed as the corporate headquarters of the American Honda Motor Corporation, established in 1989, and currently developed with 12 buildings used for administrative offices, research and design, manufacturing, and warehousing.

Background and Analysis

The purpose of the request is to allow recurring, outdoor company and company-sponsored community events to be conducted at various locations on the American Honda Motor Corporation campus. This Conditional Use Permit request will cover three community events (Honda Campus All-Star Challenge, Student Run LA/Ride for Kids, and American Honda Collection Hall: Cars, Bikes and Coffee) and three company events (Associate Appreciation Lunch, Children's Halloween Party, and National Honda Circle). An event summary with a description of each event, when and where they occur, and the estimated attendance, was provided by the applicant and can be found in Attachment 4.

In 2015, an Administrative Planning Permit (ADM15-00029) allowed recurring, outdoor company-sponsored community and company events conducted on the Honda campus. The events included Evening Under the Stars, For Our Children Food & Wine Festival, Student Run LA/Ride for Kids, Honda Campus All Star Challenge Lunch, Associate Appreciation Lunch, Children's Halloween Party and National Honda Circle. This Administrative Permit served as a master permit for these events and replaced the need for applying for separate Temporary Parking Lot Event Permits for each event each year. The permit applied to event activities conducted on-site on the tennis courts, baseball field, patio courtyard area, or within portions of the parking lot, and did not cover activities conducted off-site or within the public right-of-way. Events conducted in the public right-of-way were subject to the approval of a Special Event Permit. The aforementioned events,

with the exception of the Evening Under the Stars and For Our Children Food & Wine Festival events, will continue to be conducted under the Conditional Use Permit.

The previously approved Administrative Permit covered Honda Campus All Star Challenge, Student Run LA/Ride for Kids, Associate Appreciation Lunch, Children’s Halloween Party, and National Honda Circle, that would also be covered under this Conditional Use Permit. These events are held over one or two days, limited to company employees or targeted audiences.

The Cars, Bikes and Coffee is a new event that was inaugurated in 2023, will occur every other month, and open to the general public. The Cars, Bikes, and Coffee that were held this past October, December, February, and April were approved under a Temporary Parking Lot Event Permit. The inaugural event in October drew thousands of attendees over a short period of time, which resulted in traffic impacts and vehicles queuing on surrounding streets. Due to the size, nature, and frequency of this event, and potential impacts that this event may create, a Conditional Use Permit review was determined to be warranted.

In the past, the Planning Commission has approved Conditional Use Permits and Modifications to allow recurring, temporary outdoor operations, seasonal sales, and events to occur in parking lots or vacant lots where the set up remains the same each time. The Conditional Use Permit and Modification replaced the need to process separate Temporary Parking Lot Event Permit applications for each event, which relieves the application burden on City staff, while providing standardized conditions of approval.

Event Plans

A summary of the six recurring events covered under this Conditional Use Permit is provided below, and detailed event descriptions are attached (Attachment 4). A location map and plans for each event are also attached (Attachment 5). The events will be conducted within the parking lot, the baseball field, outdoor courtyard areas, or inside a building. The location and setup vary depending on the event and may include the erection of tents, canopies and stages, tables and seating, food trucks and vendors, and temporary restroom facilities. Events serving food and beverages will be catered by the food truck vendors, which participating vendors will be required to have a City Business License, and the on-site commissary. Tents, canopies, and stages that are erected and/or use of power generators will be required to obtain a Safety Inspection Permit each time any of these items are used. The use of amplified sound will be required to obtain an amplified sound permit.

| Event Name | Description | Campus Location (Outdoor Activities) | Estimated Attendance |
|--|--|---|-----------------------------|
| Honda Campus All-Star Challenge | Academic competition for historically black colleges & universities. April-weekday | Building 400 courtyard area | 400-500, public |
| Student Run LA/Ride for Kids | Charity ride for Pediatric Brain Tumor Foundation followed by 5K fun run for at risk middle & high student. April or May-weekend | Baseball field | 300, public |
| American Honda Collection: Cars, Bikes, and Coffee | Vehicle and motorcycle public car show. Every other month- 3 rd Saturday | Multiple parking lots | 3,000, public |
| Associate Appreciation Lunch | Luncheon for current & former Honda associates milestones & achievements., June-weekday | Parking lot | 2,000, private |

| | | | |
|----------------------------|---|-----------------------------|----------------|
| Children's Halloween Party | Carnival games & activities for children of Honda associates. October-weekday | Baseball field, park lot | 2,000, private |
| National Honda Circle | Convention for National Honda Circle delegates & executives. 2 days November-weekday | Baseball field, parking lot | 650, private |

To help prevent vehicles entering the campus from queuing on surrounding streets, conditions of approval have been included for directional signage to be provided, requiring personnel to monitor and direct traffic, and requiring multiple points of ingress.

CONCLUSION

Staff does not object to this request to allow recurring outdoor events, as conditioned, because the location of these events combined with the size of campus will help mitigate and buffer potential impacts to campus operations and neighboring properties. The largest community event (in terms of attendees and activity area, is the Cars, Bikes and Coffee event) will take place on Saturdays, and thus less likely to affect and impact campus business operations.

The applicant is advised that Code requirements have been included as an attachment to the staff report and are not subject to modification. Decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the resolution.

As of the preparation of this report, no written correspondence has been received pertaining to the request.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on May 2, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-029
2. Location and Zoning Map
3. Code Requirements
4. Event Summary
5. Event Plans

STAFF CONTACT

Kevin Joe, Planning Associate

KJoe@TorranceCA.gov

Leo Oorts, Planning Manager

LOorts@TorranceCA.gov

ITEM 8A
ATTACHMENT 1
RESOLUTION NO. 24-029

PLANNING COMMISSION RESOLUTION NO. 24-029

A RESOLUTION OF THE PLANNING COMMISSION OF CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE, TO ALLOW RECURRING, OUTDOOR COMPANY AND COMMUNITY EVENTS TO BE CONDUCTED AT THE HONDA CAMPUS ON PROPERTY LOCATED IN THE M-2 ZONE AT 1919 TORRANCE BOULEVARD.

CUP24-00006: AMERICAN HONDA MOTOR CO. INC.

WHEREAS, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on July 24, 2024 to consider an application filed by American Honda Motor Co. Inc. for approval of a Conditional Use Permit to allow recurring, outdoor company and community events at the Honda Campus on property located in the M-2 Zone at 1919 Torrance Boulevard; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 1919 Torrance Boulevard;
- b) That the property is described as PM 344-30-39 (APN 7352-022-002) as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations to existing facilities are Categorically Exempt pursuant to Section 15301 – Existing Facilities of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA);
- d) That operation of corporate headquarters with recurring, outdoor company and community events is conditionally permitted within the M-2 Zone, and complies with the provisions of the Torrance Municipal Code;
- e) That the proposed recurring, outdoor company and community events, as conditioned, will not impair the integrity and character of the M-2 Zone because the temporary outdoor events are ancillary to primary use of the campus;
- f) That the subject site is physically suitable for the proposed recurring, outdoor company and community events, as conditioned, because campus will provide adequate parking for event attendees and campus employees;
- g) That the proposed recurring, outdoor company and community events, as conditioned, will be compatible with existing and proposed future land uses within the M-2 Zone and the general area in which it is located because only a limited number of events will be conducted each year;
- h) That the proposed recurring, outdoor company and community events, as conditioned, will encourage and be consistent with the orderly development of the City as provided in the General Plan because the events are temporary and will not require any permanent physical changes or alterations to the property;

- i) That the proposed recurring, outdoor company and community events, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the outdoor events are temporary and will not interfere with long term operations of the campus;
- j) That there are adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed recurring, outdoor company and community events will not be detrimental to public health and safety because the campus is situated in an urban area and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there are adequate provisions for public access to serve the proposed recurring, outdoor company and community events because vehicular, pedestrian, and public transit access are provided along Torrance Boulevard, Van Ness Avenue and Harpers Way;
- l) That the location, size, design and operating characteristics of the proposed recurring outdoor company and community events, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the events will be subject to Building and Safety Division and Fire Department standards and inspections; and
- m) That the proposed recurring, outdoor company and community events, as conditioned, will not produce any or all the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

WHEREAS, the Planning Commission by the following roll call vote APPROVED CUP24-00006, subject to conditions:

| | |
|----------|----------------|
| AYES: | COMMISSIONERS: |
| NOES: | COMMISSIONERS: |
| ABSENT: | COMMISSIONERS: |
| ABSTAIN: | COMMISSIONERS: |

NOW, THEREFORE, BE IT RESOLVED that CUP24-00006 filed by American Honda Motor Co. Inc. to allow recurring, outdoor company and community events at the Honda Campus on property located in the M-2 Zone at 1919 Torrance Boulevard, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a recurring, outdoor company and community events shall be subject to all conditions imposed in Conditional Use Permit 24-00006 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if this Conditional Use Permit is not implemented within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period, as provided for in Section 92.27.1;
3. That a copy of Planning Commission Resolution No. 24-029 shall appear on all building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That only one outdoor event shall be conducted on the campus at a single time; (Planning)
5. That the Cars, Bike, and Coffee event shall be limited to six events per calendar year; (Planning)
6. That event staff and parking attendants shall continuously monitor vehicular traffic flow into the campus. Multiple ingress points shall be made available for guests and exhibitors entering the campus to ensure that vehicular traffic does not queue on to public street and parking attendants shall be stationed at all ingress points and deployed within the parking lot to direct traffic flow; (Planning)
7. That on-site restroom facilities shall be provided for event guests; (Planning)
8. That separate approval of a Special Event Permit shall be obtained from the City Manager's Office for event activities conducted in the public right-of-way; (Planning)
9. That access to secure bicycle parking shall be provided for guests; (Planning)
10. That the blocking of any handicap access or parking spaces shall be prohibited; (Environmental)
11. That displays shall not block vehicular or pedestrian circulation; (Environmental)
12. That containers for the collection of trash and recyclables shall be provided for events serving food; (Environmental)
13. That illegal signs, A-frames, bow banners, sign holders/twirlers, etc. shall not be permitted; (Environmental)
14. That all event activities shall be contained within noted areas of event plans; (Environmental)
15. That encroachment into the public right-of-way, fire lane, or drive aisles/parking areas, other than areas shown on the event plans, shall not be permitted; (Environmental)
16. That all power generators and speakers shall be placed or oriented away from neighboring residential uses; (Environmental)
17. That the site shall be cleaned up and trash and debris removed within the time specified on the application or 48 hours after the conclusion of the event and returned to its previous state held prior to the event; (Environmental)
18. That the applicant shall be responsible for any charges for Police presence for these events; (Police)
19. That protective vehicle barricades or placement of hard barriers (K-rails) shall be installed around event areas located within a parking lot to shield seating and pedestrian areas exposed to vehicular traffic; (Planning/Police)
20. That high visibility vests shall be worn for staff working the outdoor events; (Police)
21. That event directional signage shall be placed on private property and not within the public right-of-way (street, sidewalk, parkway); (Public Works)

22. That approved covers to protect electrical cables and cords on ground in public areas shall be installed; (Building)
23. That modifications or alterations to the conditions of approval and event plans shall be subject to the approval of the Community Development Director; (Planning) and
24. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

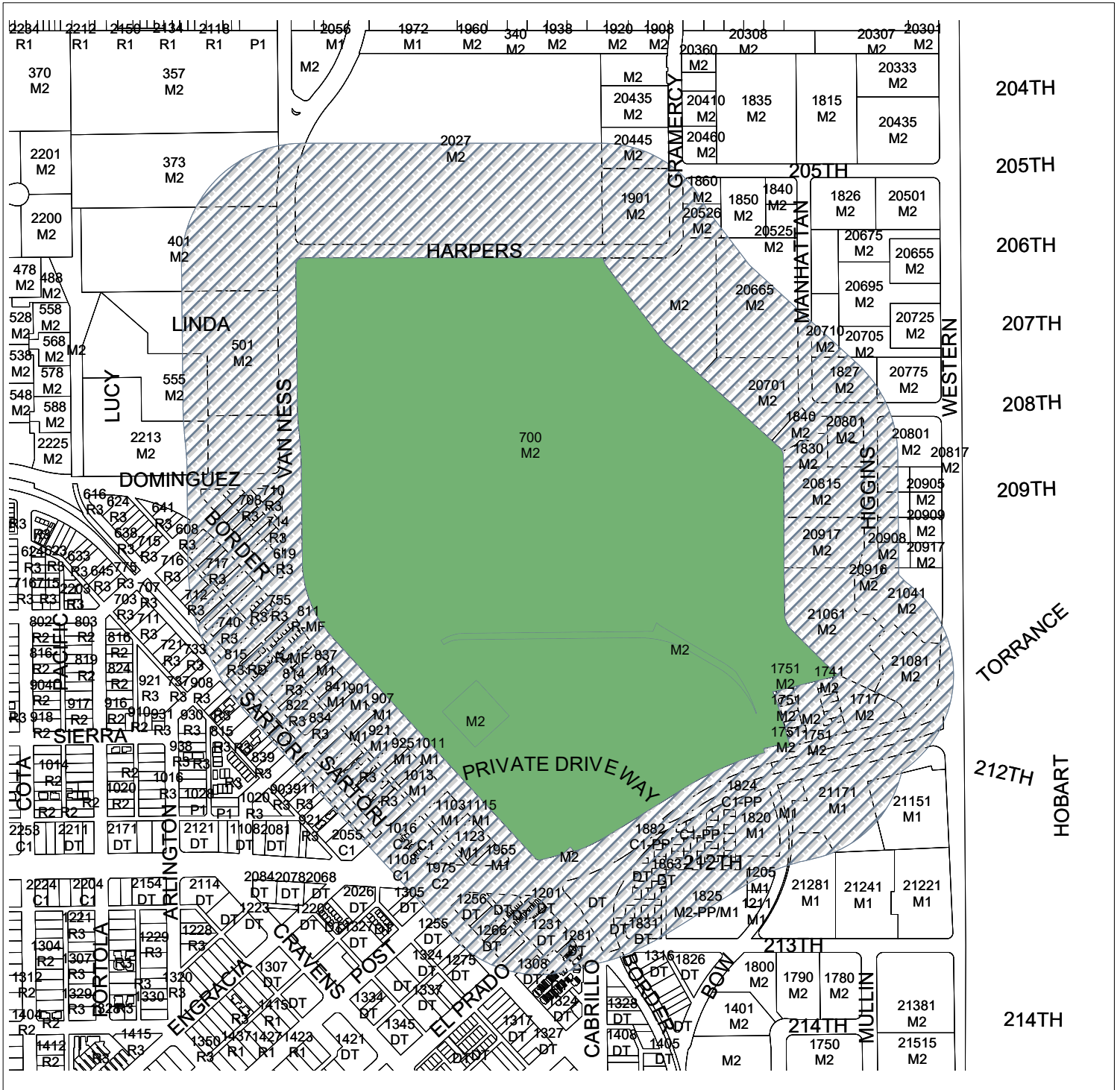
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A
ATTACHMENT 2
LOCATION AND ZONING MAP

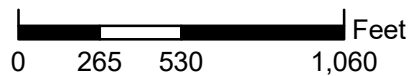


Location and Zoning Map
 CUP24-00006
 1919 Torrance Boulevard



Legend

- 1919 Torrance Boulevard
- 500-Foot Notification Area



ITEM 8A
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. All possible Code requirements are not provided here and applicants are strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter Code requirements. They are provided for information purposes only.

Building and Safety:

1. Obtain Safety Inspection Permit for the installation of tents and canopies larger than 10 feet by 12 feet and stages
2. Obtain electrical permit of use of power generators.
3. Maintain ADA handicap accessibility throughout event areas.

Business License:

4. Obtain Amplified Sound Permit from the Finance Department Business Revenue Division for use of amplified sound.

Environmental:

5. Obtain a Banner Permit if banners are to be used.
6. Generators shall comply with the Torrance Municipal Code pertaining to noise.
7. Events shall comply with City Noise Ordinance.

Fire:

8. Fire lanes, fire hydrants or fire department connections shall not be blocked.
9. Tents or canopies larger than 400 square feet, including tents or canopies totaling 400 square feet or larger that are closer than 10 feet from each other, shall be flame retardant.
10. Maintain emergency exits and provide fire extinguishers for tents and canopies.

Planning:

11. Food truck vendors shall have a City Business License.
12. A maximum of 10 mobile food vendors may participate per event.
13. Mobile food vendor operations shall be a minimum of 100 feet from property zone or used for residential purposes.
14. Food truck hours of operation shall be limited to 9:00 am to 10:00 pm.

Police:

15. Vehicles on the public street are subject to the California Vehicle Code and Torrance Municipal Code.

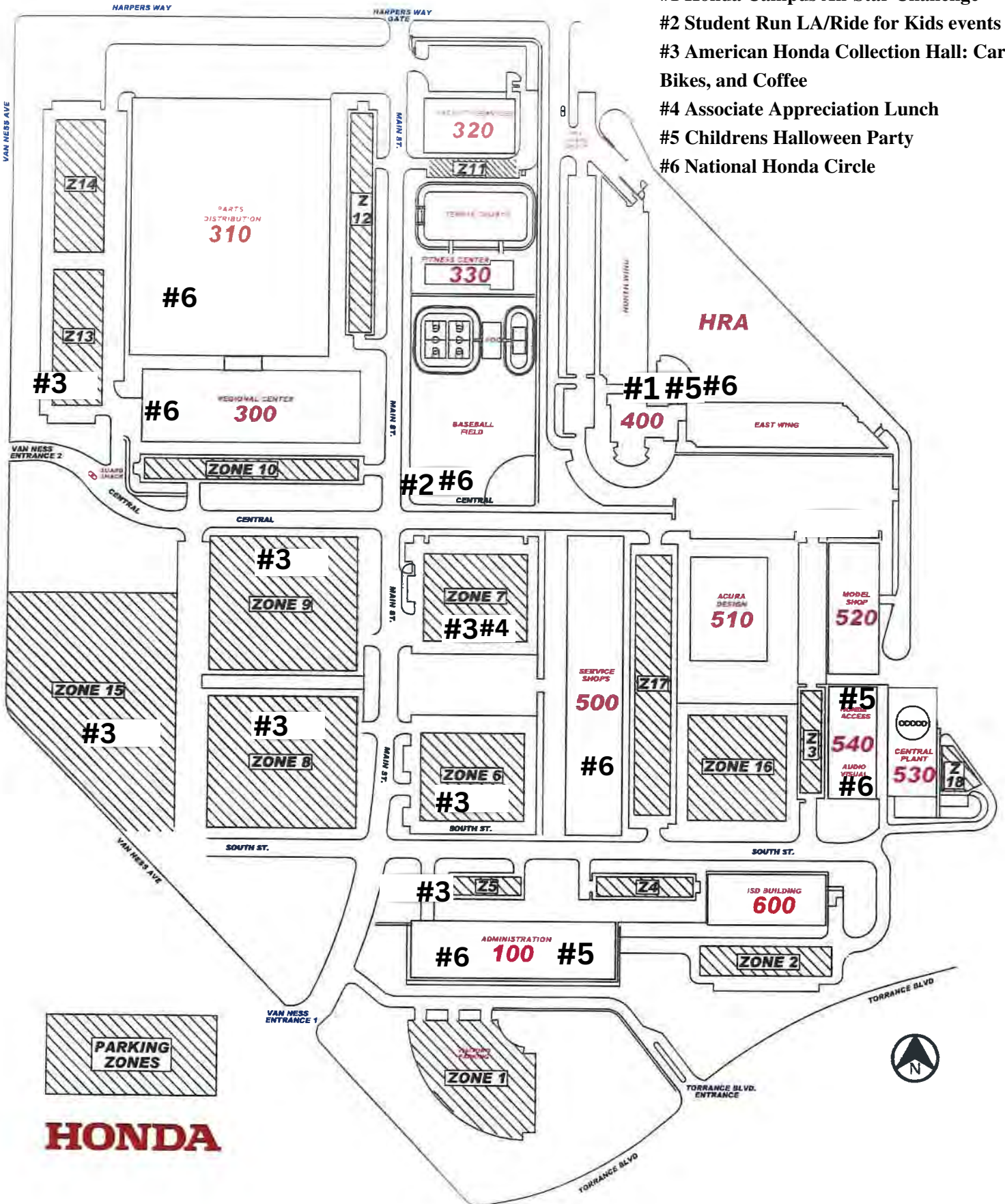
ITEM 8A
ATTACHMENT 4
EVENT SUMMARY

| Community Events | | | | | |
|---|-------|---|---|---|--|
| Event Name | Map # | Description | Month / Hours / Week or Weekend? | Campus Location/Map | Attendance # Estimate / Public or Private |
| Honda Campus All-Star Challenge | 1 | HCASC connects the nation's best and brightest HBCU students and provides an opportunity to expand their scope of knowledge, learn teamwork and sportsmanship, and develop a bond with their fellow competitors. The program highlights students' academic talents and ability to answer questions about history, science, literature, religion, the arts and pop culture. Winners are awarded \$400,000 in institutional grants. | April / Business hours: 9-5pm / Weekday | Building 400 / Refer to map #1 from revised app | Approx 400-500/ Open to public, it is also broadcasted online, no invite required |
| Student Run LA/Ride for Kids events | 2 | An event sponsored and hosted by Honda in which motorcyclist take to the streets of Torrance and Palos Verdes benefiting the Pediatric Brain Tumor Foundation. After the event, Honda hosts graduating high school seniors from the Student Run LA (SRLA) program for a 5k fun run. SRLA is a mentoring program that helps at-risk middle and high school students set goals, particularly finishing the 26-mile marathon. | April or May / 7:30am - 3:00pm Weekend / | Baseball field / Refer to map #2 from revised app | Approx 300 / Public No Invite required |
| American Honda Collection Hall: Cars, Bikes, and Coffee | 3 | Show off your own interesting vehicle or motorcycle while enjoying the company of other enthusiasts at this family-friendly event held at American Honda's headquarters, | Bi-monthly every 3rd Saturday of each month (7:30am - 1:00pm) <i>*Except June it will be second Saturday each year given the Long Beach Grand Prix</i> | Building 100 & Parking lot zones: 6 - 9, 13, 15 and 23 Map # 3A and 3B | Approx 3,000 people but expected to dwindle. / Public event no invite required |
| Company Events | | | | | |
| Event Name | Map # | Description | Month / Hours / Week or Weekend? | Campus Location/Map | Attendance # Estimate / Public or Private |
| Associate Appreciation Lunch | 4 | Lunch to celebrate current and former Honda associates milestones and achievements | June / 12:00pm - 1:00pm/ Weekday | Lot zone #7 / Refer to Map #4 | Approx 2,000 Associates Private only for current and former Honda Associates |
| Childrens Halloween Party | 5 | Halloween celebration for both current and former Honda associates and their children. Will include various activities for associates. | October / 5:00pm - 8:00pm Weekday | Building 100, 400, 540/ Refer to map #5 | Approx 2,000 Associates Private only for current and former Honda Associates |
| National Honda Circle | 6 | NHC Delegates & Executives from around the world will attend this convention. Approximately 500 people will be onsite for this global event. | November 5 and 6/ 7:00am - 6:00pm / Weekday | Building 100, 300, 310, 400, 500, 540 & Softball Field Refer to Map #6A and 6B | Approx: 650 people Private Event for invited guests only |

ITEM 8A
ATTACHMENT 5
EVENT PLANS

**AMERICAN HONDA MOTOR CO. INC.
TORRANCE CAMPUS**

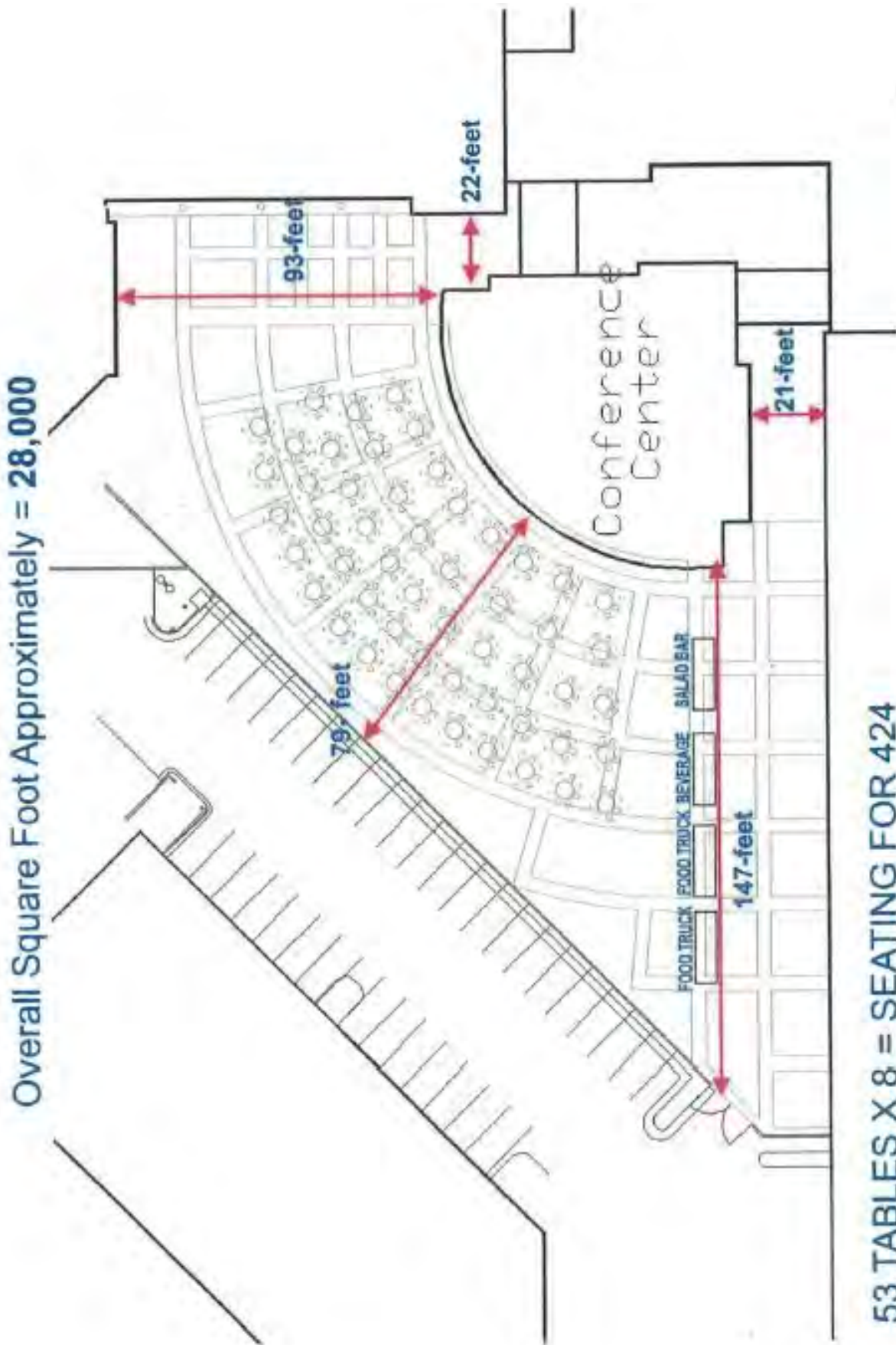
- #1 Honda Campus All-Star Challenge
- #2 Student Run LA/Ride for Kids events
- #3 American Honda Collection Hall: Cars, Bikes, and Coffee
- #4 Associate Appreciation Lunch
- #5 Childrens Halloween Party
- #6 National Honda Circle



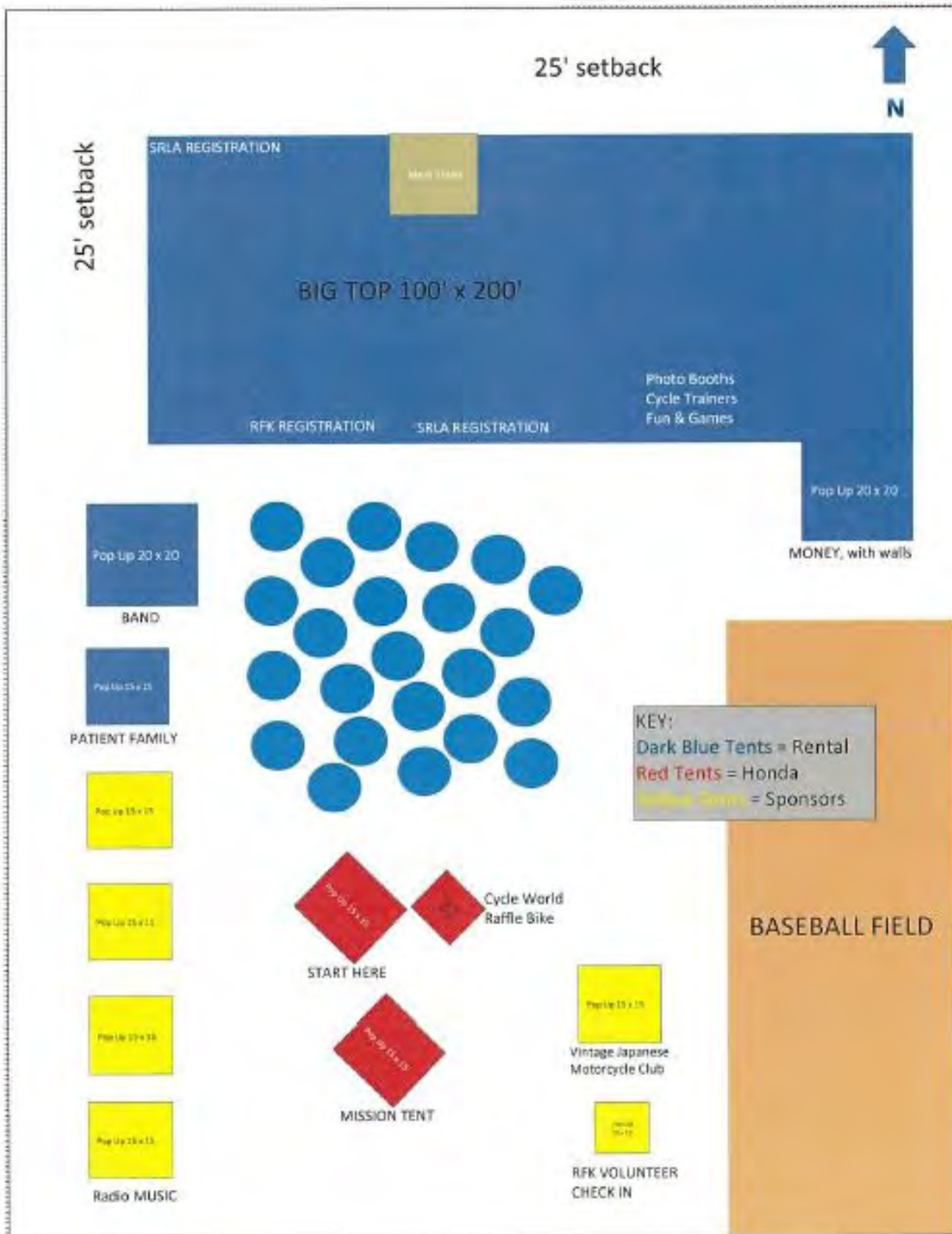
HONDA

Map #1

HCASC APRIL

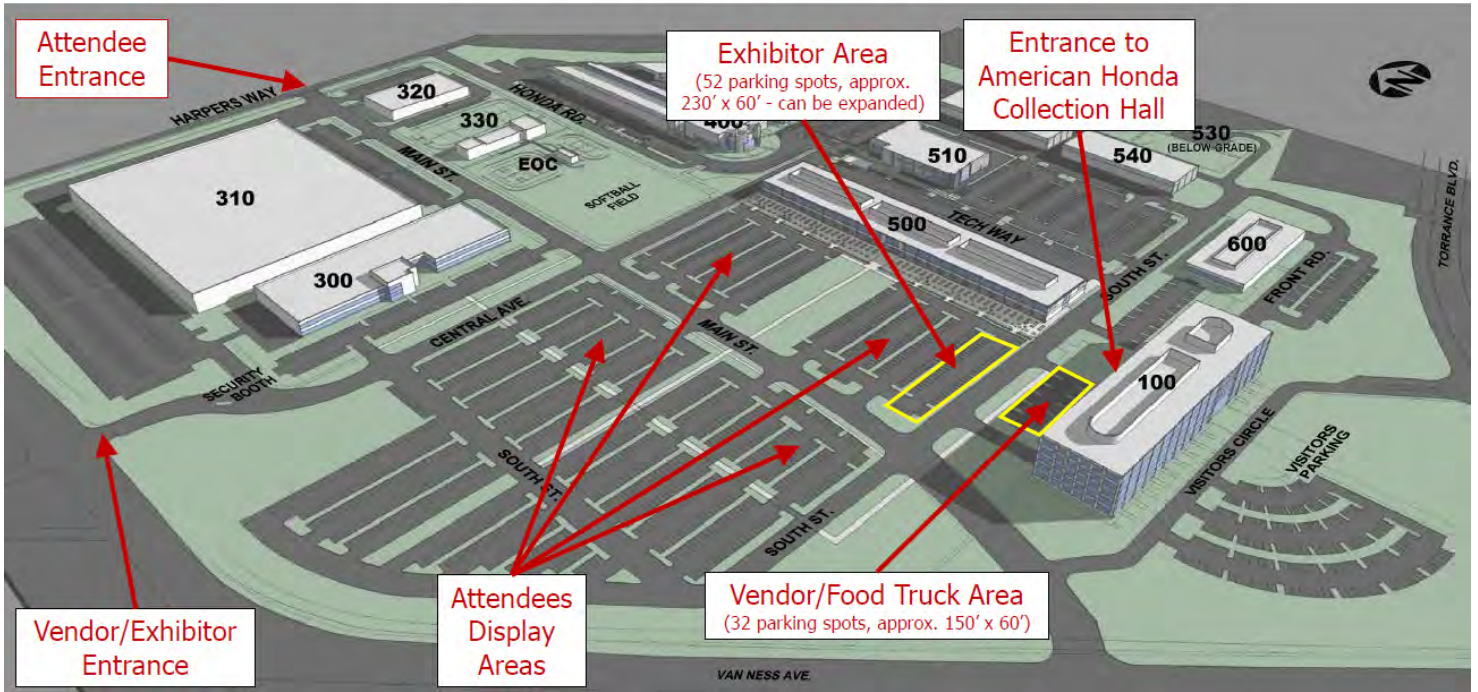


LA Ride for Kids / SRLA APRIL MAY

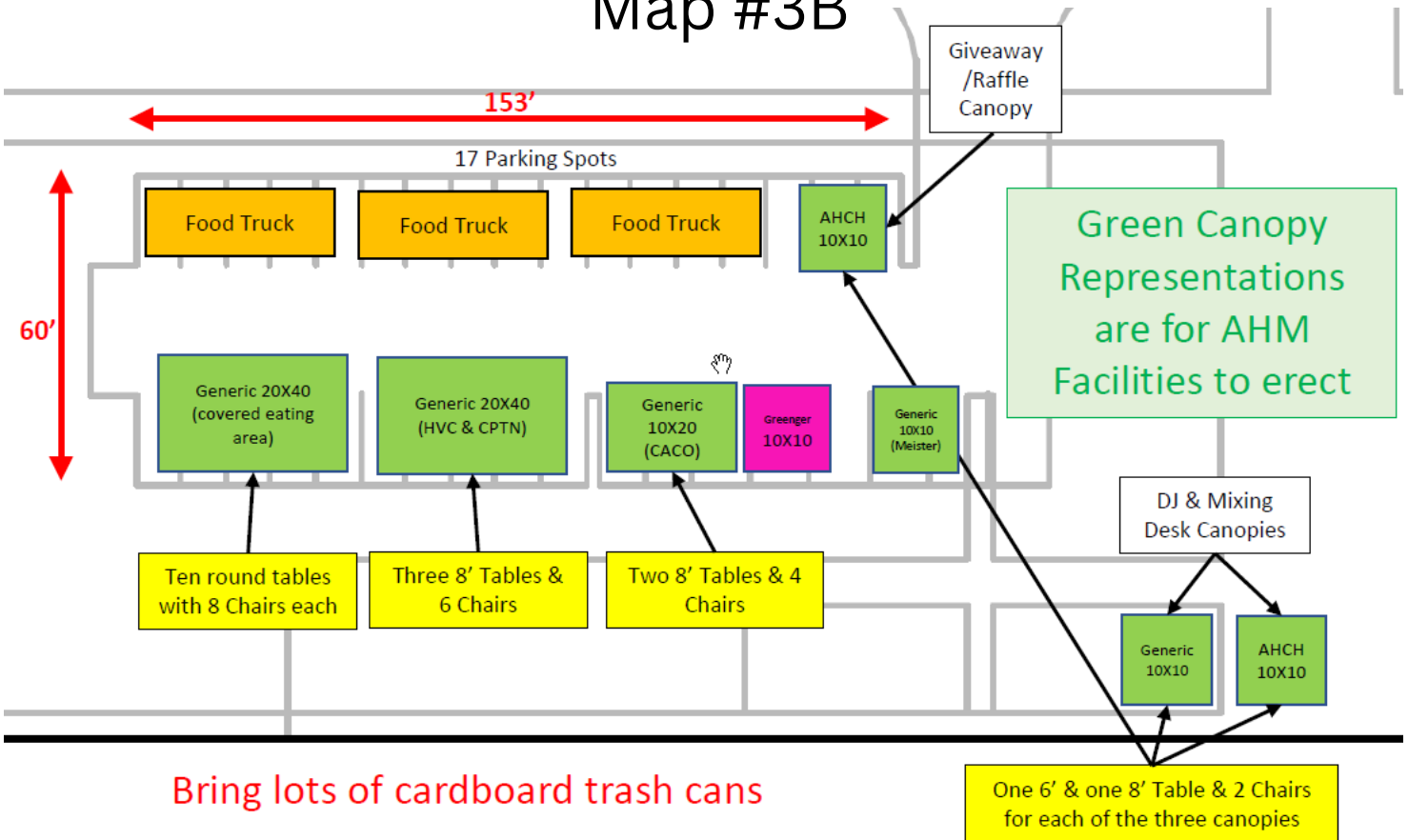


Map #3A

Cars, Bikes & Coffee Event Layout (American Honda Campus is 101 Acres)



Map #3B



Map #4

Employee Appreciation Luncheon



20' x 20' (2) Canopies
 20' x 40' (2) Canopies

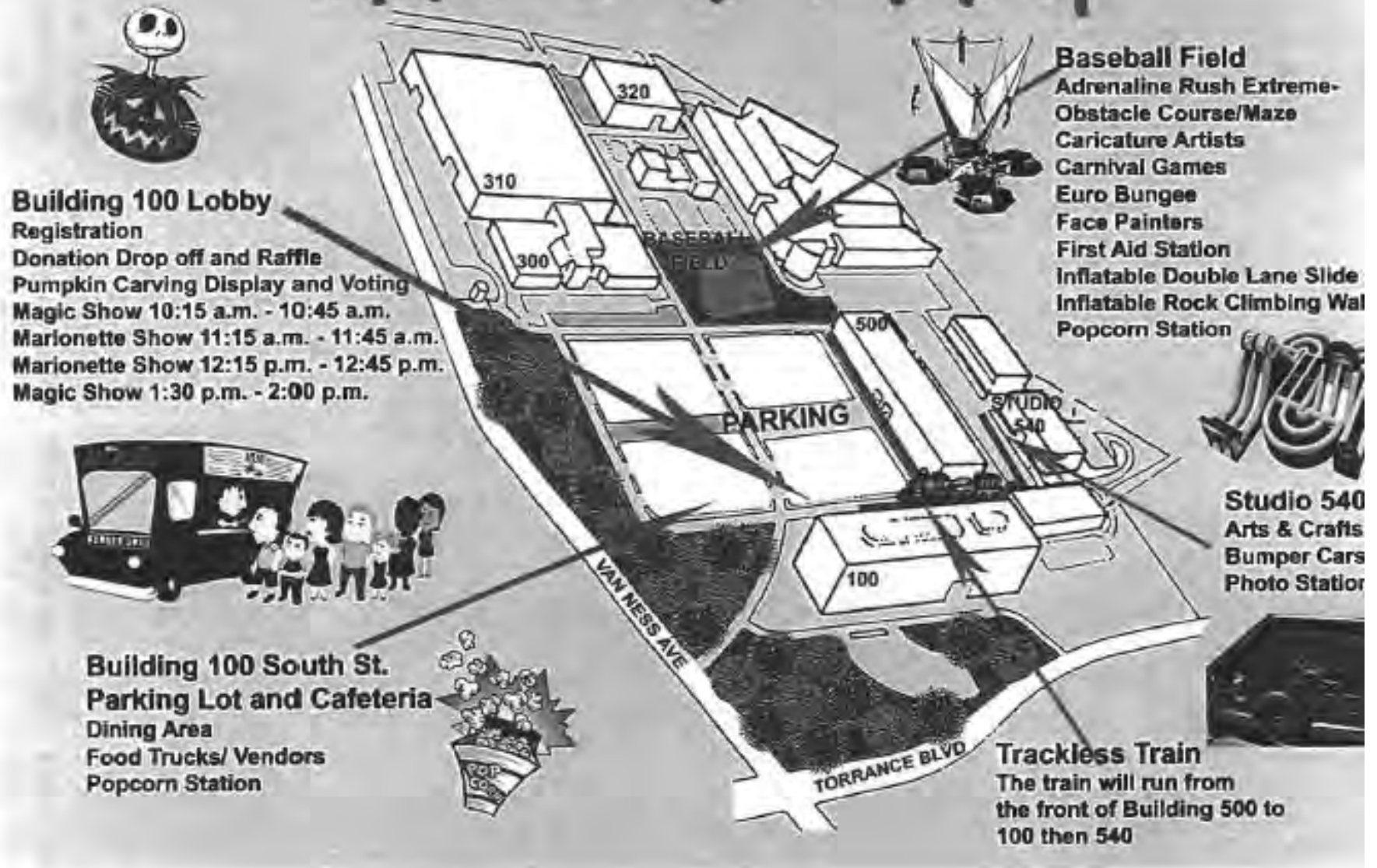
PU (2) Pop-up 10' x 10'

Provide hard barrier (vehicles) to cordon off food truck area



Children's Halloween Party

HOWL-O-WEEN



Map #5

- **What:** 2024 NH Circle World Convention Event Layout
- **Date:** Tuesday, 11/5/24 & Wednesday, 11/6/24
- **Time:** 7:00am – 6:00pm (Final timing TBD)
- **Who:** NHC Delegates & Executives from around the world will attend this convention. Approximately 500 people will be onsite for this global event.



1 Large Tent (Size TBD)
 Approx. 500 ppl.
 50 – 60 Table Rounds to seat 10/table
 500 Chairs
 Stage
 2 Projection Screens
 Video/Sound Equipment

1 - 3 Small Tents (TBD)
 Food Service

13 Porta-potties
 w/handwash sinks

Delegate Drop Off/Pick-up
 (Buses will line up here and then move after passengers disembark)

Honda Product Display
 (TBD)

Delegate Pick-up
 (We may have some buses line up here in the afternoon for delegate pick-up)

Attendee Entrance
 (Will use 7 – 10 54 passenger motorcoaches)

NH Circle Map #6A

NH Circle Map #6B



AGENDA ITEM NO. 8B

DATE: July 24, 2024

TO: Planning Commission

FROM: Dominique Allen, Planning Assistant
Leo Oorts, Planning Manager

SUBJECT: 2622 Dalemead Street (APN 7536-026-006)
Precise Plan of Development (PRE23-00011)

Consideration of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 23-078 for approval of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Ferdyanto Gondoputro, requests approval by the Planning Commission to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street.

The item was heard at the Planning Commission meeting of November 15, 2023. At that meeting, public comments were received from neighbors that expressed concerns regarding potential impacts to views. Commissioner Rudolph suggested the applicant speak with those neighbors to address their concerns. At the request of the applicant, a motion to continue the item indefinitely was approved by a vote of 7-0.

On April 15, 2024, the applicant submitted revised plans and a revised silhouette certification form. The revised project was scheduled to be heard again June 19, 2024, however, the item was continued due to an error with the notification mailers. Staff notes the item was re-noticed and re-advertised on July 11, 2024.

Staff has thoroughly reviewed the revised project and determined the project is consistent with the Low-Density Residential land use designation and complies with the objective development standards of the R-1 Zone as well as the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The project meets the criteria for granting a Precise Plan of Development and staff recommends approval of the project, as conditioned. The balance of this report provides an overview of the project.

DISCUSSION

The proposed first and second story additions to an existing one-story single-family residence are consistent with the Low-Density Residential land use designation. The project meets the minimum setback requirements from the property line, the building height is below the maximum height limit of 27 feet, and the Floor Area Ratio (FAR) and lot coverage do not exceed the maximum limitations. The proposed two-story residence is within the vicinity of multiple two-story residences. A staff report (Attachment 2) was previously prepared that recommended approval of this project, as it was heard before the Planning Commission on November 15, 2023. At the meeting, neighbors expressed concerns regarding potential impacts to view. The applicant requested a continuance to reach out to neighbors and to redesign project to address their concerns. The applicant submitted a revised project on April 15, 2024 that features a lower building height and a change in the floor plan. The proposed additions, FAR, lot coverage, and scope of work remain the same. Staff continues to recommend approval of the project, as revised. The details of the revisions are discussed further in this report.

Building Height

The applicant initially proposed a remodeled two-story single-family residence measuring 24 feet 10 inches in height from the highest ridgeline of 127.96 feet to the lowest adjacent grade of 103.18 feet, at the northwesterly corner of the front porch. The applicant revised this height proposal to alleviate concerns regarding potential impacts to view by decreasing the height approximately 1 foot 8 inches, to now measure 23 feet 2 inches. Per the revised project plans, the first floor plate height has also been reduced from 9 feet 6 inches to 9 feet. The second floor maintains a plate height of 8 feet. Staff notes the second floor provides a smaller footprint than the first floor by utilizing step backs along the front and west side elevations to enhance façade articulation and to minimize potential impacts to view, light, air, and privacy.

Building Floor Plan

The applicant is proposing first and second story additions to the residence. Per the revised plans, the previously proposed 90 square foot bedroom #5 on the first floor is now a den. The proposed change still allows the first floor to feature a contemporary floor plan with open spaces that increase natural light and promote accessibility between different living areas. The proposed 839 square foot second story addition features a traditional floor plan with interior walls that separate different rooms and create smaller spaces for comfort and privacy. The previously proposed bedroom #2 is now an office and the attached 95 square foot balcony has increased to 202 square feet with a 5 foot high screen wall, oriented towards the front of the property. The proposed first and second story additions total 1,600 square feet, resulting in 2,492 square feet of living area.

Lot Coverage, Open Space, and Floor Area Ratio

The existing residence is positioned at the center of the project site, thus allowing broad separation between adjacent residences and large open spaces in the front and rear yard areas. The total land area covered by the residence measures 2,057 square feet, resulting in 36% lot coverage, which is within the allowable 40% limit of the R-1 Zone for a two-story residence. Utilizing gross square feet, the remodeled residence measures 2,891 square feet in floor area, resulting in a 0.50 Floor Area Ratio (FAR), which is within the allowable 0.60 FAR limit of the R-1 Zone. The total usable open space in the front and rear yard areas measure 3,390 square feet (58%), which exceeds the 33% minimum open space requirement of the R-1 Zone.

The revised statistical information for the project based on staff calculations is provided below:

| 2622 Dalemead Street | | |
|---|--------------------------|-------------------------|
| | Original Proposal | Revised Proposal |
| Lot Area | 5,790 sf | 5,790 sf |
| Existing Residence | 892 sf | 892 sf |
| Proposed Remodeled Residence and Garage | 2,891 sf | 2, 891 sf |
| Proposed First Floor Area | 1,653 sf | 1,653 sf |
| Proposed Second Floor Area | 839 sf | 839 sf |
| Garage Floor Area | 399 sf | 399 sf |
| Proposed Floor Area Ratio | 50 % | 50 % |
| Maximum Floor Area Ratio Limit | 60 % | 60 % |
| Proposed Lot Coverage | 36 % | 36 % |
| Maximum Lot Coverage Limit | 40 % | 40 % |
| Existing Building Height | 13 ft | 13 ft |
| Proposed Building Height | 24 ft 10 in | 23 ft 2 in |
| Maximum Height Limit | 27 ft | 27 ft |
| Proposed Open Space Area | 3,390 sf (58%) | 3,390 sf (58%) |
| Minimum Open Space Requirement | 1,930 sf (33%) | 1,930 sf (33%) |

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 2). The applicant was also required to construct a silhouette of the proposed additions to the existing residence to demonstrate potential impacts. A licensed engineer has verified the revised height of the silhouette (Attachment 3) and staff made a field inspection.

The neighbors to the south and southwest at 2609, 2615 Brian Avenue submitted correspondence that expressed concerns regarding potential impacts to view and privacy (Attachment 2). The neighbors indicated the new second story addition will obstruct mountain and city lights view. The neighbor at 2609 Brian Avenue further stated the second story construction will compromise their privacy as it will overlook their property, thus allowing for an intrusion into their personal space. To alleviate this concern, the applicant shifted all the second story rear windows to the east of the residence and made the windows smaller in size. The applicant also lowered the building height to further address view and privacy concerns. After these revisions were made, staff notes that both neighbors have continue to express opposing concerns in regards to the proposed second story addition (Attachment 5).

In the judgement of staff, due to the elevated topography difference on Brian Avenue, in which building pads of the street are significantly higher than the building pads along Dalemead Street, privacy and a view of the city lights are still maintained from both properties. The project does not have the potential to create a significant adverse impact on view and privacy.

The applicant has submitted correspondence that demonstrates their efforts at neighbor outreach (Attachment 4). Staff has not received any other correspondence or objections as of the preparation of this report.

CONCLUSION

In judgement of staff, the proposed additions and remodel conforms to the planning and design provisions of the Hillside Overlay and is an appropriate request. The revised project would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. For example, the revised plans reduce the plate height of the existing first floor and provide high window sills along the second story, while also providing a smaller second story footprint that utilizes the step back approach along the front and west side of the residence. Additionally, the existing site conditions, such as the topography further reduces significant adverse impacts to surrounding properties along Brian Avenue, as the revised silhouette provides a visual of any potential adverse impacts. Although the project expands the building envelope, it does not create the potential for significant impairments to view, light, air, and privacy. The applicant has prepared plans that is within the allowable development standards for the zone and granting of the Precise Plan of Development will not substantially interfere with the orderly development of the City. The project is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request complies with the objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation.

Staff recommends approval of the project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 6). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 11, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 23-078
2. Planning Commission Staff Report and Supplemental (November 15, 2023)
3. Silhouette Certification (Revised)
4. Applicant Correspondence
5. Neighbors Correspondence
6. Code Requirements
7. Project Plans (Limited Distribution)

STAFF CONTACT

Dominique Allen, Planning Assistant
DAllen@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8B
ATTACHMENT 1
Resolution No. 23-078

PLANNING COMMISSION RESOLUTION NO. 23-078

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW FIRST AND SECOND STORY ADDITIONS TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 2622 DALEMEAD STREET.

PRE23-00011: FERDYANTO GONDOPUTRO

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on November 15, 2023, to consider an application for a Precise Plan of Development filed by Fredyanto Gondoputro to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street; and

WHEREAS, at the request of the applicant a continuance to a date uncertain was approved by the Planning Commission by a vote of 7 to 0; and

WHEREAS, at the Planning Commission meeting of June 19, 2024 staff recommended that Planning Commission postpone the item to the meeting of July, 24, 2024 to re-notice and re-advertise the item due to an error with notification mailers; and

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application for a Precise Plan of Development filed by Fredyanto Gondoputro to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay District in the R-1 Zone at 2622 Dalemead Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2622 Dalemead Street (APN 7536-026-006);
- b) That the property is described as Lot 79 of the Tract 18416, as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations of an existing single-family residence in a residential zone are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301;
- d) That the proposed first and second story additions to an existing single-family residence, as conditioned, complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;

- e) That the proposed additions, as conditioned, will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity because the project complies with the objective standards of the R-1 Zone, and has been designed to limit the potential substantial adverse impacts on surrounding properties;
- f) That the proposed additions, as conditioned, have been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity because the project's second floor plate height of 8 feet allows for a lower overall height, the second floor east and west facing bedroom windows are smaller with elevated sill heights, and the orientation of the balcony is towards the street to help protect privacy of adjacent properties. Additionally, the project complies with the applicable development standards of the Hillside Overlay and the R-1 Zone;
- g) That the design, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the proposed exterior design elements are in keeping with the architecture and finishes of other recently developed properties;
- h) That the design, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the alterations will enhance the existing property and the proposed additions reflect contemporary design trends, similar to other residences in the vicinity;
- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single-family residence is an appropriate use for this property and is in compliance with the R-1 Zone and the Hillside Overlay;
- j) That the proposed additions, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the remodeled residence conforms to the Low Density Residential Designation of the Land Use Element of the General Plan of the City of Torrance, and has been designed to limit the potential substantial adverse impacts on surrounding properties;
- k) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height because the applicant proposes to retain as much open space as possible;
- l) That denial of such an application would result in an unreasonable hardship to the applicant as the home meets or exceeds the development standards, and has been designed to minimize view, light, air and privacy impacts to neighboring properties, and there are other two-story residences in the area; and
- m) That granting the application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because the proposed additions comply with all setbacks, complies with lot coverage and floor area ratio requirements, and there are other two story structures in the surrounding area.

WHEREAS, the Planning Commission by the following roll call votes APPROVED PRE23-00011, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE23-00011, filed by Fredyanto Gondoputro, to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property for a two story single-family residence shall be subject to all conditions imposed in PRE23-00011 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the maximum height of the remodeled residence at the highest point of the roof shall not exceed 23.17 feet as represented by a survey elevation of 126.35 based on the proposed lowest adjacent grade of 103.18 located at the west corner of residence's front porch and a benchmark elevation of 100.46 located at L & TAG LS 4957 2' PROD, OF NW CORNER 2622 Dalemead, as shown on project plans and the official survey map on file with the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing or roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
5. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
6. That a copy of this signed Resolution, with all conditions of approval, shall be included as an attachment to the Building set of plans when submitting for plan check; (Planning)
7. That all calculations in the project statistics (lot area, residential square footage, FAR, lot coverage, etc.) and scope of work shall be corrected and consistent with the project plan when submitting for plan check to the satisfaction of the Community Development Director; (Planning)
8. That the balcony and side porch are not included in the FAR and lot coverage calculation when submitting for plan check; (Planning)
9. That the applicant shall obtain the necessary permits for the front and side yard retaining and block walls and gate; (Planning)

10. That the applicant shall identify the existing shed structures and corresponding square footages on the site plan when submitting for plan check; (Planning)
11. That the applicant shall plant one 24-inch box size Crape Myrtle “Muskogee” or “Natchez” in the City parkway to the satisfaction of the Public Works Director; (Public Works)
12. That the applicant shall replace grinded, lifted, and cracked sidewalk along the project frontage on Dalemead Street per City of Torrance standards; and (Engineering)
13. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B
ATTACHMENT 2

Planning Commission Staff Report and Supplemental
(November 15, 2023 & June 19, 2024)

AGENDA ITEM NO. 8A

CASE TYPE & NUMBER: Precise Plan of Development – PRE23-00011

NAME: Ferdyanto Gondoputro

PURPOSE OF APPLICATION: Request for approval of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay District in the R-1 Zone.

LOCATION: 2622 Dalemead Street

ZONING: R-1, Single-Family Residential District / Hillside Overlay District

ADJACENT ZONING AND LAND USE:

NORTH: R-1 Hillside Overlay District, One and Two-Story Single-Family Residences
EAST: R-1 Hillside Overlay District, One-Story Single-Family Residence
SOUTH: R-1 Hillside Overlay District, One-Story Single-Family Residence
WEST: R-1 Hillside Overlay District, One and Two-Story Single-Family Residences

GENERAL PLAN DESIGNATION: Low Density Residential

COMPLIANCE WITH GENERAL PLAN: The site has a General Plan Land Use Designation of Low Density Residential. Development in the Low-Density Residential land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The proposed first and second story additions to an existing two-story single-family residence is consistent with the land use designation.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: According to permit records, the subject property contains a 926-square foot one-story single-family residence, originally constructed in 1953. The building pad on the subject property sits slightly higher than the street and is relatively flat, which creates a level building pad. The building pads of the adjacent residences along Brian Avenue are situated above the subject property.

ENVIRONMENTAL FINDINGS: Minor alterations of existing structures involving negligible expansion of use are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301.

BACKGROUND AND ANALYSIS:

The applicant requests approval to allow first and second story additions to an existing one-story single-family residence. A Precise Plan of Development is required because the project site is located within the Hillside Overlay District and the project involves new construction above 14 feet in height.

The subject property is situated on a rectangular shaped lot measuring 5,790 square feet, which is indicated on the Los Angeles County Assessor’s map. The property is orientated towards the northeast and on the south side of Dalemead Street, just east of Crenshaw Boulevard. The residences that abut at the rear along Brian Avenue are situated above the subject property.

Building permit records (20128-B) indicate the subject property was originally developed in 1953 as a one-story single-family residence without a garage. In 2006, BLD06-02616 permitted a front and rear porch addition, along with new windows to the residence. In 2022, MHE22-00058 allowed a new

detached two-car garage in the rear quarter at the southwest corner of the property. Building permits for the detached garage have not been issued as the project is currently in plancheck (BLD22-02532). Staff notes that the front and side yard retaining wall, block wall, and fences appear to have been built without the benefit of a building permit. A condition of approval is included to attain the proper permits for the retaining wall, block wall, and fence.

The remodeled residence is positioned toward the front of the lot and provides a setback of 20 feet 6 inches, a minimum rear yard setback of 18 feet with a 21.65 foot average, a west side yard setback of 10 feet, and a varying east side yard setback ranging from 8 feet 4 inches to 5 feet 3 inches from the property line. All proposed setbacks meet or exceed the requirements of the R-1 Zone.

The applicant is proposing first and second story additions to the residence. The applicant proposes to add 761 square feet to expand the first floor living area, remodel the 27 square foot front porch, and add a 54 square foot rear yard porch. The 839 square foot second story addition consists of 3 bedrooms, 2 bathrooms, a 95 square foot balcony attached to bedroom number 2 oriented towards the front of the property, and a washer and dryer area. The proposed first and second story additions totals 1,600 square feet resulting in 2,492 square feet of living area.

Per the project plans, the first floor living area measures 1,653 square feet and features a contemporary floor plan with open spaces that increase natural light and promote accessibility between different living areas. The first floor contains a front porch, three bedrooms, living room, two bathrooms, dining area, washer/dryer room, two storage closets, a kitchen, great room with a fireplace, and a rear porch.

The second-floor area measures 839 square feet and features a traditional floor plan with interior walls that separate different rooms and create smaller spaces for comfort and privacy. The second floor contains three bedrooms, two bathrooms, and access to a front balcony. The balcony measures 95 square feet. A condition of approval is included to construct a solid railing and increase the height to further protect privacy.

Staff notes the plans indicate a total of six bedrooms. Per code requirements, all bedrooms must be a minimum of 100 square feet. Bedroom #5 on the floor plan does not meet the code requirement, as it is 90 square feet, which is below the minimum allowed for bedroom sizes in a single-family residence. Staff has added a condition of approval, should the project be approved, that the applicant continue to work with staff to provide a minimum of 100 square feet in bedroom #5 on the plans at the time of plan check. Staff notes one option to achieve this is by reducing the size of the existing closet.

As previously mentioned, there is a detached garage in the west rear quarter of the property as shown on the site plan, staff notes the garage is not a part of this Precise Plan of Development request. The garage was reviewed under the Minor Hillside Exemption process (MHE22-00058) and is currently being reviewed under a separate Building Permit (BLD22-02532).

As previously noted in the report, the existing residence is positioned at the center of the project site, thus allowing broad separation between adjacent residences and large open spaces in the front and rear yard areas. The total land area covered by the residence measures 2,052 square feet resulting in 35% lot coverage and will be within the allowable 40% limit of the R-1 Zone for a two story residence. Utilizing gross square feet, the remodeled residence measures 2,891 square feet in floor area resulting in a 0.50 Floor Area Ratio (FAR) and will be within the allowable 0.60 FAR limit of the R-1 Zone. Staff notes the project statistics such as lot coverage are not correct as the portion of the second floor living area that cantilevers over the first floor at the rear was not counted toward lot coverage. Staff has added a condition of approval that should the project be approved, the applicant

will be required to provide corrected project statistics. Additionally, staff notes the site plan does not indicate the three existing sheds located in the east side yard of the property. Staff has included a condition of approval, that should the project be approved, the applicant shall include the sheds on the site plan and in the lot coverage and FAR calculations or remove them at the time of plan check. The total usable open space in the front and rear yard areas measure 3,390 square feet (58%), which exceeds the 33% minimum open space requirement of the R-1 Zone.

The remodeled two-story single-family residence will measure 24 feet 10 inches in height from the highest ridgeline of 127.96 feet down to the lowest adjacent grade of 103.18 feet at the north westerly corner of the front porch, and will be within the allowable 27 feet height limit for a two-story residence in the R-1 Zone. For reference, the existing residence measures 13 feet in height. Per the project plans, the resulting residence will feature plate heights of 9 feet 6 inches on the first floor and 8 feet on the second floor of the residence. Staff notes the second floor provides a smaller footprint than the first floor by utilizing step backs along the front and west side elevations to create façade articulation to minimize view, light, air, and privacy concerns.

The project summary based on staff calculations is provided below:

| Project Summary | |
|---|-----------|
| ◆ Lot Area (Per LA County Assessor Map) | 5,790 sf. |
| ◆ Existing Residence | 892 sf. |
| ◆ Remodeled Residence and Garage | 2,891 sf. |
| ◆ First Floor | 1,653 sf. |
| ◆ Second Floor | 839 sf. |
| ◆ Living Area | 2,492 sf. |
| ◆ Garage | 399 sf. |
| ◆ Floor Area Ratio | 50% |
| ◆ Maximum Allowed | 60% |
| ◆ Lot Coverage | 35% |
| ◆ Maximum Allowed | 40% |
| ◆ Existing Building Height | 13 ft. |
| ◆ Proposed Building Height | 24.78 ft. |
| ◆ Maximum Height Limit | 27 ft. |

The Hillside Ordinance requires that the Planning Commission make a series of findings relating to the design of the project and its potential impact on the view, light, air and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Ordinance Criteria Response (Attachment #3). The applicant was required to construct a silhouette to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment #4) and staff made a field inspection.

The neighbor to the south at 2609 Brian Avenue submitted correspondence that expressed concerns regarding view and privacy impacts (Attachment # 5). The neighbor indicated there are view impacts from the rear bedroom of the residence that will obstruct mountain and city lights view, while also invading their privacy. The neighbor also states the construction of the project will compromise their privacy. Additionally, the neighbor states the new structure will overlook their property, allowing for an intrusion into their personal space. Based on a field observation of the project when standing from this neighbor's rear bedroom and deck, staff observed the roof of the remodeled residence and

existing vegetation obstructing most of the silhouette. In judgement of staff, due to the elevated topography difference on Brian Avenue, in which the building pads of the street are significantly higher than the building pads on Dalemead Street, the project will not adversely impact view, light, air, or privacy of 2609 Brian Avenue.

The neighbor southwest at 2615 Brian Avenue submitted correspondence that expressed concerns regarding view and privacy impacts from the proposed second story of the residence (Attachment #5). Staff made observations from outside the neighbor's rear bedroom door of the primary residence and the rear yard Accessory Dwelling Unit (ADU). In judgement of staff, a view of the city and hills are still maintained from outside of the neighbor's bedroom looking in the northwest direction and, as such, the project does not have a significant adverse impact on view. Lastly, existing vegetation obstructs the view of most of the silhouette from inside the ADU. Staff notes that ADUs are not subject to the Hillside Overlay process. As the ADU is not burdened by the Hillside Overlay it is not protected by the Hillside Overlay.

Staff conducted a site visit and left business cards with the neighboring properties along Dalemead Street and Brian Avenue. The neighbor at 2616 Dalemead Street expressed concerns that the new second story addition will impact the property's privacy. The neighbor shared if there are windows on the east side of the second story, she would like them to be decreased in size and quantity or relocated because the applicant will be able to look into her yard. Staff assessed the neighbors concern from the driveway not the rear yard, as the neighbor did not allow staff to access the rear yard. Staff notes the proposed second story east facing windows are 2-foot tall by 4-foot long, with what appears to be a 4 foot 6 inch sill height, which are designed to cause the least amount of intrusion of privacy onto the neighbor's property and to also protect the privacy of the applicant's residence. In an effort to reduce potential privacy impacts from the front facing 2nd floor balcony along the east side, staff recommends a 5 foot solid railing/parapet be provided along the east side.

Based on field observations of the project from the neighbor's driveway at 2616 Dalemead Street, in the judgment of staff, privacy is not significantly adversely impacted due the project's planned setbacks, the existing setback of 2616 Dalemead Street, high window sills of the second-floor bedrooms, and the railing on the balcony's east side, as conditioned.

The applicant has submitted correspondence that demonstrates their efforts at neighbor outreach (Attachment #5). Staff has not received any other correspondence or objections as of the preparation of this report.

In judgement of staff, the silhouette placement, and existing site conditions, the remodeled residence does not appear to produce significant adverse impacts to surrounding view, light, air, or privacy of neighboring properties within the Hillside Overlay District. While the project expands the building envelope, it does not create the potential for significant impairments to view, light, air, and privacy.

The architecture demonstrates a modern design through modulation of building masses, elevations, and rooflines that promote visual interest. Exterior finishes are consistent with new residential construction in the vicinity, such as a stucco finish and a composite roof. Additional features and design enhancements include a second floor balcony facing the front yard, which promote quality experience and increased value.

The proposed residence is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential land use designation. The applicant has prepared a plan that is within the allowable development standards of the zone. In the judgment of staff, based on field observations of the proposed residence, the silhouette placement and existing

site conditions, the proposed residence does not appear to cause adverse view, light, air, or privacy impacts of neighboring properties. For these reasons, staff recommends approval of the project as conditioned.

The applicant is advised that Code requirements have been included as an attachment to the staff report and are not subject to modification.

PROJECT RECOMMENDATION: APPROVAL

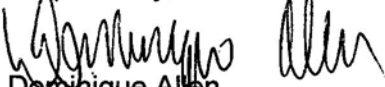
FINDINGS OF FACT IN SUPPORT OF APPROVAL OF THE PROJECT:

Findings of fact in support of approval are set forth in the attached Resolution.

RECOMMENDED CONDITIONS, IF PROJECT IS APPROVED:

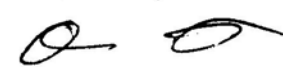
Recommended conditions are set forth in the attached Resolution.

Prepared by,



Dominique Allen
Planning Assistant

Respectfully submitted,



Oscar Martinez
Planning Manager

Attachments:

1. Resolution
2. Location and Zoning Map
3. Hillside Ordinance Criteria Responses
4. Silhouette Certification
5. Correspondence
6. Code Requirements
7. Project Plans (Limited Distribution)

PLANNING COMMISSION RESOLUTION NO. 23-078

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW FIRST AND SECOND STORY ADDITIONS TO AN EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY DISTRICT IN THE R-1 ZONE AT 2622 DALEMEAD STREET.

PRE23-00011: FERDYANTO GONDOPUTRO

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on November 15, 2023, to consider an application for a Precise Plan of Development filed by Fredyanto Gondoputro to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay District in the R-1 Zone at 2622 Dalemead Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2622 Dalemead Street;
- b) That the property is described as Lot 79 of the Tract 18416, as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations of an existing single-family residence in a residential zone are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301;
- d) That the proposed first and second story additions to an existing single-family residence, as conditioned, complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed first and second story additions to an existing single-family residence, as conditioned, will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity because the proposed one and two story additions and remodel of the one -story single-family residence complies with the objective standards of the R-1 Zone, thus limiting potential substantial adverse impacts on surrounding properties;
- f) That the proposed first and second story additions to an existing single-family residence, as conditioned, has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity because the project's second floor plate height of 8 feet allows for a lower overall height, the second floor east and west facing bedroom windows are smaller with elevated sill heights, and the orientation of the balcony is towards the street to help protect privacy of adjacent properties. Additionally, the project complies with the applicable development standards of the Hillside Overlay District and the R-1 Zone;

- g) That the design, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the proposed exterior design elements are in keeping with the architecture and finishes of other recently developed properties;
- h) That the design, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the alterations will enhance the existing property and the proposed first and second story additions to an existing single-family residence reflects contemporary design trends, similar to other residences in the vicinity;
- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single-family residence is an appropriate use for this property and is in compliance with the R-1 Zone and the Hillside Overlay District;
- j) That the proposed first and second story additions to an existing single-family residence, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the remodeled residence conforms to the Low Density Residential Designation of the Land Use Element of the General Plan of the City of Torrance;
- k) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height because the applicant proposes to retain as much open space as possible; and
- l) That denial of such an application would result in an unreasonable hardship to the applicant as the home meets or exceeds the development standards, and has been designed to minimize view, light, air and privacy impacts to neighboring properties, and there are other two-story residences in the area; and
- m) That granting the application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because the proposed first and first story additions to an existing single-family residence complies with all setbacks, complies with lot coverage and floor area ratio requirements, and there are other two story structures in the surrounding area; and

WHEREAS, the Planning Commission by the following roll call votes APPROVED PRE23-000011, subject to conditions:

| | |
|----------|----------------|
| AYES: | COMMISSIONERS: |
| NOES: | COMMISSIONERS: |
| ABSENT: | COMMISSIONERS: |
| ABSTAIN: | COMMISSIONERS: |

NOW, THEREFORE, BE IT RESOLVED that PRE23-000011, filed by Fredyanto Gondoputro to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay District in the R-1 Zone at 2622 Dalemead Street, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property for a single-family residence shall be subject to all conditions imposed in PRE23-00011 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the

Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the maximum height of the remodeled residence at the highest point of the roof shall not exceed 24.78 feet as represented by a survey elevation of 127.96 based on the proposed lowest adjacent grade of 103.18 located at the west corner of residence's front porch and a benchmark elevation of 100.46 located at L & TAG LS 4957 2' PROD, OF NW CORNER, as shown on project plans and the official survey map on file with the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing or roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
5. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
6. That a copy of this signed Resolution, with all conditions of approval, shall be included as an attachment to the Building set of plans when submitting for plan check; (Planning)
7. That all calculations in the project statistics (lot area, residential square footage, FAR, lot coverage, etc.) shall be corrected and are consistent with the project plan when submitting for plan check; (Planning)
8. That the applicant shall count the portion of the second floor living area that cantilevers over the first floor at the rear towards the project's lot coverage; (Planning)
9. That the applicant shall provide a 5-foot solid railing for the second floor balcony; (Planning)
10. That the applicant shall obtain the necessary permits for the front and side yard retaining and block walls and gate; (Planning)
11. That the applicant identify the shed structures and the square footages on the site plan when submitting for plan check; (Planning)
12. That the applicant plant one 24-inch box size Crape Myrtle "Muskogee" or "Natchez" in the City parkway. Call Streetscape Division for tree placement information; (Public Works)
13. That the applicant shall replace grinded, lifted, and cracked sidewalk along the project frontage on Dalemead Street per City of Torrance standards; (Engineering)

14. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 15th day of November 2023.

Chairperson, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, OSCAR MARTINEZ, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 15th day of November 2023, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission



LOCATION AND ZONING MAP

PRE23-00011
2622 Dalemead St.

TO RANCE
COMMUNITY DEVELOPMENT
G S

LEGEND

- Notification Area
- 2622 Dalemead St

0 65 130 260 Feet



Hillside Overlay Substantiation Form

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

1. PLANNING AND DESIGN (SECTION 91.41.6)

- a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:

This project exceeds the required setbacks, and is below the max height limit

- b) The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:

Having exceeded the required setbacks, and is below the max height limit, The second story addition is situated furthest away from the neighboring homes

- c) The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:

The architectural design modern and simple with a roof line that is in harmony with the neighboring homes

- d) **The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:**

This improvement to our home will increase the value of the other

- e) **Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:**

We have permits for a new 2 car garage that will be built at the same time. This will help with off street parking which is a benefit to the public welfare of the neighborhood

- f) **The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:**

This project will increase land values and help with providing more off-street parking

2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)

This section must be completed if any part of the existing building would increase in height.

- a) **It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:**

Because of setbacks, turning radius and driveway, the ground level buildable area limit the space needed to expand without adding a second story

- b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

Denial would limit the home to our family's growing needs

- c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

The project is similar to other 2. story additions in the neighborhood, all of which have not been detrimental to the public welfare of other properties

3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

- a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

- b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):



Height and Location Certification

The survey must be performed by a licensed land surveyor or civil engineer and should be accompanied by a map which shows the location of the bench mark and the locations where the measurements were taken. The map should also show the location of existing and proposed structures.

SILHOUETTE CERTIFICATION

I have surveyed the silhouette located at 2622 DALEMEAD ST.
(address)

on 9/23/23, based on plans submitted to the City of Torrance
(date)

by RESCOM DESIGNS on —. The survey was taken
(applicant/architect) (date)

from a bench mark located at L&TAG LS 4957 2' PROD. OF NW CORNER
(address) 2622 DALEMEAD ST.

(attached map) which established a base elevation of 100.46'.

The ridge line/highest point of the roof was determined to have an elevation of 127.63.

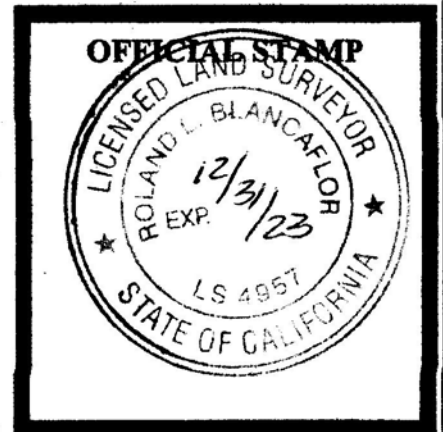
The plans indicate that the elevation should be 127.63.

I certify that I have measured the location of pertinent features located on the subject property. Based on the plans submitted to the Community Development Department, I have verified that the silhouette/construction accurately represents the proposed structure in terms of height, building envelope, location on the site, and all setbacks.

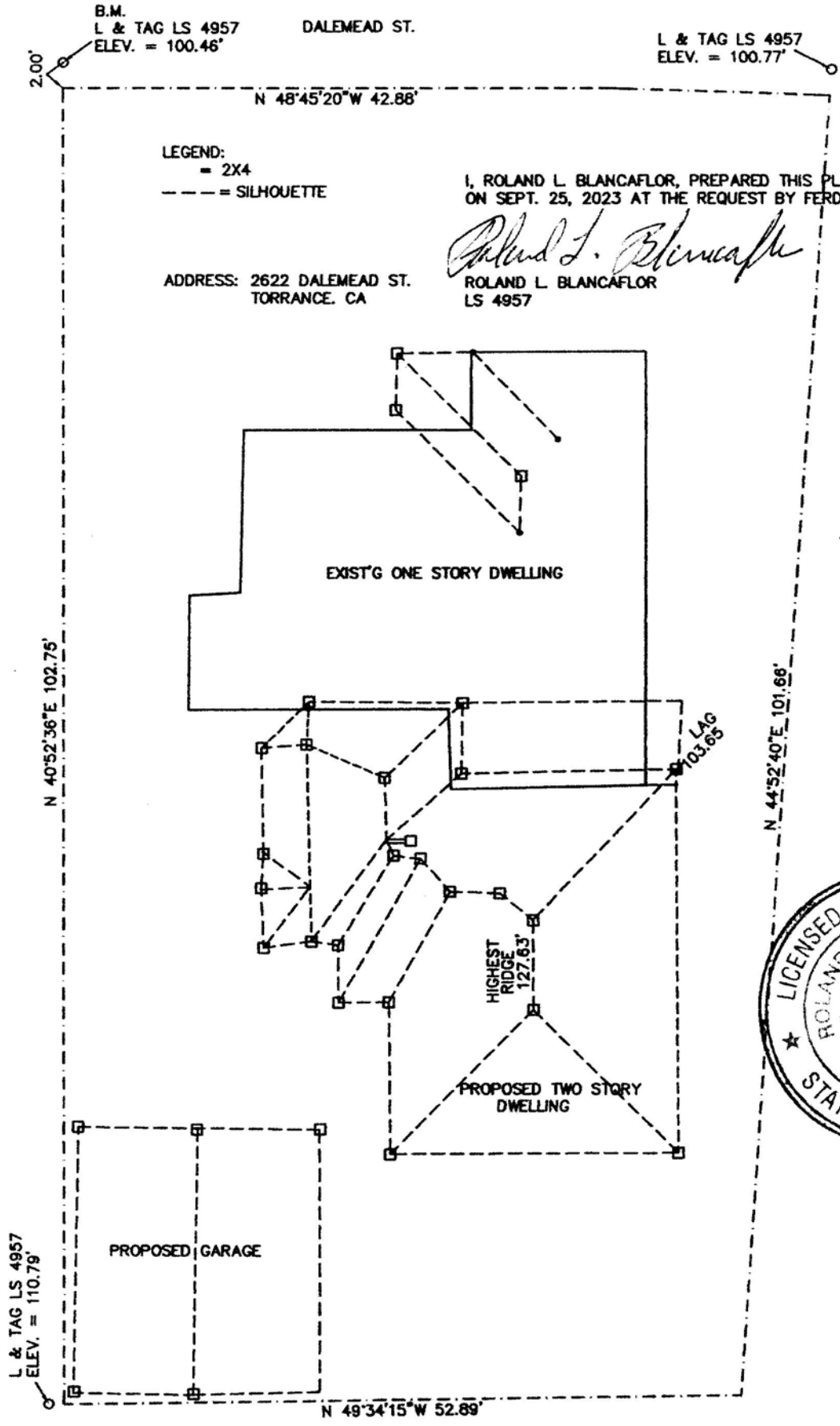
ROLAND L. BLANCAFLOR 4957
Name (please print) LS/REC#

Roland L. Blancaflor 310-422-2857
SIGNATURE PHONE

10/03/23
DATE



Notes: _____



NOT TO SCALE
 REVISED 10/03/23
R.L.B.



Allen, Dominique

From: CDD Info
Sent: Thursday, September 14, 2023 7:47 AM
To: Martinez, Oscar
Subject: FW: Case# PRE23-00011

From: Jules Swerissen <[REDACTED]>
Sent: Wednesday, September 13, 2023 6:23 PM
To: CDD Info <cddinfo@TorranceCA.gov>
Subject: Case# PRE23-00011

You don't often get email from [REDACTED] [Learn why this is important](#)
09/13/2023

RE: Case# PRE23-00011

To whom it may concern,

We are writing to bring to your attention a matter of concern regarding a construction project expected to take place behind our house. The construction being carried out by my neighbor at 2622 Dalemead Street, Torrance, CA will significantly obstruct our view and invade our privacy, and I kindly request your assistance in addressing this issue.

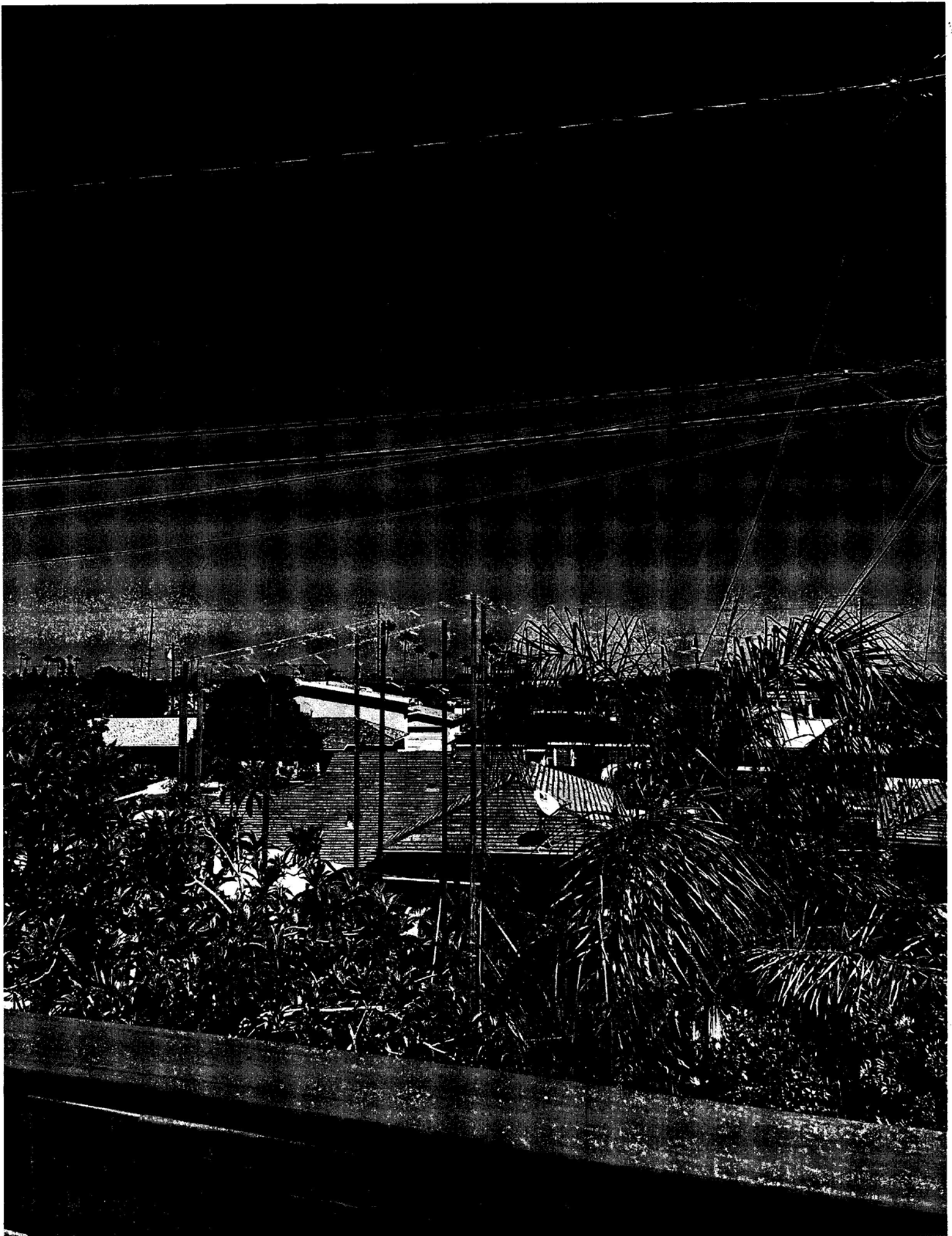
This view has been an integral part of our property and has provided us with a sense of openness and beauty. It was a selling point when we purchased the property. The loss of this view will greatly diminish the enjoyment of our own property and will have a negative impact on the quality of our life.

Furthermore, the construction project will also compromise our privacy. The new structure will overlook our property, allowing for an intrusion into our personal space. This invasion of privacy is deeply concerning and will leave us feeling exposed and uncomfortable in our own home.

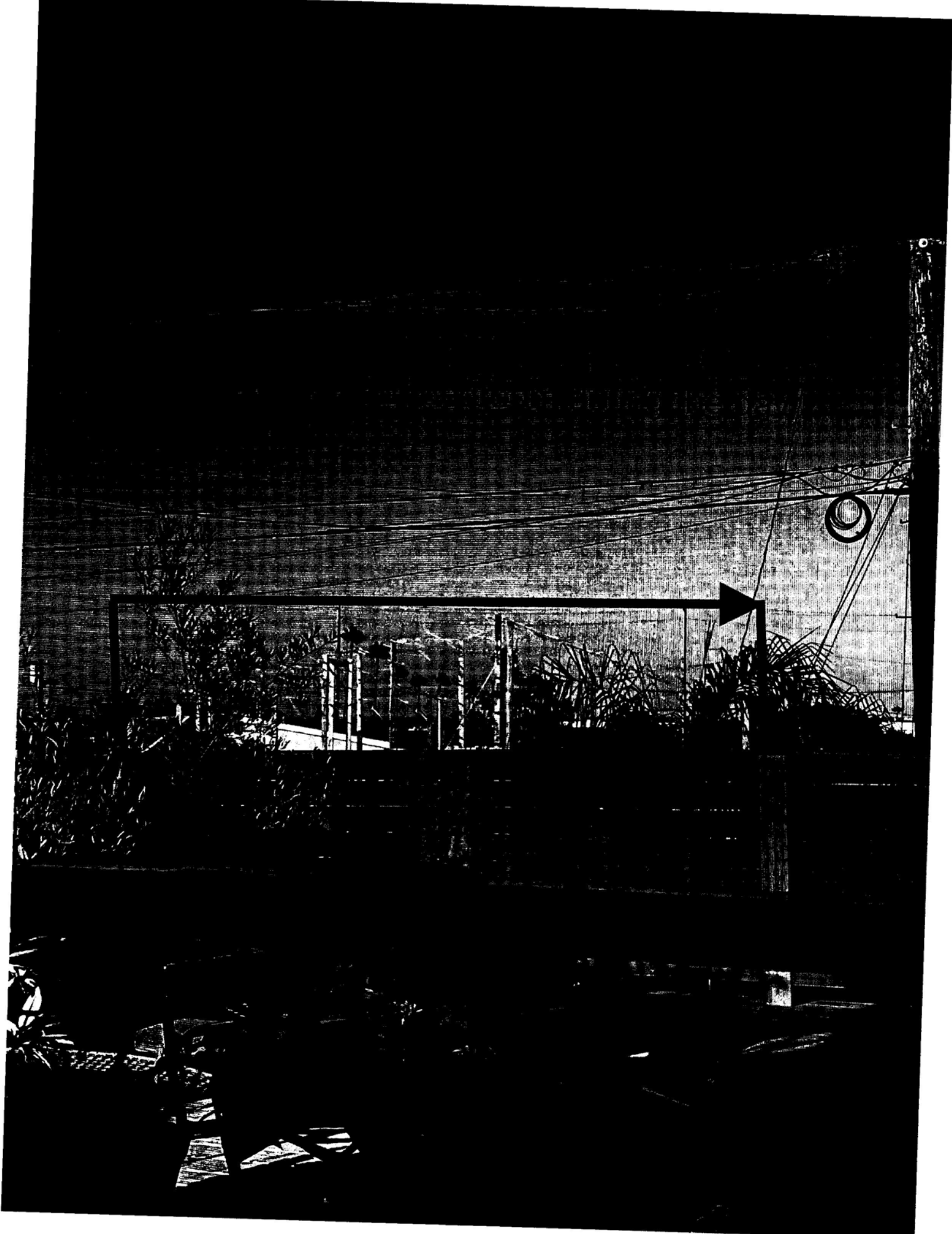
We kindly request that the city assess this construction project to ensure this complies and is not in violation of the Hillside Overlay ordinance. Attached are photos for your review.

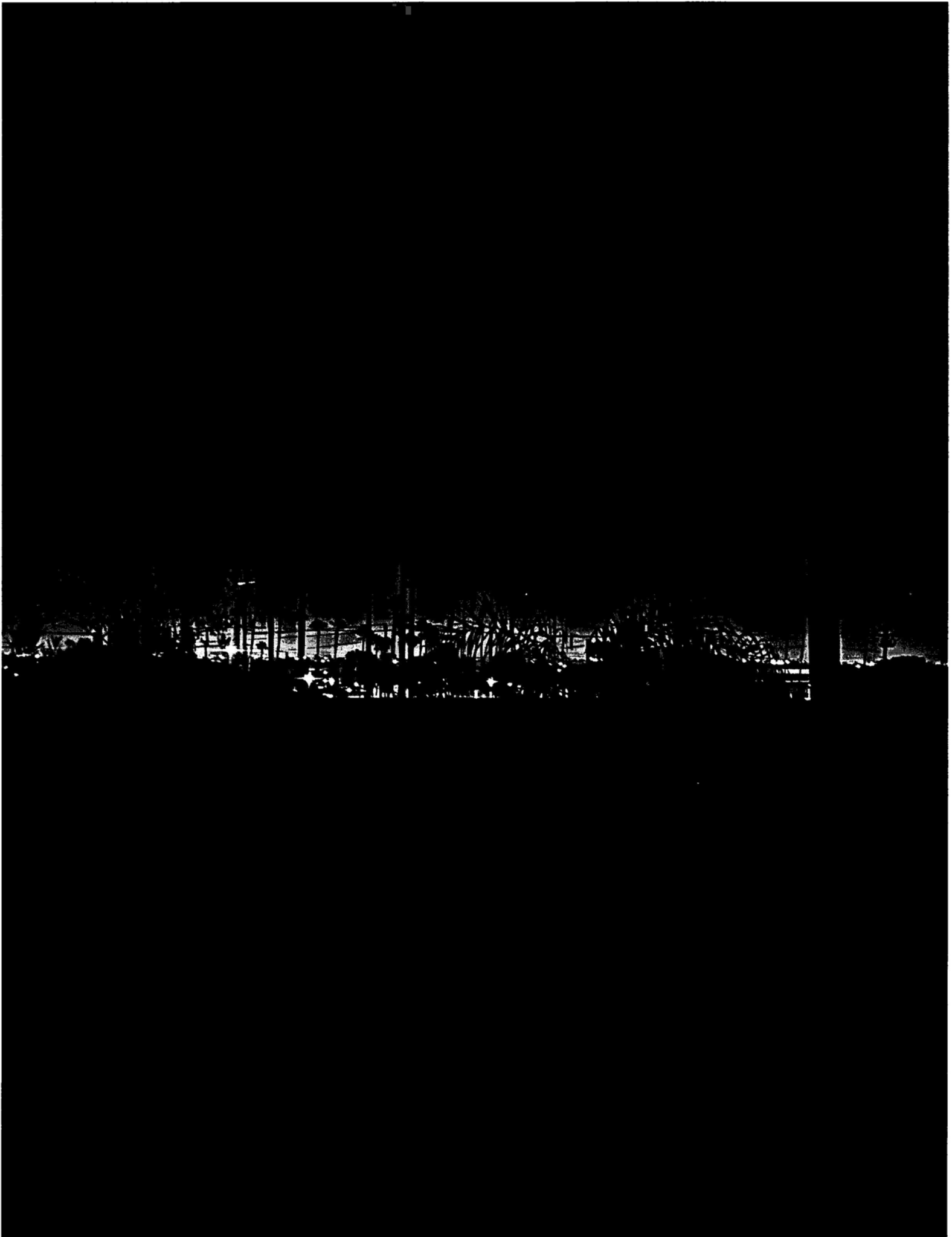
We appreciate your attention to this matter.

Kind
regards,











Allen, Dominique

From: CDD Info
Sent: Wednesday, September 13, 2023 4:06 PM
To: Martinez, Oscar
Subject: FW: PRE23-00011 Citizen Concern
Attachments: 20230913_121141.jpg; 20230913_121232.jpg; 20230913_121326.jpg

From: E I <[REDACTED]>
Sent: Wednesday, September 13, 2023 4:05 PM
To: CDD Info <cddinfo@TorranceCA.gov>; Calvin Liu <[REDACTED]>
Subject: PRE23-00011 Citizen Concern

You don't often get email from [REDACTED] [Learn why this is important](#)
To Torrance City Planning,

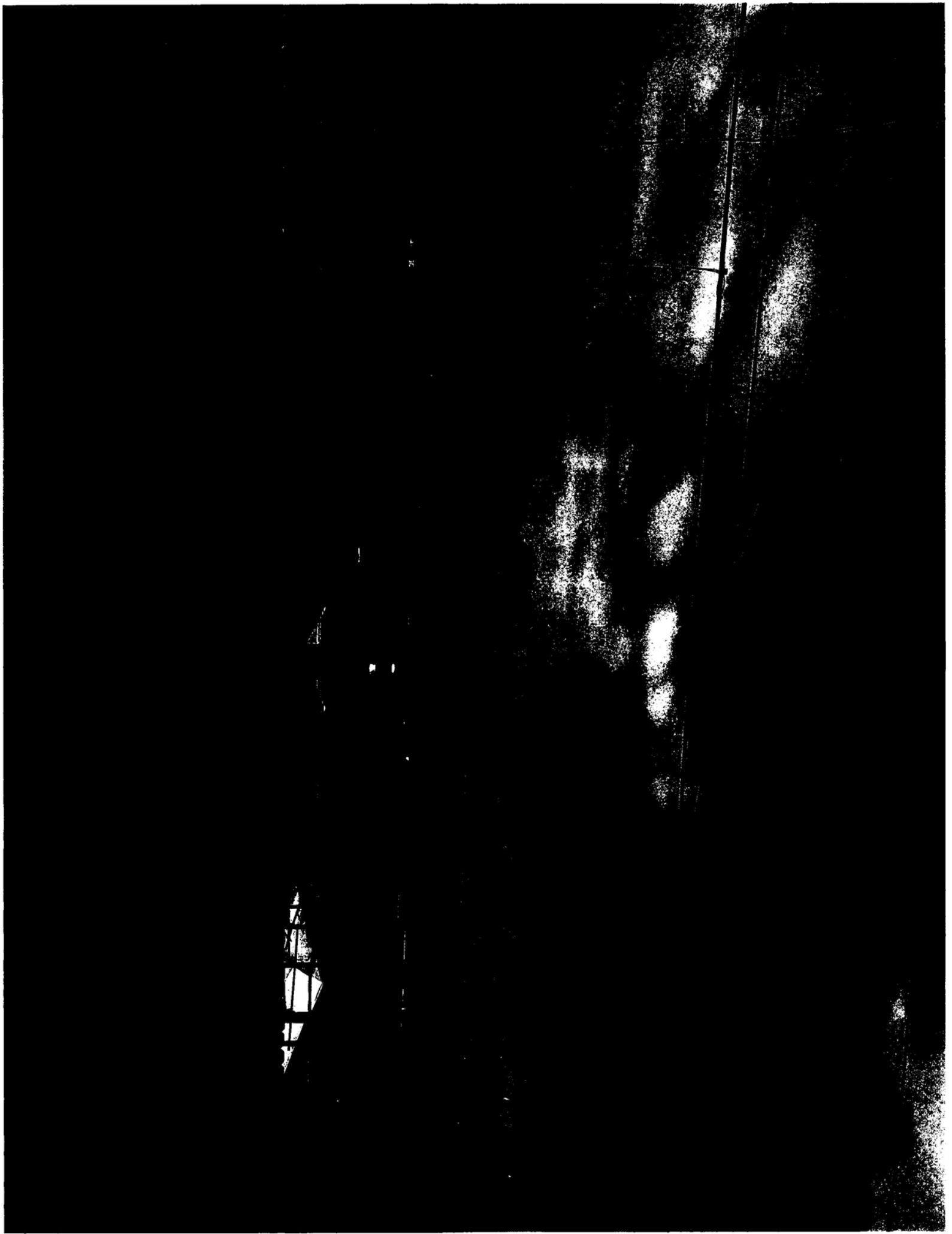
We live on a hill side in Torrance (90505). Our neighbor at 2622 Dalemead Street has put up a silhouette of their planned 2nd story addition and detached garage.

We are above the hill at 2615 Brian Avenue.

We are against the current plan as it will directly obstruct our view of the city and hills and have a significantly adverse effect on our privacy as the 2nd story will be directly look into our bedroom and backyard. It also appears that the plan extends to the edge of the property line, lending again to impeding our privacy.

We're happy to work with the neighbors if the plan is modified to address these concerns.

Eiko Ikari
[REDACTED]







Allen, Dominique

From: Ferdy Gondo <[REDACTED]>
Sent: Tuesday, October 31, 2023 9:51 AM
To: Allen, Dominique
Subject: Re: Neighbor concern

Yes sure

I knocked on the door and call on the phone multiple time before but she never open or answer

Do you know her name?

So I can write it on the paper

Thank you

Sincerely,

Ferdy G

On Tuesday, October 31, 2023 at 09:34:35 AM PDT, Allen, Dominique <dallen@torranceca.gov> wrote:

Good morning,

Your neighbor at 2616 has a privacy concern. She states that the windows will overlook her property and could be made bigger in the future. I showed her your proposed window size. She would like you to reach out to her via letter on her door.

Thank you,

Dominique Allen

Planning Assistant – Community Development Department

City of Torrance | 3031 Torrance Boulevard | Torrance CA 90503 | 310.618.5865 | 310.618.5829 fax | DAllen@TorranceCA.Gov
| www.TorranceCA.Gov | www.TorranceCA.Gov/SocialMedia | www.TorranceCA.Gov/COVID19 | **Give Us Your Feedback**

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BE NEAR AN APP?

Download the City of Torrance app at your smartphone. Support is required, except a payment screen. It is an iOS and Android.

GO TO TORRANCE?

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WORKING TOGETHER

Work through Torrance's plan to provide and control opportunities. Discover what you can help.

TORRANCEA GOV

Find a list of information on our website, including information. Search for information on the City of Torrance.

TORRANCE/LEAD

Register for Torrance, when there is an emergency, get the information on the City of Torrance, including local news.

WORKING IN TORRANCE

For an overview of some of the most pressing issues within the City of Torrance. See what's happening.

WORKING TOGETHER

Work through Torrance's plan to provide and control opportunities. Discover what you can help.

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- LinkedIn: [torranceca](#)
- YouTube: [torranceca](#)

SEE WHAT'S GOING ON

Check out the latest news and events from the City of Torrance.

Feb 21 1905
Ch 905

I have the pleasure to inform you
that the addition to your
business is now complete
and ready for occupancy
at the same time the
old building is being
demolished.

The new building is
located on the corner
of 1st and 2nd streets
and is a two story
building with a
total floor area of
approximately 10,000
square feet.

The new building is
equipped with all
modern conveniences
and is a very
comfortable and
convenient place
in which to do
business. It is
located in a
prime location
and is very
accessible to
the public.

Yours
Sincerely
A. M.

Ferdy Gondo

2622 Dalemead St
Torrance, CA 90505

Nov 8th, 2023

Dear Mrs. Costa,

I am your neighbor Ferdy Gondo and I got your concern letter about our addition.

We already discussed your concern with the planning department and our architect.

We will put small and high windows on your side that are close to the ceiling. The purpose of the window is not for viewing but just to get ventilation for air circulation.

And for our addition that you felt too close to your property can be caused by the fences being actually around 2 feet inside our property. However, we already check with the city that our plan follows the side setback rules that are allowed by the city.

Please feel free contact me by email or text of when I can meet you at your house to explain it better

Thank you so much

Sincerely,

Ferdy Gondo

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

Building & Safety:

1. Comply with CBC, CMC, CEC, CPC, CFC, Title 24 California Emergency Code, and California Green Building Code.

Environmental:

2. Provide 4" minimum contrasting address numerals for residential, condo, etc. uses.
3. Bedroom sizes to be as determined per Torrance code (92.20.2).
4. The property shall be landscaped prior to final inspection per Torrance code (92.21.9).

Engineering:

5. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Dalemead St. (City Code Sec. 74.6.2).
6. Install a street tree in the City parkway every 50' for the width of this lot on Dalemead St. (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.

SUPPLEMENTAL #1 TO AGENDA ITEM 8A

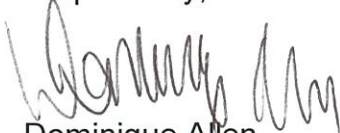
TO: Members of the Planning Commission
FROM: Planning Division
SUBJECT: PRE23-00011
LOCATION: 2622 Dalemead Street

This is a request for approval of Precise Plan of Development to allow first and second story additions to a one-story single-family residence, on property located within the Hillside Overlay District in the R-1 Zone.

The attached correspondence was submitted after the item was completed. Staff notes the correspondence is a letter of communication between the applicant and east neighbor.

Staff continues to recommend approval of the request.

Prepared by,


Dominique Allen
Planning Assistant

Respectfully submitted,


Oscar Martinez
Planning Manager

Attachments:

1. Correspondence

[REDACTED]
Torrance, CA 90505

Nov. 12, 2023

Dear Mr. Ferdy Honda,

In your letter dated Nov. 8, 2023 with regard to our concern about the windows of your proposed addition facing our property, I read and understood that you will "put small and high windows that are close to the ceiling..." With that done, you can have ventilation and air circulation, and we can have privacy on our side.

As to the proximity to our property, the fence has been there when we bought the property and we have not replaced it since. If you have checked with the City of Torrance and are allowed the side setback on your addition plan as you have stated in the said letter to me, I respect the City rule and decision that solves my privacy concern.

In this letter, I have expressed everything regarding my concern and have understood your response to my previous concern in your Nov. 8 letter.

Thank you for communicating with us.

Your neighbor,
[REDACTED]

AGENDA ITEM NO. 8B

DATE: June 19,2024

TO: Planning Commission

FROM: Dominique Allen, Planning Assistant
Leo Oorts, Planning Manager

SUBJECT: 2622 Dalemead Street (APN 7536-026-006)
Precise Plan of Development (PRE23-00011)

Consideration of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 2622 Dalemead Street.

POSTPONEMENT

Due to an error with the notification mailers, staff recommends that the Planning Commission postpone this item to the next meeting held on July 24, 2024. Staff notes the item will be re-noticed and re-advertised on July 11, 2024.

ITEM 8B
ATTACHMENT 3

Silhouette Certification (Revised)



City of Torrance, Community Development Department Michelle G. Ramirez, Director
3031 Torrance Blvd., Torrance, CA 90503 (310) 618-5990 Fax: (310) 618-5829

Height and Location Certification

The survey must be performed by a licensed land surveyor or civil engineer and should be accompanied by a map which shows the location of the bench mark and the locations where the measurements were taken. The map should also show the location of existing and proposed structures.

SILHOUETTE CERTIFICATION

I have surveyed the silhouette located at 2622 DALEMEAD ST.
(address)

on 4/13/24, based on plans submitted to the City of Torrance
(date)

by RESCOM DESIGN on —. The survey was taken
(applicant/architect) (date)

from a bench mark located at L&TAG LS4957 2' PROD. OF NW CORNER
(address) 2622 DALEMEAD ST.

(attached map) which established a base elevation of 100.46'.

The ridge line/highest point of the roof was determined to have an elevation of 126.35'.

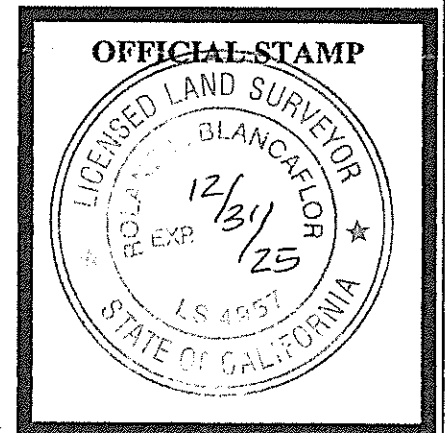
The plans indicate that the elevation should be 126.35'.

*I certify that I have measured the location of pertinent features located on the subject property. Based on the plans submitted to the Community Development Department, I have verified that the silhouette/construction accurately represents the proposed structure in terms of **height, building envelope, location on the site, and all setbacks.***

ROLAND L. BLANCAFLOR 4957
Name (please print) LS/RCE#

Roland L. Blancaflor 310-422-2856
SIGNATURE PHONE CELL

4/13/24
DATE



Notes: RECERTIFICATION

B.M.
L & TAG LS 4957
ELEV. = 100.46'

DALEMEAD ST.

L & TAG LS 4957
ELEV. = 100.77'

2.00'

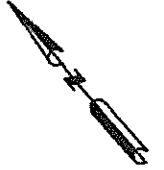
N 48°45'20"W 42.88'

LEGEND:
□ = 2X4
--- = SILHOUETTE

I, ROLAND L. BLANCAFLOR, PREPARED THIS PLAT
ON ~~SEPT. 25, 2023~~ AT THE REQUEST BY FERDY GONDO.
APRIL 13, 2024

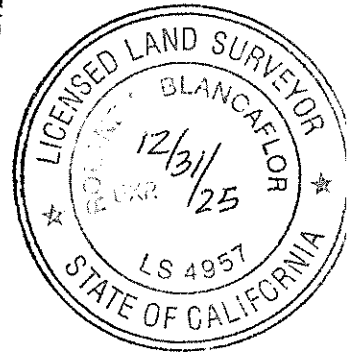
Roland L. Blancaflor
ROLAND L. BLANCAFLOR
LS 4957

ADDRESS: 2622 DALEMEAD ST.
TORRANCE, CA



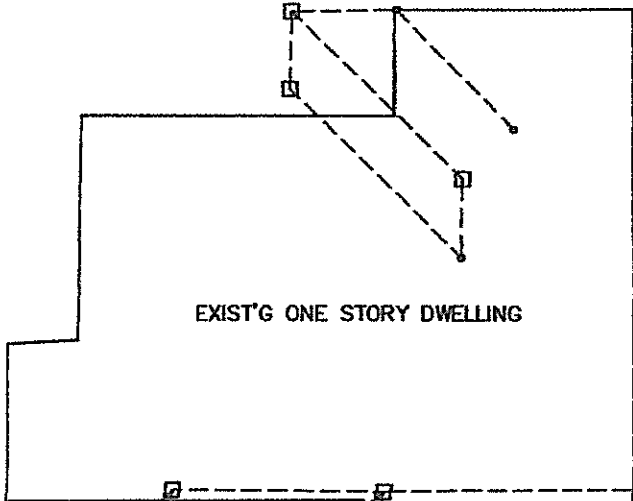
NOT TO SCALE
REVISED 10/03/23

RECERTIFIED 4/13/2024

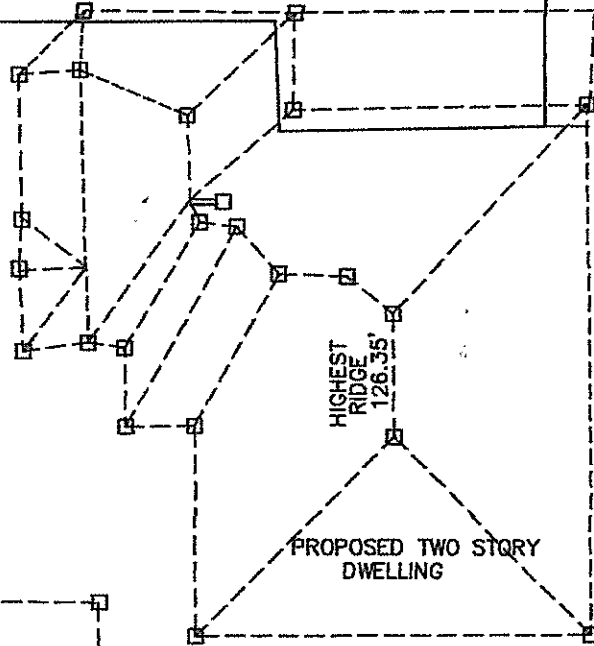


N 40°52'36"E 102.75'

103.89 x



EXIST'G ONE STORY DWELLING



HIGHEST
RIDGE
126.35'

PROPOSED TWO STORY
DWELLING

L & TAG LS 4957
ELEV. = 110.79'

PROPOSED GARAGE

N 49°34'15"W 52.89'

49

ITEM 8B
ATTACHMENT 4
Applicant Correspondence

Allen, Dominique

From: Ferdy Gondo <[REDACTED]>
Sent: Friday, May 10, 2024 8:43 AM
To: Allen, Dominique
Subject: Pics from neighbor
Attachments: 2609 Brian Ave.JPG; 2615 Brian Ave.JPG

Follow Up Flag: Follow up
Flag Status: Flagged

Morning Dominique

We met with both back neighbors on Feb 10th and April 30th

Here are the pics I took on April 30th, 2024 when I informed both neighbor that my sillhoutte was lowered

Thank you

Sincerely,

Ferdy G



- Scenario #1 - One story ADU**
- While keeping the permitted garage, the maximum size ADU (shown in red) that can be built is 792 sq ft. This will give the entire project of 1684 sq ft. which is not enough to meet the family's needs.
 - This will require an additional encroachment permit from SEC
 - There will be very little open yard space
 - The ADU kitchen will add extra expense
 - The family will be separated living in 2 structures

LEGAL DESCRIPTION:
 LOT - 79 TTRACT - 18416
 A.P.N. 7596-026-006

SCOPE OF WORK:
 • 1,600 sq ft two story addition
 • Add 85 sq ft 2nd floor balcony
 • Remodel existing 27 sq ft front porch
 • Add 54 sq ft side porch

F.A.R. ANALYSIS:
 Lot Area 5,790 sq ft
 Existing F.A.R. (includes del. 2 car garage per BLD22-02332) 22
 Proposed gross F.A.R. 50
 Proposed net F.A.R. 46

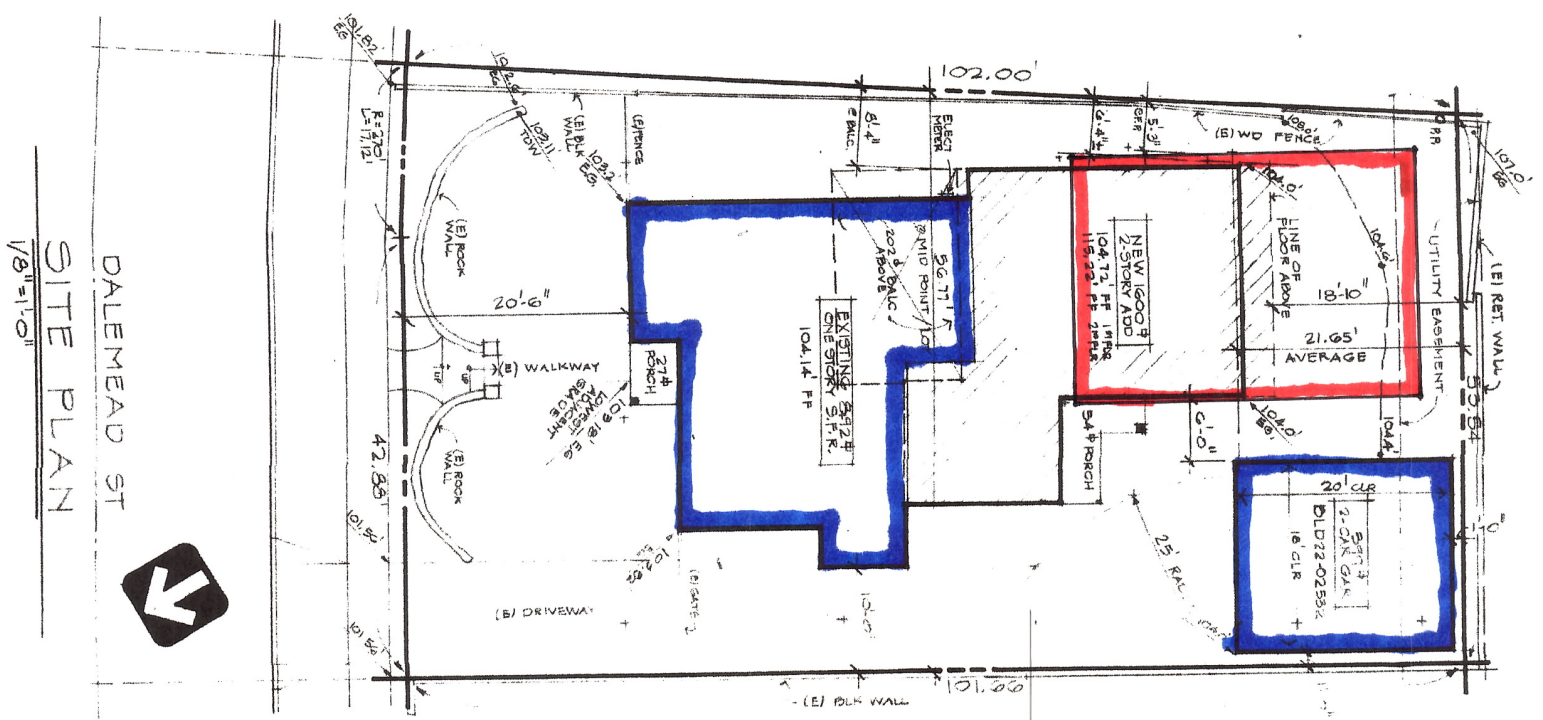
FOOTAGES:

| | |
|----------------------------|--------------|
| Existing one story house | 892 sq ft |
| New, first floor addition | 761 sq ft |
| Total first floor | 1,653 sq ft |
| New, second floor addition | 838 sq ft |
| Total floor area | 2,492 sq ft |
| (Total addition | 1,600 sq ft) |
| 2nd floor balcony | 202 sq ft |
| Garage (BLD22-02332) | 399 sq ft |
| Remodelled front porch | 27 sq ft |
| New side porch | 54 sq ft |

COVERAGE:
 Existing (includes del garage)
 Proposed coverage 22%

| | |
|--------------------|-------------------------|
| house | 892 sq ft |
| garage | 399 sq ft |
| 1st floor addition | 761 sq ft |
| side porch | 54 sq ft |
| 2nd floor overhang | 202 sq ft |
| 2nd floor balcony | 202 sq ft |
| TOTAL | 2316 sq ft / 5790 sq ft |

OPEN SPACE:
 Required (6790 sq ft / 3)
 Provided 3,390 sq ft



DALEMEAD ST
 SITE PLAN
 1/8" = 1'-0"



2 STORY ADDITION AND REMODEL FOR :
MR. & MRS. GONDO
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

rescom designs
 EMAIL: willbasilio16@gmail.com PHONE: 310-748-9914

SHEET
 1 OF 1

SITE PLAN

Scenario #2 - One story ADU, relocating the garage

- The maximum size of the ADU (shown in red) is 1000 sq ft
- Relocating the garage (shown in red) is an extra expense and will displace 214 sq ft of existing living space.
- A 889 sq ft addition (shown in green) can be added to the house which will give the house a net total of 1567 sq ft. This will give the entire project a total of 2567 sq ft BUI:
- This will incur the expense of the existing home to be almost totally rebuilt.
- Approved plans for the garage will have to be abandoned (lost of paid city fees and plan fees)
- This will require an additional encroachment permit from SEC
- There will be very little open yard space when considering the rear yard easement is a sloped area.
- The ADU kitchen will add extra expense
- The family will be separated living in 2 structures

LEGAL DESCRIPTION:
 LOT - 79 TRACT - 18416
 A.P.N. 7596-026-006

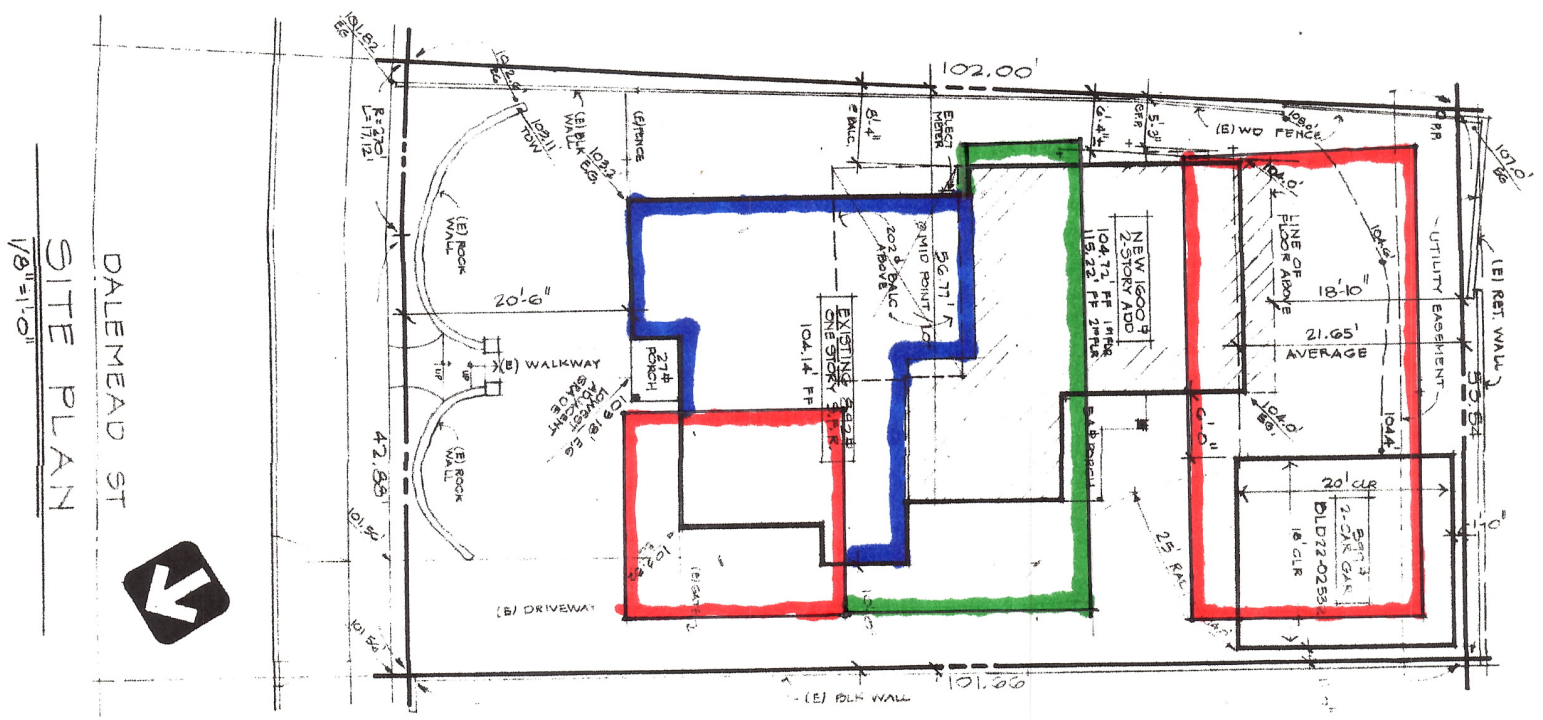
SCOPE OF WORK:
 • 1,600 sq ft two story addition
 • Add 89 sq ft 2nd floor balcony
 • Remodel existing 27 sq ft front porch
 • Add 54 sq ft side porch

F.A.R. ANALYSIS:
 Lot Area 5,790 sq ft
 Existing F.A.R. (includes det. 2 car garage per BLD22-02532) .22
 Proposed gross F.A.R. .50
 Proposed net F.A.R. .46

FOOTAGES:
 Existing one story house 882 sq ft
 New, first floor addition 761 sq ft
 Total first floor 1,653 sq ft
 New second floor addition 838 sq ft
 Total floor area 2,492 sq ft
 (Total addition 1,600 sq ft)
 2nd floor balcony 89 sq ft
 Garage (BLD22-02532) 202 sq ft
 Remodeled front porch 27 sq ft
 New side porch 54 sq ft

COVERAGE:
 Existing (includes det garage) 22%
 Proposed coverage
 house 882 sq ft
 garage 389 sq ft
 1st floor addition 761 sq ft
 side porch 54 sq ft
 2nd floor overhang 89 sq ft
 2nd floor balcony 202 sq ft
 Total 2316 sq ft / 5790 sq ft 40%

OPEN SPACE:
 Required (6750 sq ft / 3)
 Provided 3,390 sq ft



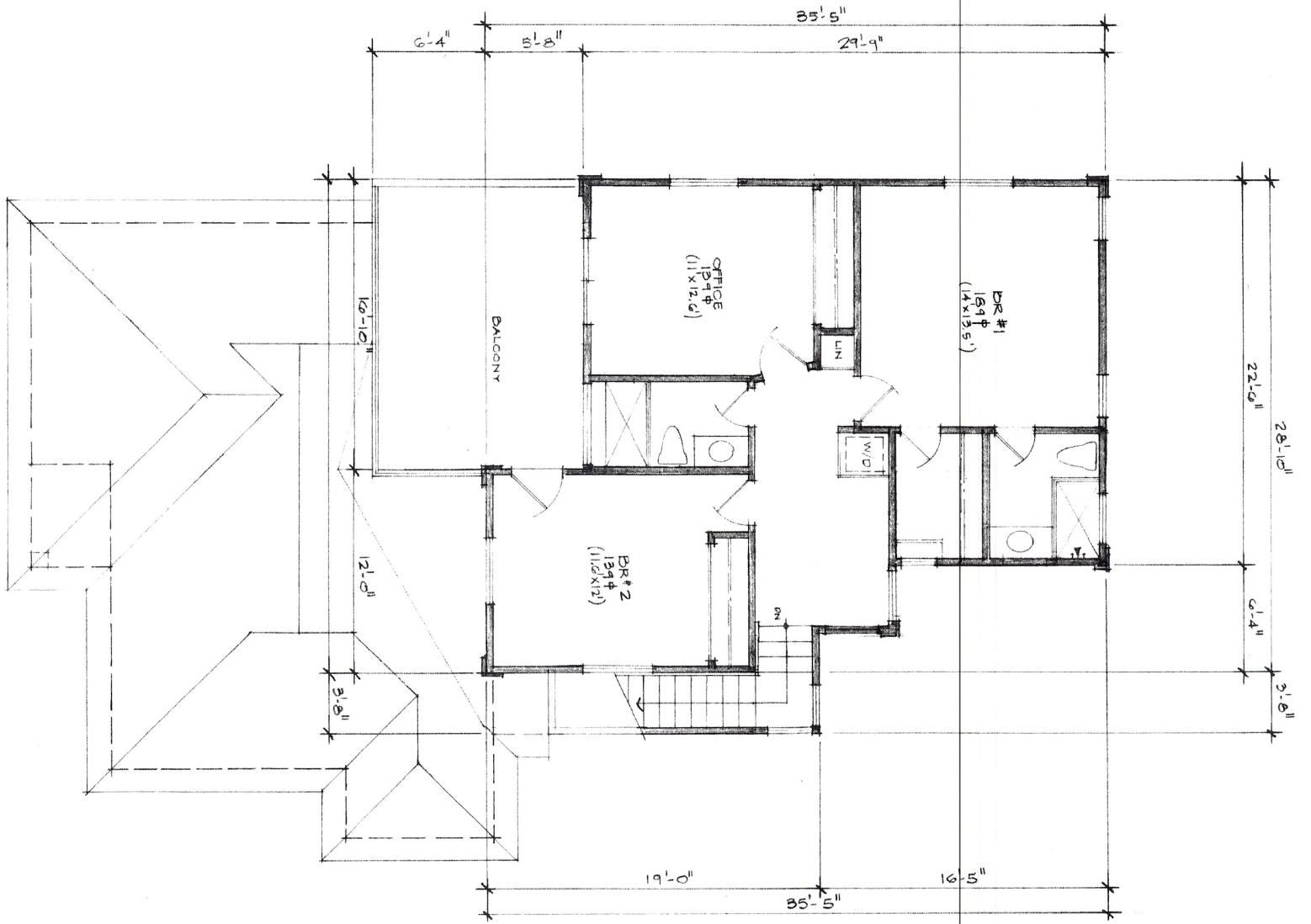
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2 STORY ADDITION AND REMODEL FOR :
MR. & MRS. GONDO
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

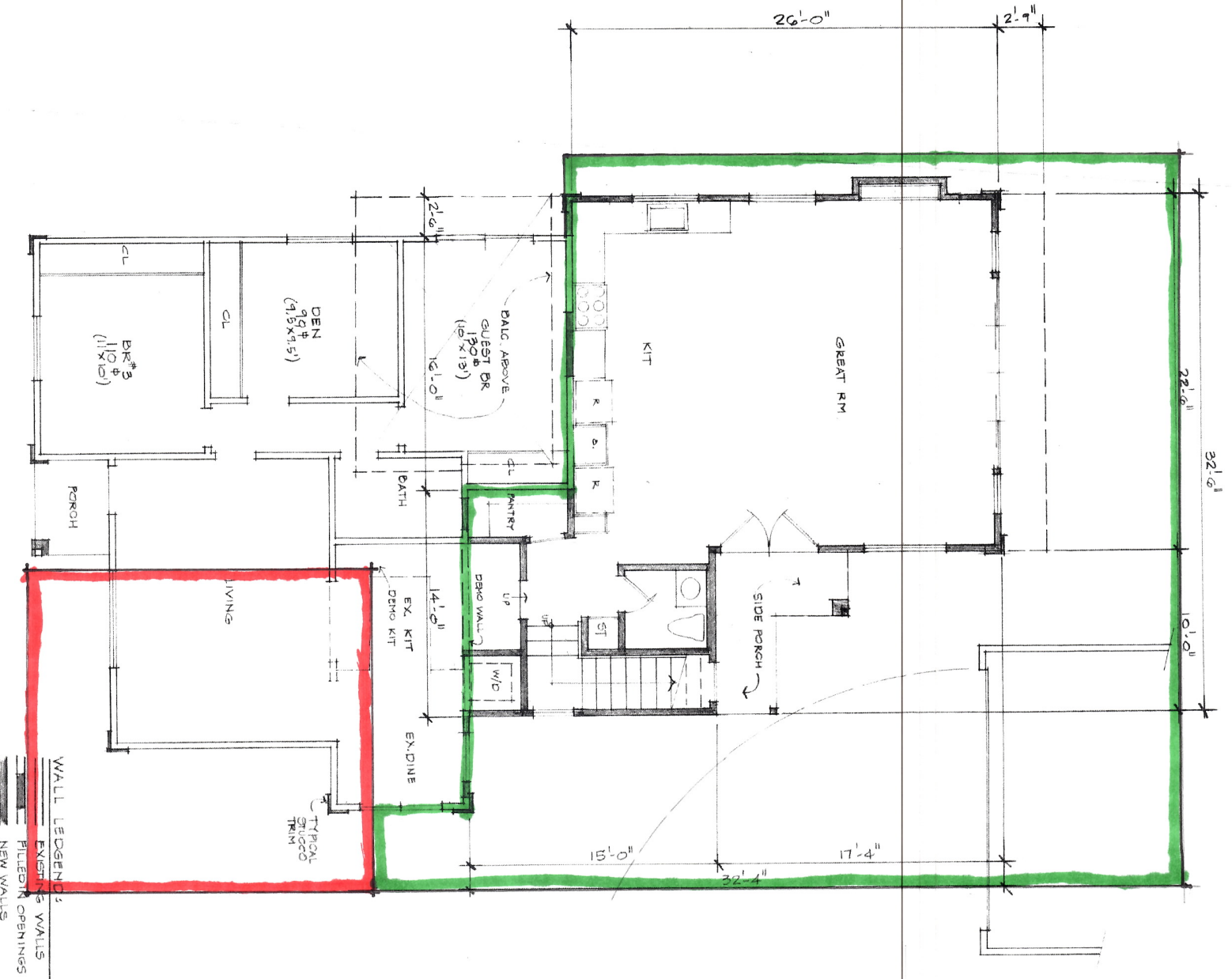
rescom designs
 EMAIL: wilbasilio16@gmail.com PHONE: 310-748-9914

SITE PLAN

SHEET



SECOND FLOOR PLAN 8597 ADD



FIRST FLOOR PLAN 7617 ADD
1/4" = 1'-0"

WALL LEGEND:
 EXISTING WALLS
 PILEDED OPENINGS
 NEW WALLS

2

2 STORY ADDITION AND REMODEL FOR:
MR. & MRS. GONDO
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

rescom designs
 EMAIL: willbasilio16@gmail.com PHONE: 310-748-9914

2 OF SHEET

FLOOR PLANS

- Scenario #3 - One story addition**
- The maximum rear yard addition (shown in green) while keeping the permitted garage is 1064 sq ft. This will give a total of 1956 sq ft of living space which is not enough to meet the family's needs.
 - There will be very little open yard space when considering the rear yard easement is a sloped area.

LEGAL DESCRIPTION:
 LOT - 79 TRACT - 18416
 APRN. 7338-026-008

SCOPE OF WORK:

- 1,600 sq ft two story addition
- Add 80 sq ft 2nd floor balcony
- Remodel existing 27 sq ft front porch
- Add 54 sq ft side porch

F.A.R. ANALYSIS:

| | |
|--|-------------|
| Lot Area | 5,790 sq ft |
| Existing F.A.R. (includes det. 2 car garage per BLD22-02532) | .22 |
| Proposed gross F.A.R. | .30 |
| Proposed net F.A.R. | .06 |

FOOTAGES:

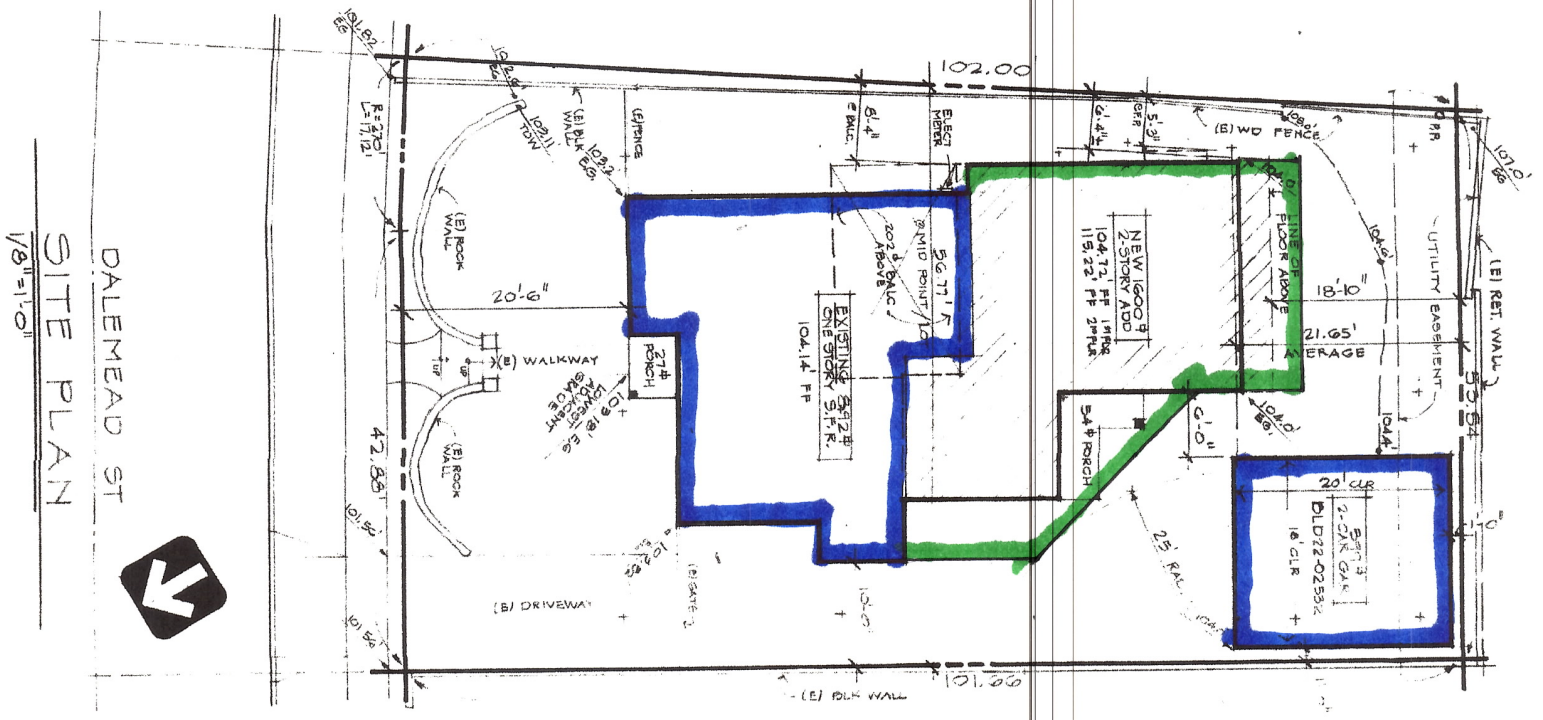
| | |
|---------------------------|-------------|
| Existing one story house | 892 sq ft |
| New first floor addition | 761 sq ft |
| Total first floor | 1,653 sq ft |
| New second floor addition | 838 sq ft |
| Total floor area | 2,492 sq ft |
| (Total addition) | 1,600 sq ft |
| 2nd floor balcony | 202 sq ft |
| Garage (BLD22-02532) | 398 sq ft |
| Remodeled front porch | 27 sq ft |
| New side porch | 54 sq ft |

COVERAGE:

| | |
|--------------------------------|-------------------------|
| Existing (includes det garage) | 22% |
| Proposed coverage | |
| houses | 892 sq ft |
| garage | 389 sq ft |
| 1st floor addition | 761 sq ft |
| side porch | 82 sq ft |
| 2nd floor overhang | 82 sq ft |
| 2nd floor balcony | 202 sq ft |
| NEW | 2316 sq ft / 5790 sq ft |
| TOTAL | 40% |

OPEN SPACE:

| | |
|----------------------------|-------------|
| Required (0.750 sq ft / 3) | 1,950 sq ft |
| Provided | 3,390 sq ft |

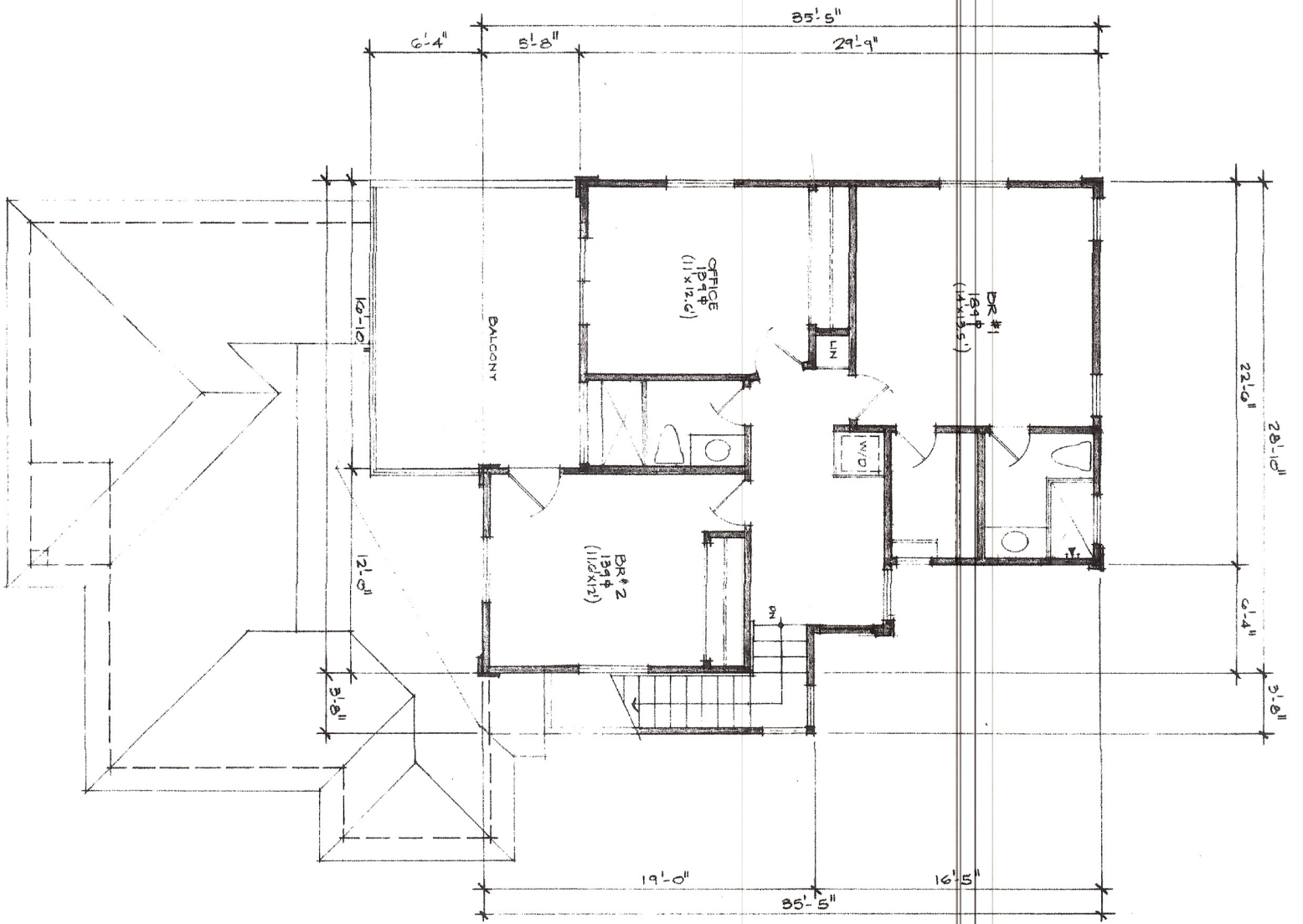


2 STORY ADDITION AND REMODEL FOR :
MR. & MRS. GONDO
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

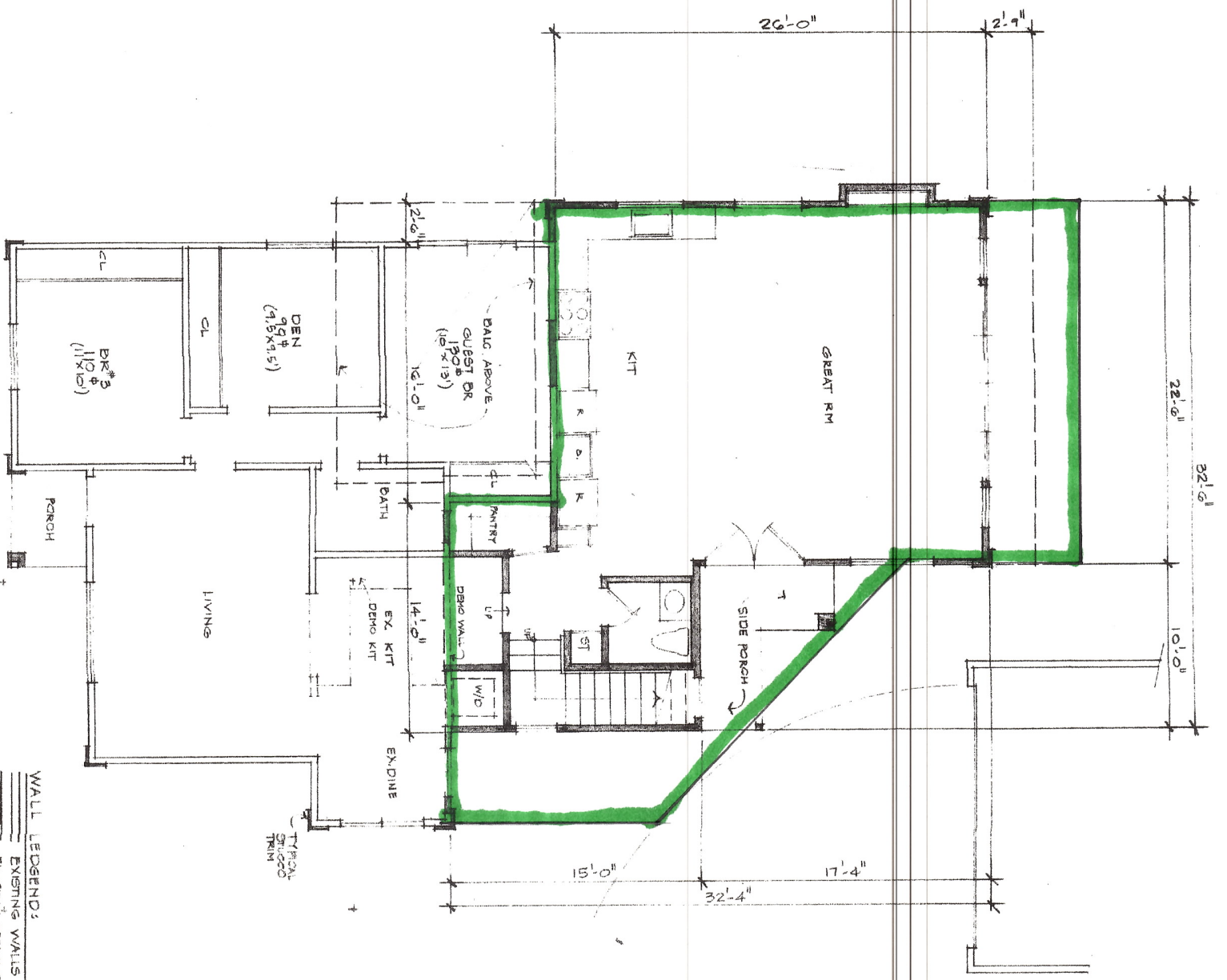
rescom designs
 EMAIL: willbasilio16@gmail.com PHONE: 310-748-9914

SHEET 1 OF

SITE PLAN



SECOND FLOOR PLAN 6558 ADD



FIRST FLOOR PLAN 7618 ADD

WALL LEGEND:
 EXISTING WALLS
 FILLED IN OPENINGS
 NEW WALLS

3

2 STORY ADDITION AND REMODEL FOR:
MR. & MRS. GONDO
 2822 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

rescom designs
 EMAIL: wilbasilio16@gmail.com PHONE: 310-748-9914

2 OF SHEET

FLOOR PLANS

Scenario #4 - One story addition, relocating the garage

- Relocating the garage (shown in red) is an extra expense and will displace 214 sq ft of existing living space.
- The maximum rear yard addition (shown in green) is 1675 sq ft. This will give a total of 2353 sq ft living space. BUT:
- This will incur the expense of the existing home to be totally rebuilt.
- Considering the new width of the house, and a normal 4/12 roof pitch the building height will be at the maximum 18' limit. A point of reference for the 18' height is 1' below the eave line of the silhouette.
- Approved plans for the garage will have to be abandoned (lost of paid city fees and plan fees)
- There will be very little open yard space when considering the rear yard easement is a sloped area.

LEGAL DESCRIPTION:
 LOT - 79 TRACT - 18416
 A.P.N. 7536-028-006

SCOPE OF WORK:
 • 1,600 sq ft two story addition
 • Add 85 sq ft 2nd floor balcony
 • Remodel existing 27 sq ft front porch
 • Add 54 sq ft side porch

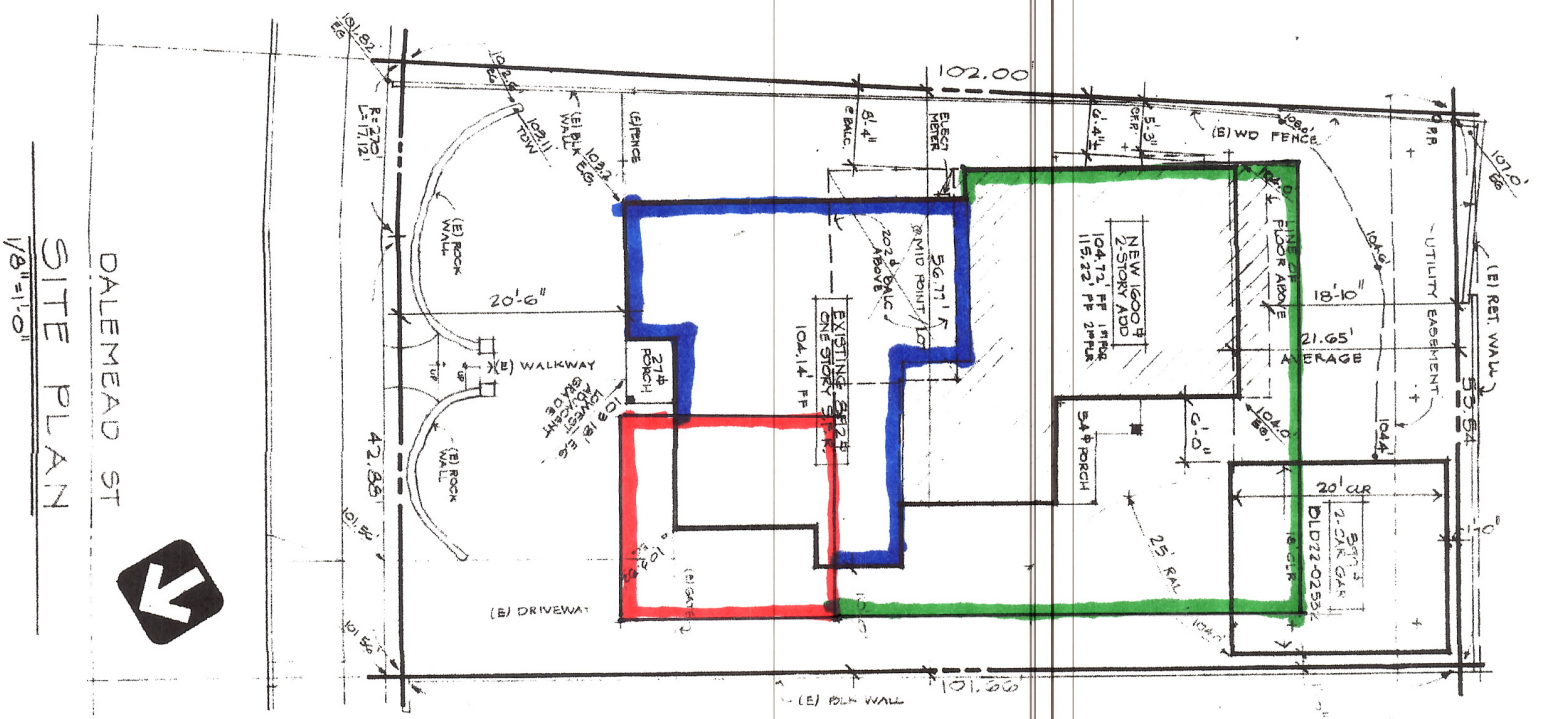
F.A.R. ANALYSIS:
 Lot Area 5,790 sq ft
 Existing F.A.R. (includes det. 2 car garage per BLD22-02532) 22
 Proposed gross F.A.R. 50
 Proposed net F.A.R. 46

FOOTAGES:

| | |
|---------------------------|--------------------|
| Existing one story house | 892 sq ft |
| New first floor addition | 761 sq ft |
| Total first floor | 1,653 sq ft |
| New second floor addition | 838 sq ft |
| Total floor area | 2,492 sq ft |
| Total addition | 1,600 sq ft |
| 2nd floor balcony | 202 sq ft |
| Garage (BLD22-02532) | 399 sq ft |
| Remodeled front porch | 27 sq ft |
| New side porch | 54 sq ft |

COVERAGE:
 Existing (includes det garage) 22%
 Proposed coverage
 house 892 sq ft
 garage 399 sq ft
 1st floor addition 761 sq ft
 side porch 54 sq ft
 2nd floor balcony 202 sq ft
 2nd floor overhang 54 sq ft
 2nd floor balcony 202 sq ft
 Total 2310 sq ft / 5790 sq ft 40%

OPEN SPACE:
 Required (6790 sq ft / 3)
 Provided 3,390 sq ft

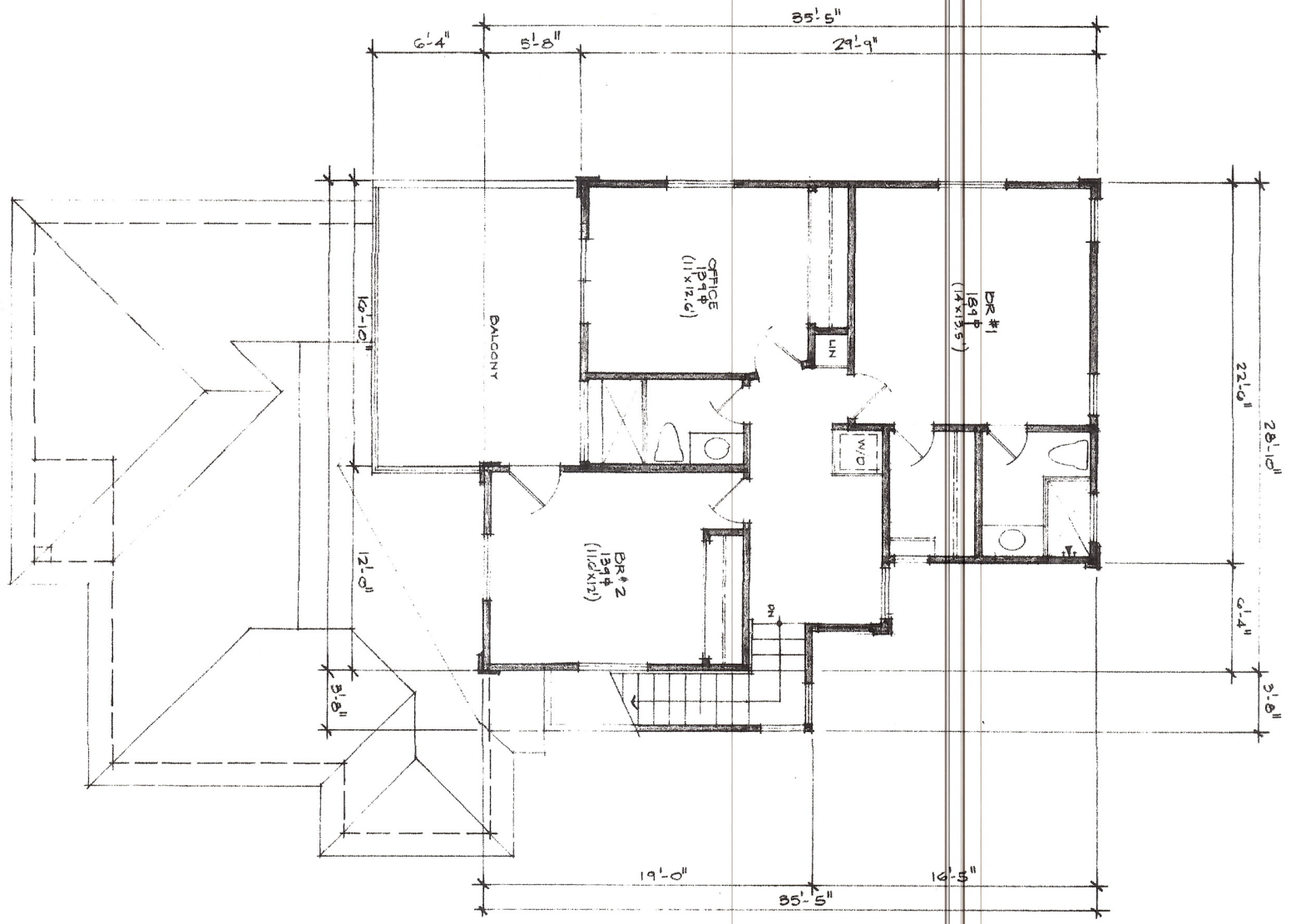


DALEMEAD ST
 SITE PLAN
 1/8" = 1'-0"

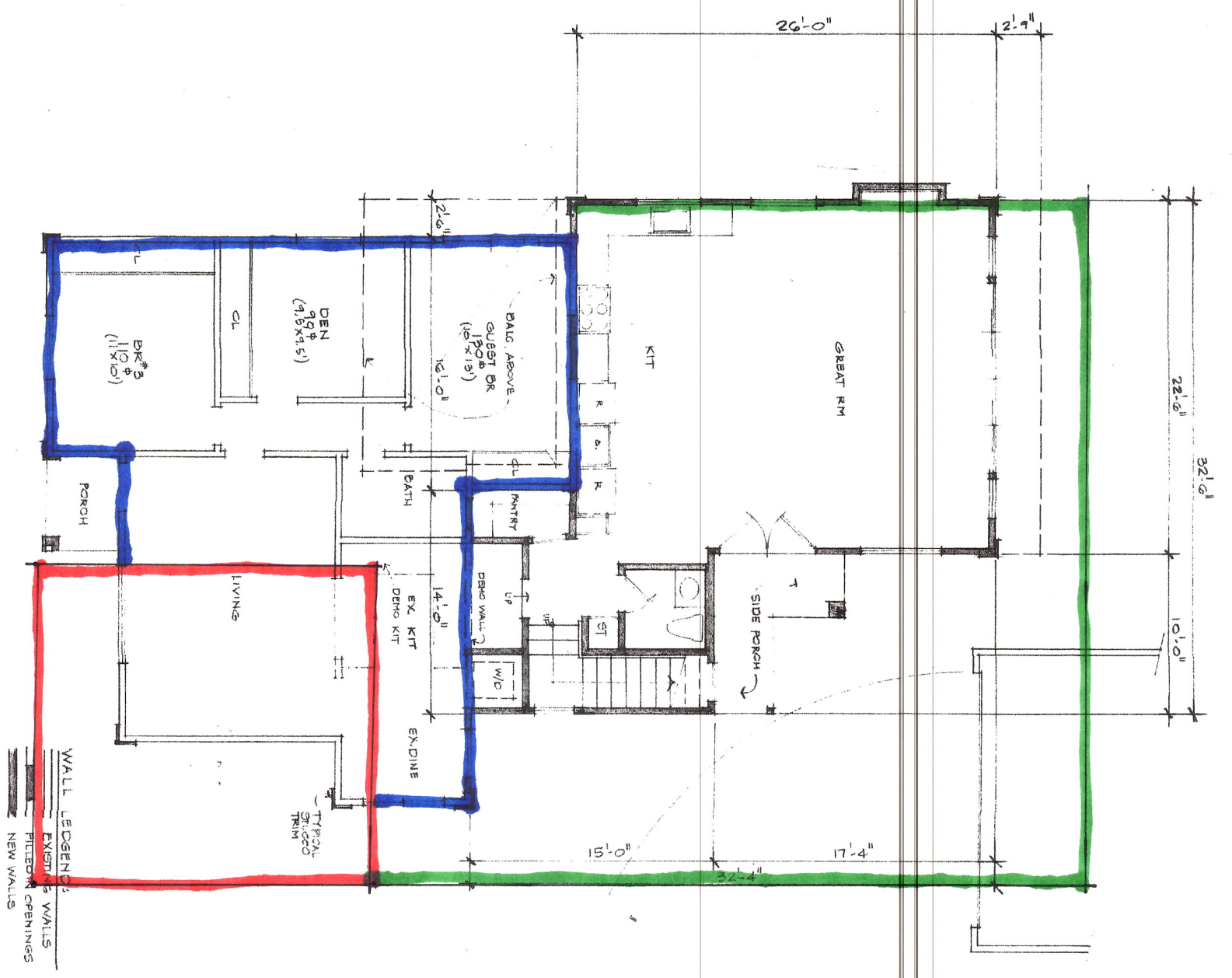


2 STORY ADDITION AND REMODEL FOR :
MR. & MRS. GONDO
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

rescom designs
 EMAIL: wilbergo16@gmail.com PHONE: 310-748-9914



SECOND FLOOR PLAN 850th ADD



FIRST FLOOR PLAN 761st ADD
1/4\"/>

WALL LEGEND:
 TYPICAL STUCCO FINISH
 EXISTING WALLS
 FILTERING OPENINGS
 NEW WALLS



2 STORY ADDITION AND REMODEL FOR:
MR. & MRS. GONDO
 TORRANCE, CALIFORNIA 90505
 2622 DALEMEAD STREET
 TORRANCE, CALIFORNIA 90505

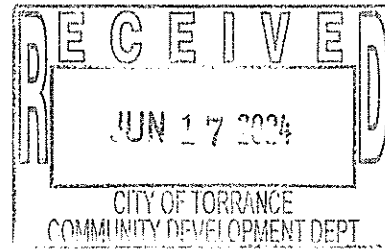
rescom designs
 EMAIL: wilbasilio16@gmail.com PHONE: 310-748-9914

ITEM 8B
ATTACHMENT 5
Neighbors Correspondence

Julie Swerissen
2609 Brian Avenue
Torrance, CA

06/13/2024

Torrance City Planning Department
3031 Torrance Blvd
Torrance, CA



Subject: Objection to Neighbor's Two-Story Addition Proposal

Dear City Planning Department,

I am writing to formally contest the proposed two-story addition to be built by my neighbor, at 2622 Dalemead Street. This construction project poses several significant concerns that directly impact my property and quality of life in the neighborhood.

First and foremost, the addition of a two-story structure to my neighbor's property will obstruct my current view of the city lights and mountain views that I have enjoyed for years. This view is not only a valuable asset of my property but also contributes to the overall ambiance and appeal of the neighborhood. The loss of this view will diminish the aesthetic value of my home and degrade the overall beauty of the area.

Additionally, the increased height of the proposed addition will infringe upon my privacy by allowing direct sightlines into my property. This intrusion on my privacy is unacceptable and will significantly impact my comfort and enjoyment of my home.

Moreover, allowing this two-story addition to be built will set a troubling precedent for other homeowners in the area to follow suit and construct similar tall structures. This domino effect could further erode the views, light, air, and privacy of multiple properties in the neighborhood, leading to a detrimental impact on property values and overall neighborhood aesthetics.

I would like to draw your attention to the Hillside Overlay Ordinance 91.41.6, which clearly outlines the criteria that must be met for construction or remodeling in the vicinity. The proposed development by my neighbor fails to meet several crucial provisions of this ordinance, including the impact on views, light, air, privacy, property values, and the public welfare.

I urge the City Planning Department to carefully review the proposed two-story addition and consider the negative implications it will have on my property and the neighborhood as a whole. It is essential that any decision regarding this project aligns with the regulations set forth in the Hillside Overlay Ordinance and prioritizes the preservation of the views, privacy, and property values of all residents in the vicinity.

I respectfully request that the City Planning Department deny the application for the two-story addition at 2622 Dalemead Street in order to uphold the integrity of our neighborhood and protect the rights and well-being of all property owners in the area.

Thank you for your attention to this matter. Please feel free to contact me if you require any further information or clarification regarding my objections.

Sincerely,



Julie Swerissen

SNOW
CAPPED
MOUNTAINS



Allen, Dominique

From: E I <[REDACTED]>
Sent: Sunday, June 16, 2024 10:11 PM
To: Planning Commission
Cc: Calvin Liu
Subject: PRE23-00011: Written complaint

You don't often get email from [REDACTED]. [Learn why this is important](#)



To the Torrance City Planning Commission,

We live above the hill from 2622 Dalemead Street.

Since the first public hearing, we have met with the neighbors and their architect to express our concern again that their 2nd story addition will (1) impede on our privacy (as their 2nd story will look directly into our bedroom and backyard), (2) directly obstruct our city and hill view from the bedroom, living room, and backyard, (3) negatively impact our home's market value (as the city view was an explicit line-item in our appraisal), and (4) will create a dangerous precedence for other neighbors to build up. (Attached picture is a view from our bedroom window. There are currently no 2-story houses on the hillside of Dalemead Street.)

Unfortunately, other than bringing down the roof line by a foot, there were no true compromises and we were not presented with alternative plans. As seen in the picture, the revised roof line does not address our concern.

We understand that they would like to remodel their home to house visitors, and for that there are planning a family room, a separate living room, 6 bedrooms, and 5 to 6 bathrooms. We also understood from the architect that the 1st floor alone will measure 1,600 sq ft with opportunities to expand the square footage further to code by reducing the size of the backyard. We asked whether it was possible to reduce the number of bedrooms or bathrooms, or the size of the family room, to limit the remodel to the first floor. However, those options were not considered.

As our concerns were not heard and the revised roof line does not address our concerns, we are against the revised plan.

Eiko Ikari
Calvin Liu

ITEM 8B
ATTACHMENT 6
Code Requirements

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING & SAFETY:

1. Comply with CBC, CMC, CEC, CPC, CFC, Title 24 California Emergency Code, and California Green Building Code.

ENVIRONMENTAL:

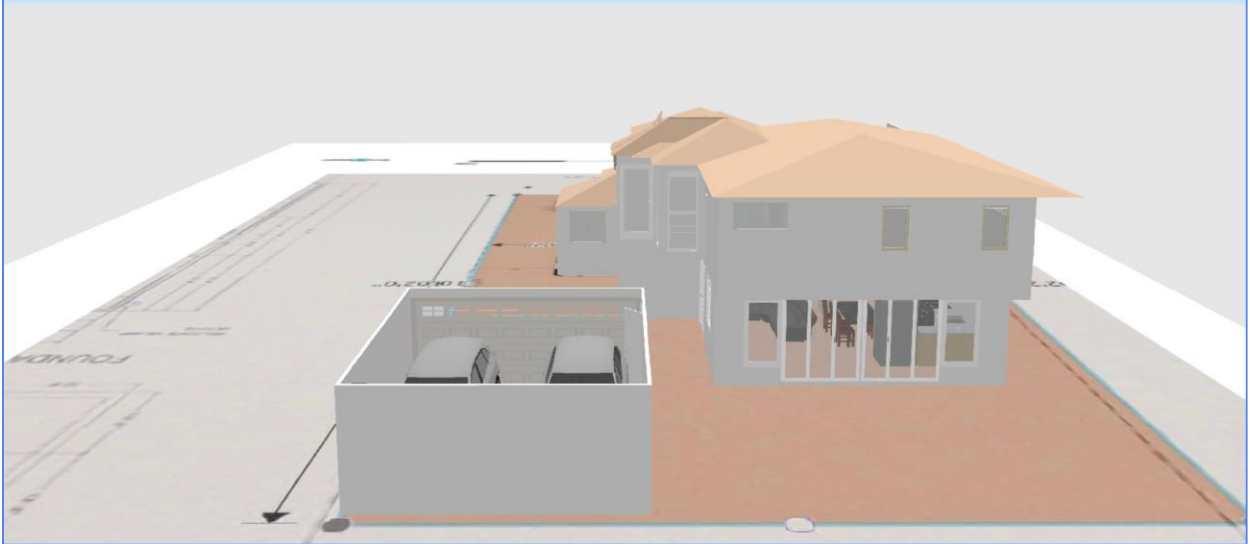
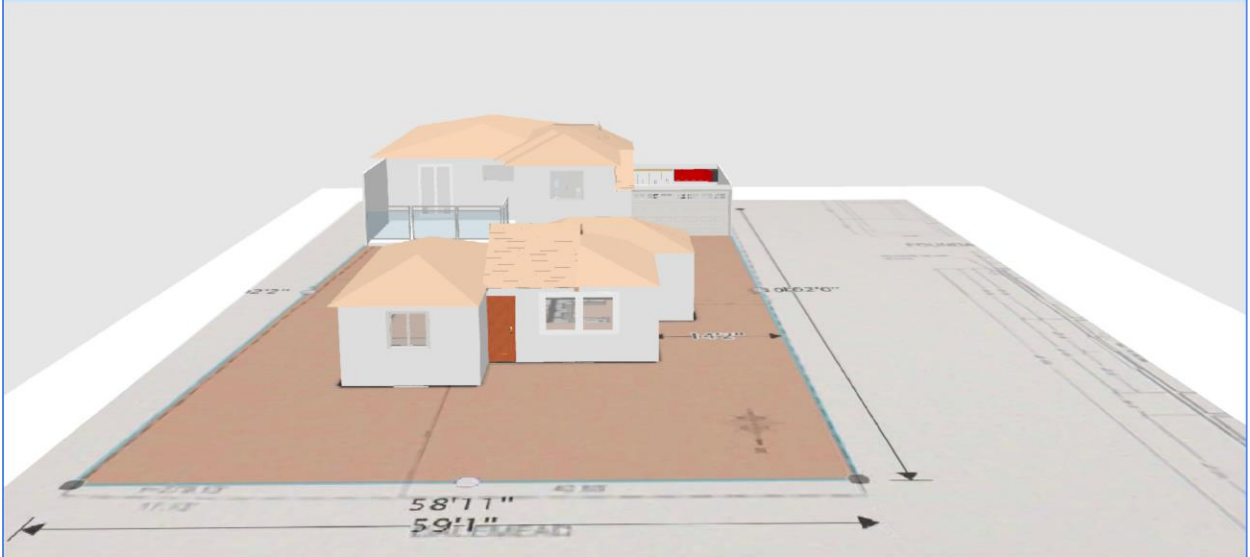
2. Provide 4" minimum contrasting address numerals for residential, condo, etc. uses.
3. Bedroom sizes to be as determined per Torrance Code (92.20.2).
4. The property shall be landscaped prior to final inspection (92.21.9).

ENGINEERING:

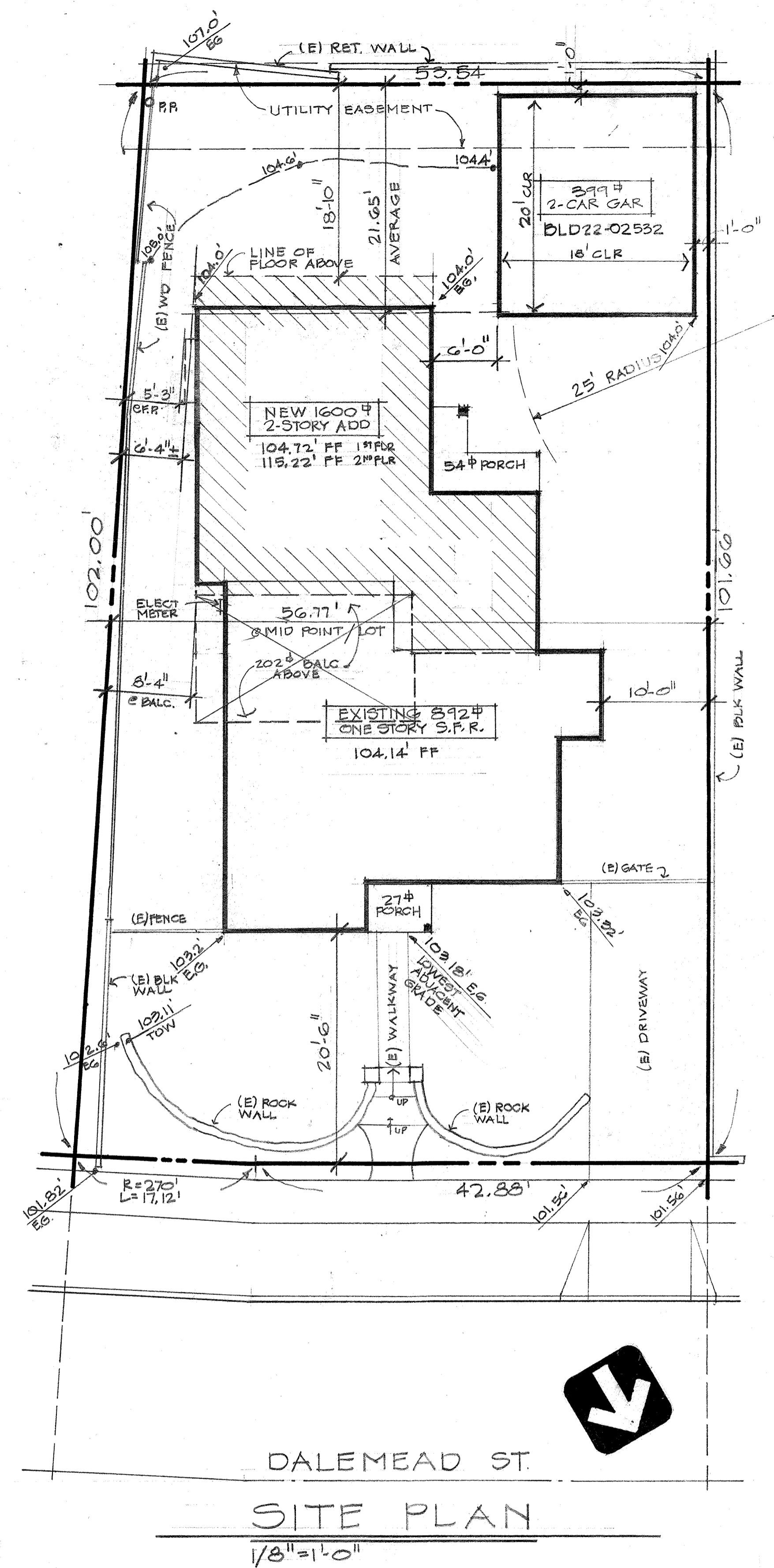
5. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Dalemead St. (City Code Sec. 74.6.2).
6. Install a street tree in the City parkway every 50' for the width of this lot on Dalemead St. (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.

ITEM 8B
ATTACHMENT 7

Project Plans and Massing Diagram







LEGAL DESCRIPTION:

LOT - 79 TRACT - 18416
 A.P.N. 7536-026-006

SCOPE OF WORK:

- 1,600 sq ft two story addition
- Add 95 sq ft 2nd floor balcony
- Demo existing kitchen
- Remodel existing 27 sq ft front porch
- Add 54 sq ft side porch

F.A.R. ANALYSIS:

| | |
|--|-------------|
| Lot Area | 5,790 sq ft |
| Existing F.A.R. | |
| (includes det. 2 car garage per BLD22-02532) | .22 |
| Proposed gross F.A.R. | .50 |
| Proposed net F.A.R. | .46 |

FOOTAGES:

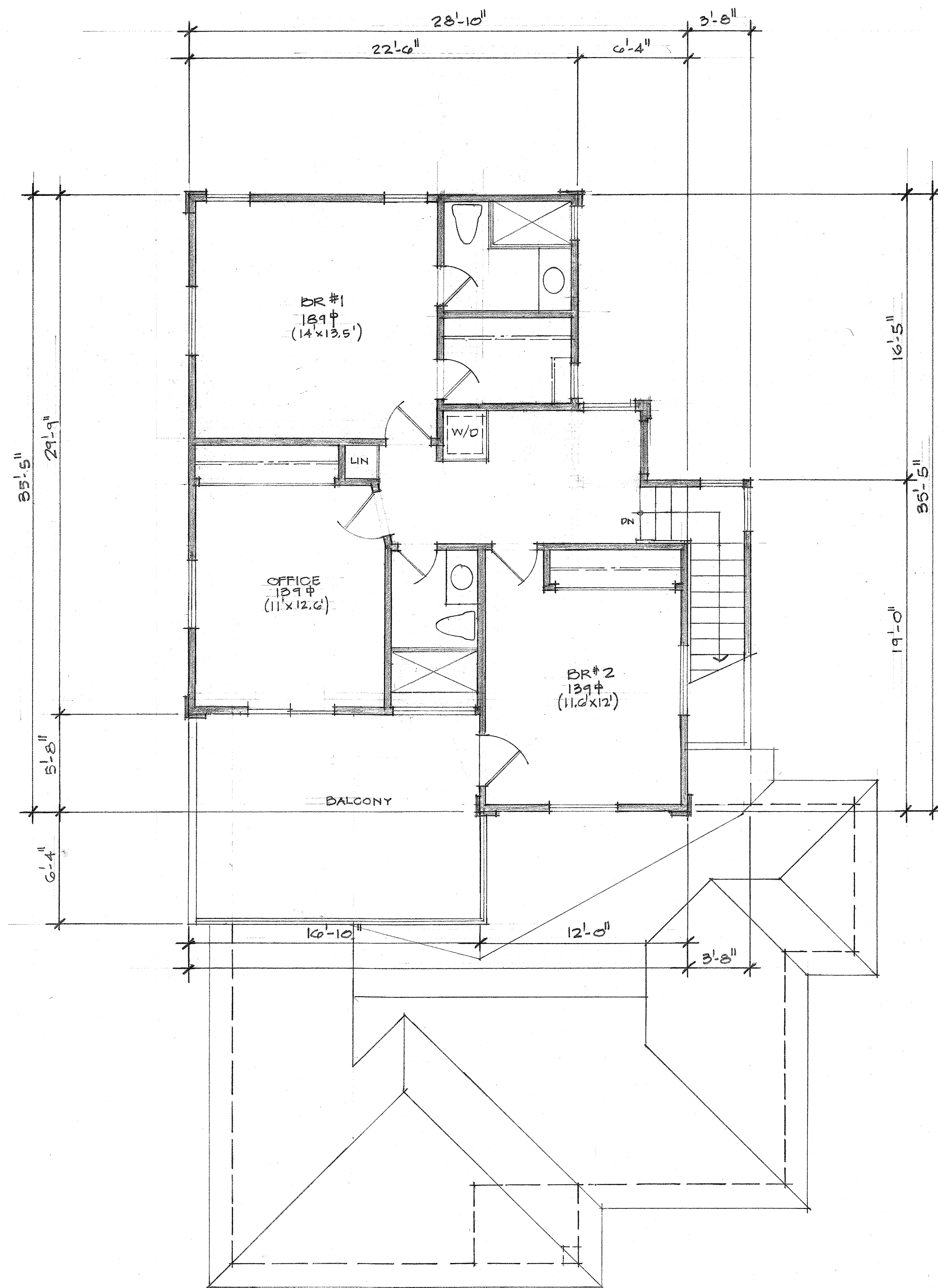
| | |
|---------------------------|--------------|
| Existing one story house | 892 sq ft |
| New first floor addition | 761 sq ft |
| Total first floor | 1,653 sq ft |
| New second floor addition | 839 sq ft |
| Total floor area | 2,492 sq ft |
| (Total addition | 1,600 sq ft) |
| 2nd floor balcony | 202 sq ft |
| Garage (BLD22-02532) | 399 sq ft |
| Remodeled front porch | 27 sq ft |
| New side porch | 54 sq ft |

COVERAGE:

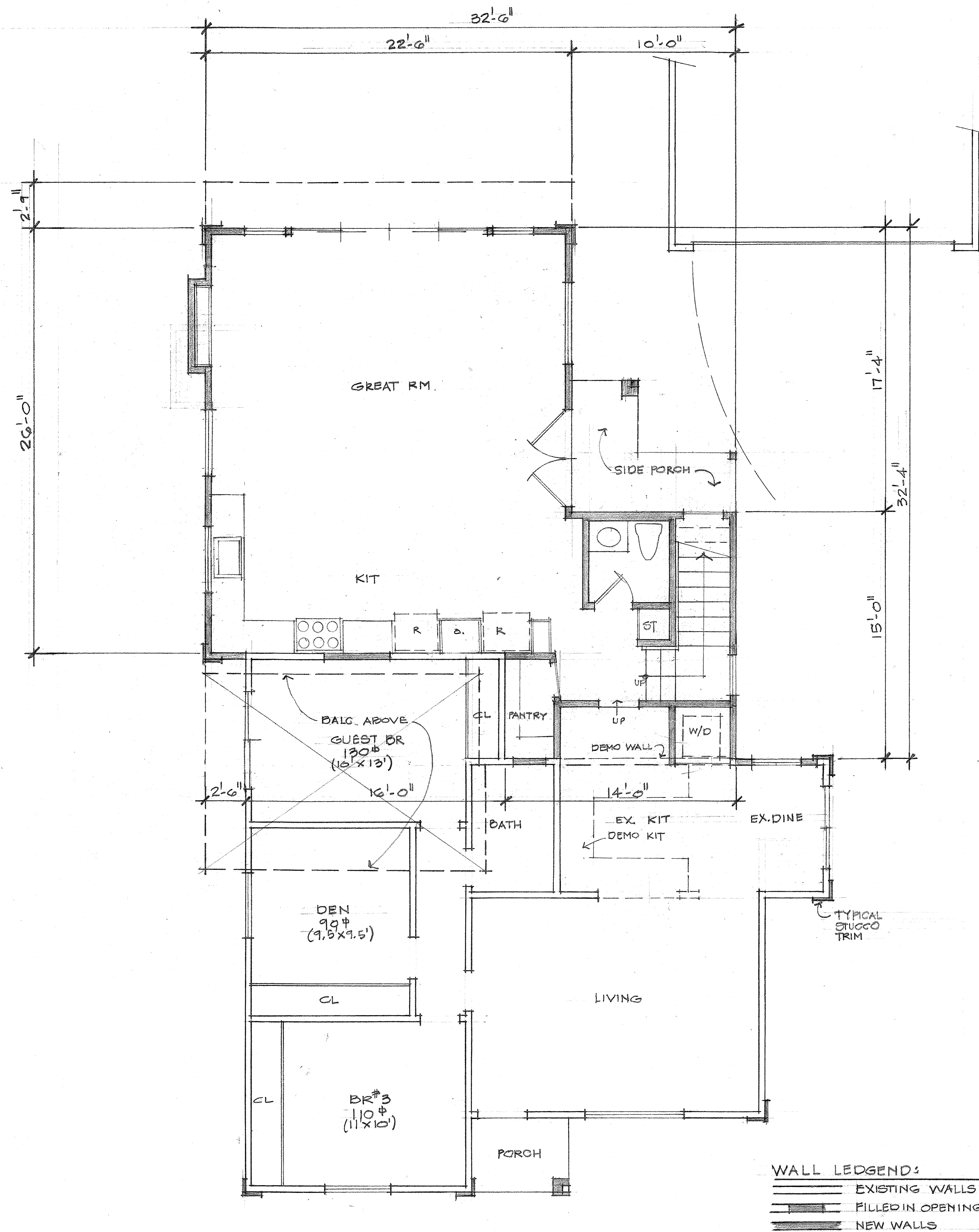
| | |
|--------------------------------|-------------------------|
| Existing (includes det garage) | 22% |
| Proposed coverage | |
| house | 892 sq ft |
| garage | 399 sq ft |
| 1st floor addition | 761 sq ft |
| side porch | 54 sq ft |
| 2nd floor overhang | 62 |
| 2nd floor balcony | 202 sq ft |
| Total | 2316 sq ft / 5790 sq ft |
| | 40% |

OPEN SPACE:

| | |
|---------------------------|-------------|
| Required (5790 sq ft / 3) | 1,930 sq ft |
| Provided | 3,390 sq ft |

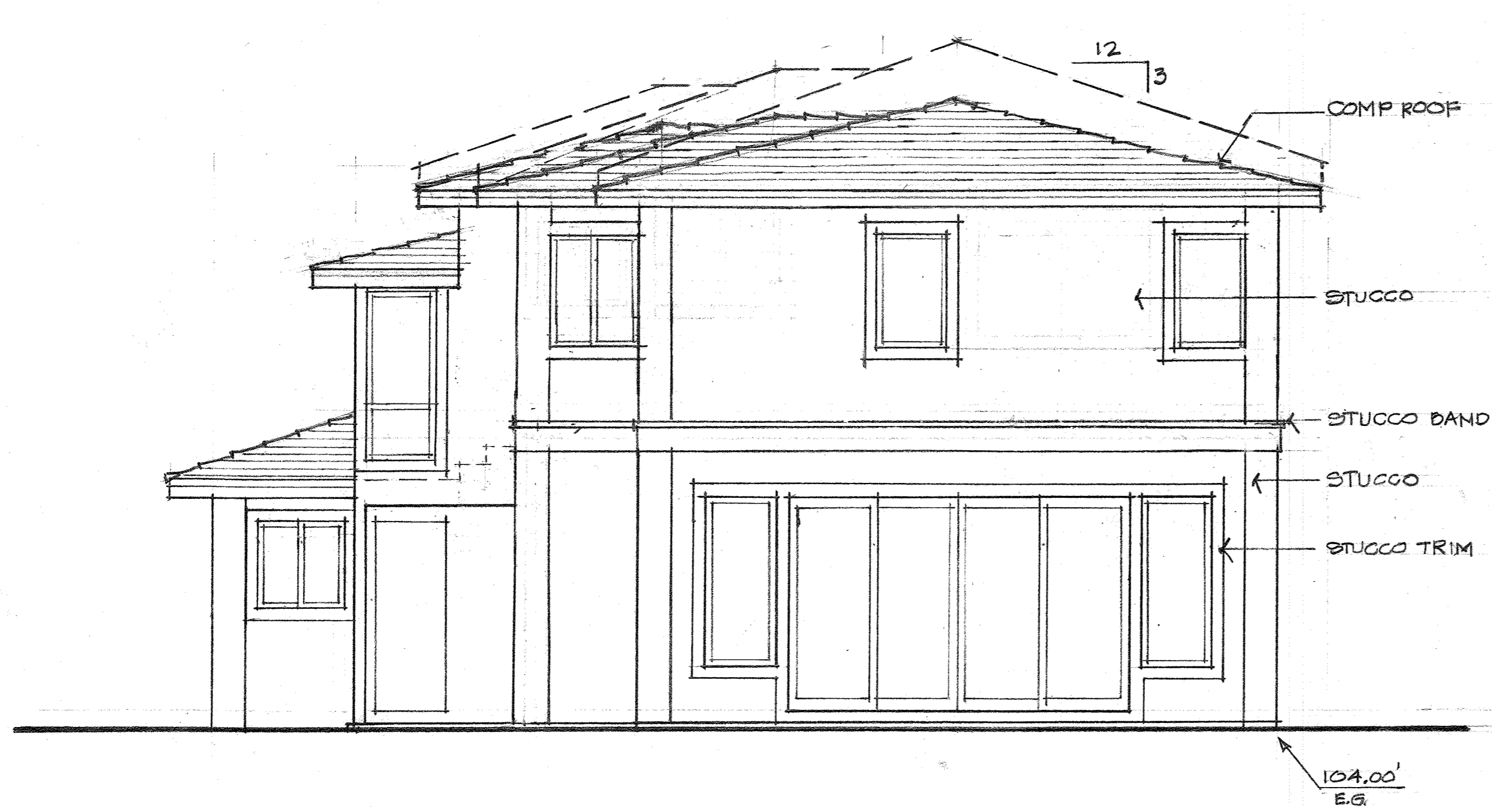


SECOND FLOOR PLAN 859#ADD

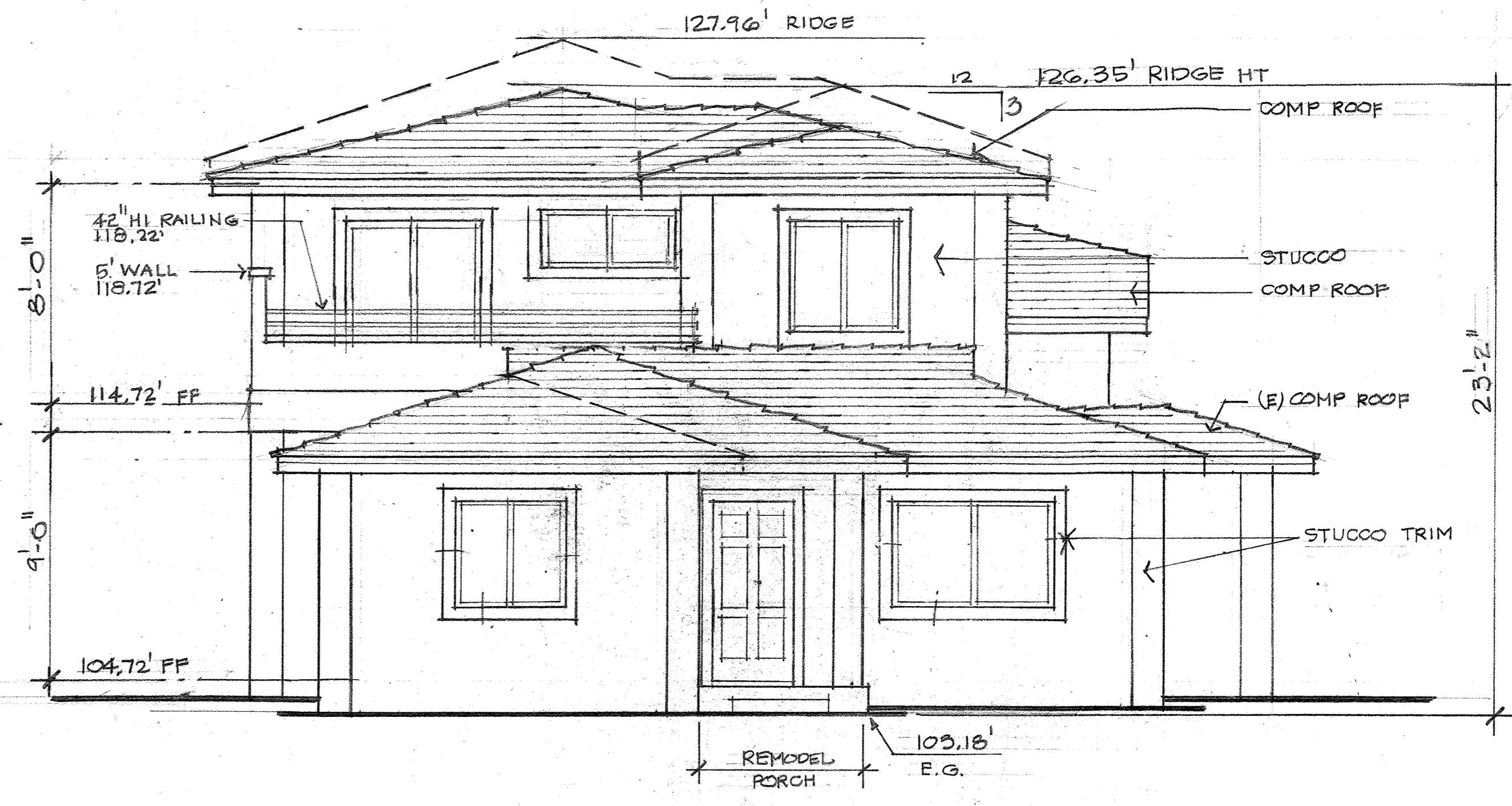


FIRST FLOOR PLAN 761#ADD
1/4"=1'-0"

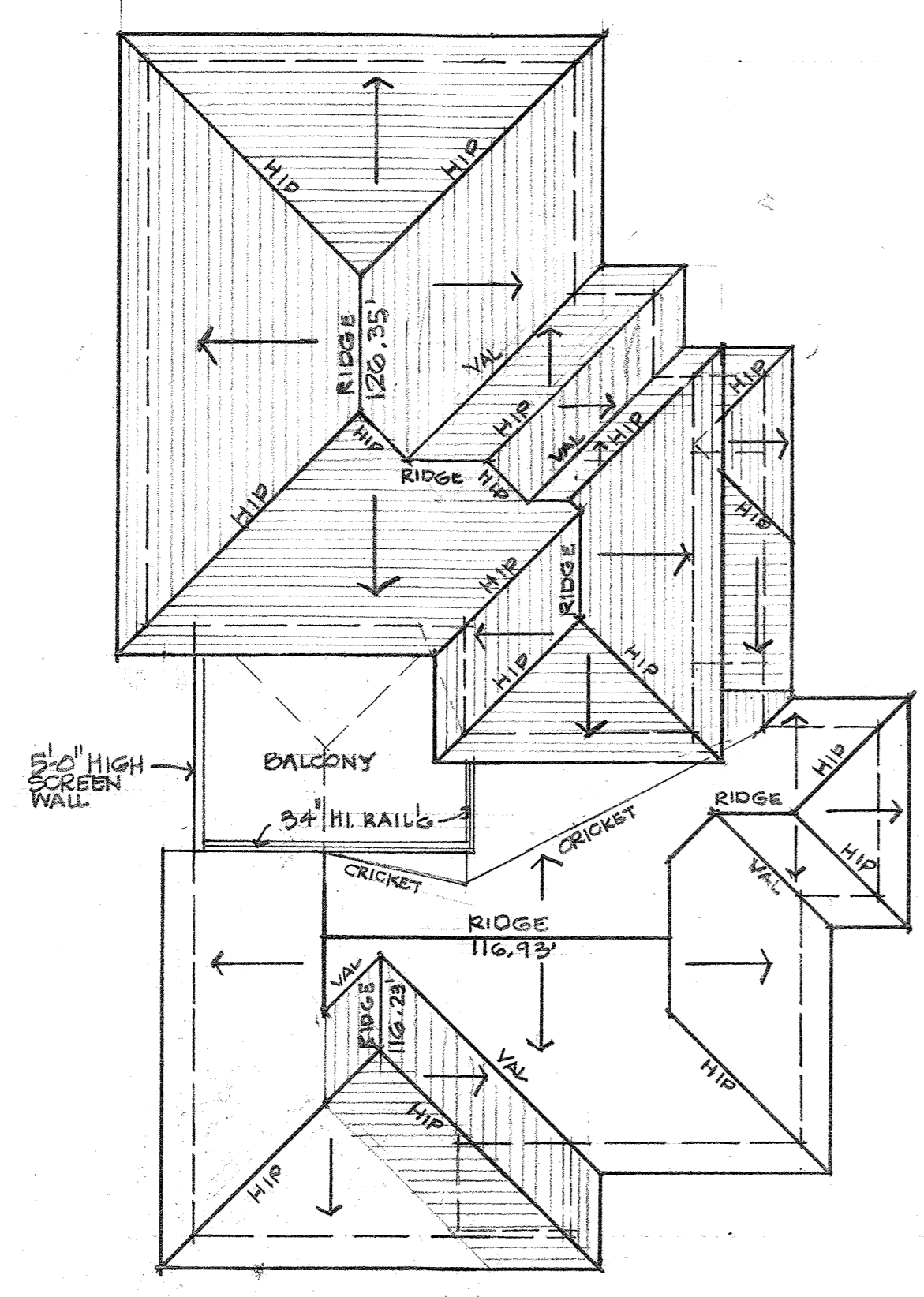
WALL LEGEND:
 ——— EXISTING WALLS
 ——— FILLED IN OPENINGS
 ——— NEW WALLS



SOUTH ELEV.

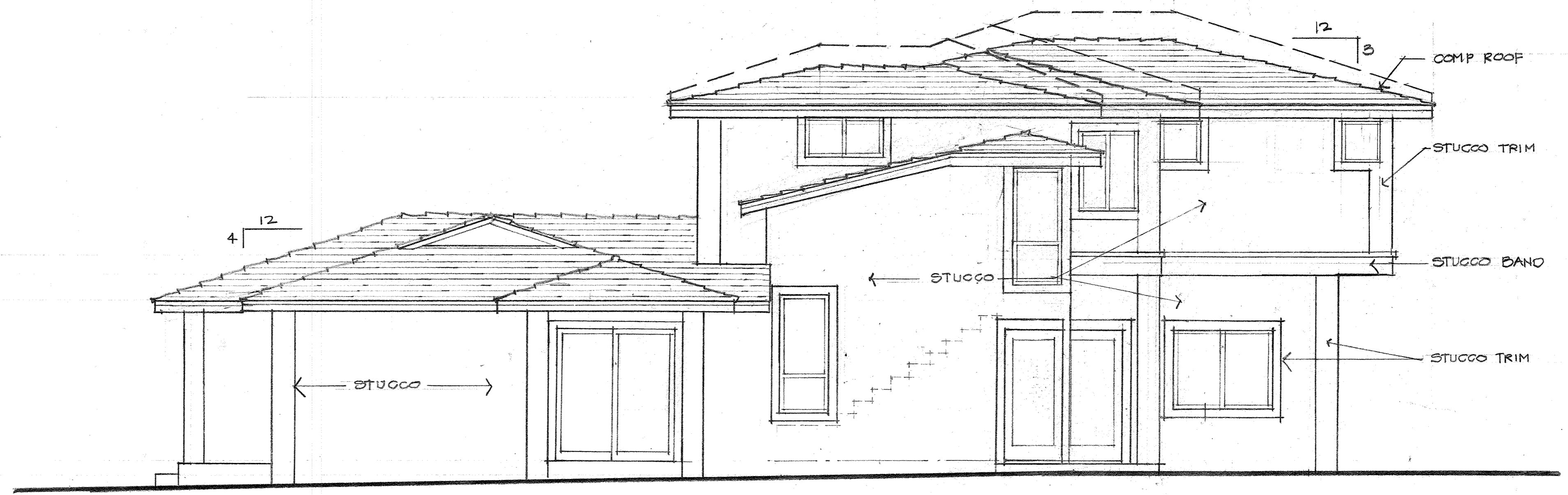


NORTH ELEV.

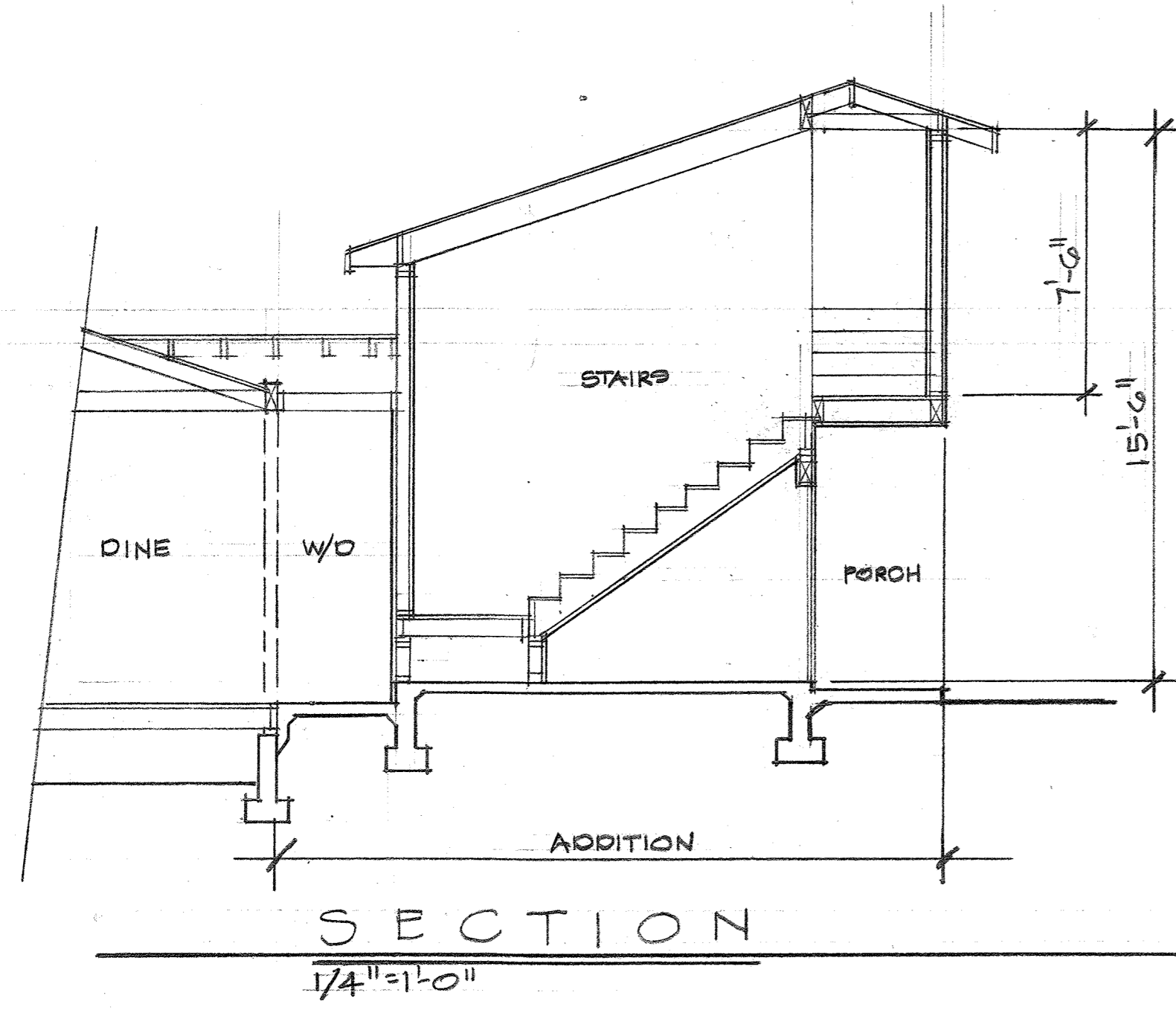


ROOF PLAN

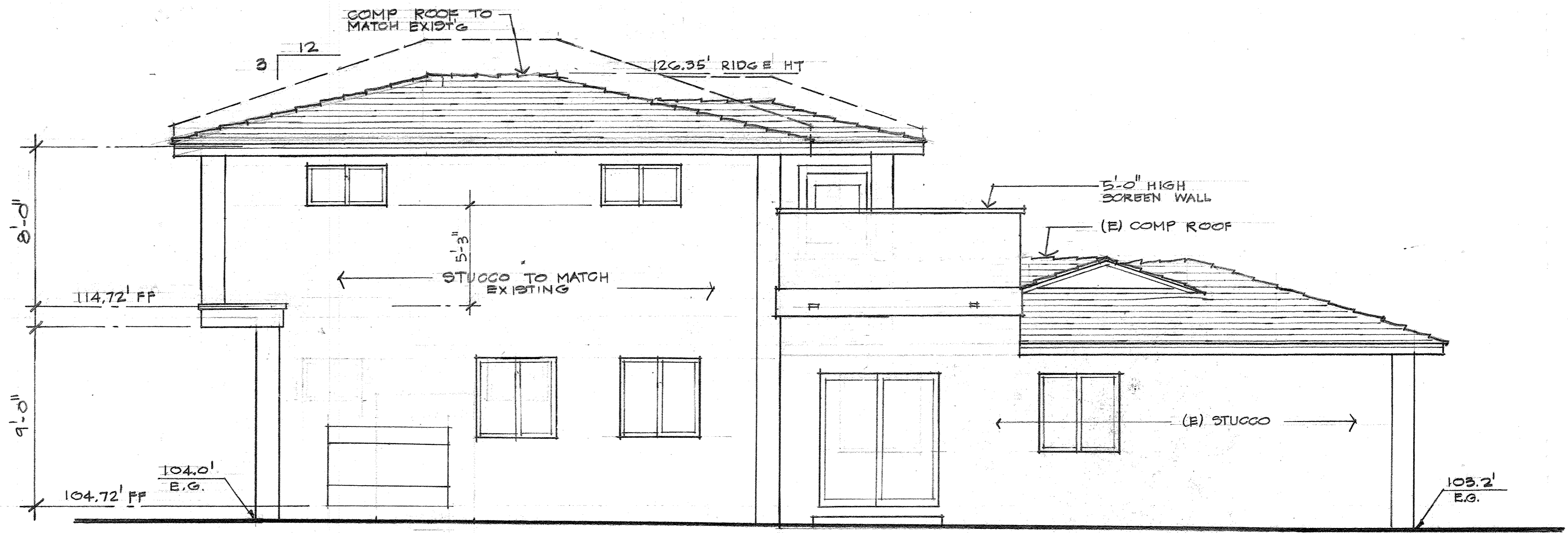
1/8" = 1'-0"



WEST ELEVATION



SECTION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

AGENDA ITEM NO. 8C

DATE: July 24, 2024

TO: Planning Commission

FROM: Luis Velazquez, Planning Associate
Leo Oorts, Planning Manager

SUBJECT: 22209 Susana Avenue (APN 7515-001-025)
Precise Plan of Development (PRE23-00013)

Consideration of a Precise Plan of Development to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue (APN 7515-001-025).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-003 for approval of a Precise Plan of Development to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue (APN 7515-001-025), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15303 (New Construction).

EXECUTIVE SUMMARY

The project applicant, Douglas Leach (Kirk Feldkamp), requests approval by the Planning Commission to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue.

The development standards of the R-1 Zone (Single Family Residential District) as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Precise Plan of Development (PRE) to allow new construction above 14' in height.

On January 17, 2024, the Planning Commission held a public hearing to consider the subject request. At that meeting, the applicant provided an overview of the project and after some deliberation the applicant requested a continuance to a date uncertain to allow additional time to conduct public outreach and consider design changes to the project. A motion for continuance to a date uncertain was approved by a vote 6-0. A copy of the previous staff report has been included as an attachment (Attachment 3).

Since that meeting, the applicant has been working with staff on potential design changes to the project that include reducing the total floor area from 3,906 square feet down to 3,675 square feet, as well as lowering the overall height from 25.1' down to 24.6'.

On April 12, 2024, the applicant submitted revised plans and a revised Silhouette Certification Form. Staff has thoroughly reviewed the project, as revised, and has determined the project is consistent with the Low-Density Residential land use designation and complies with the objective development standards of the R-1 Zone as well as the planning and design provisions of the Hillside Overlay, and does not require further environmental review. Staff notes a recommendation for denial had previously been made for the original project; however, staff is now recommending approval of the revised project. The balance of this report provides an overview of the revised project.

DISCUSSION

Building Floor Plan

The first floor area measures 1,640 square feet and features a contemporary, open floor plan that increases natural light and promotes accessibility between different living areas. The first floor contains a guest bedroom and bathroom, one half-bathroom, an open kitchen, dining area and great room, and a two-car garage. The great room and dining area are positioned at the rear and feature large sliding doors that open toward the rear covered outdoor living area, offering seamless continuity between indoor and outdoor areas. The new garage measures 450 square feet and is orientated towards the east. Staff notes the existing driveway will be repositioned along Susana Avenue to accommodate the new location of the garage and to provide greater separation from the intersection. The second floor area measures 1,585 square feet and features a traditional floor plan with separated rooms for comfort and privacy and that include two bedrooms with personal bathrooms, a main suite, and a laundry room.

Building Setbacks and Site Improvements

The residence is centered on the lot, providing a 20.12' front yard setback, a 6.5' side yard setback to the south, a 10.63' exterior side yard setback to the north, and a 21.39' rear yard setback. All setbacks meet or exceed the minimum requirements of the R-1 Zone. Staff notes an existing retaining wall in the rear yard area would be reconstructed parallel to the rear property line. The applicant is advised that retaining walls are limited to a maximum 5' in height and would be verified at the time of plan check. Staff also notes the cover sheet indicates a new pool is part of the scope of work; however, the applicant has confirmed that note was inadvertently kept on the plans. Staff has added a condition of approval that requires the applicant to remove the new pool from the scope of work at the time of plan check.

Building Height

As previously mentioned, the applicant had originally proposed a two-story residence measuring 25.1' in height from the topmost ridgeline (128.0') down to the lowest adjacent grade (102.9'). The proposed two-story residence, as revised, has been lowered and measures 24.6' in height from the topmost ridgeline (127.0') down to the lowest adjacent grade (102.4'), and is within the allowable 27' height limit for a two-story residence in the R-1 Zone. Staff notes for properties located within the Hillside Overlay, new construction is allowed to exceed 14' in height with approval by the Planning Commission.

Lot Coverage, Open Space, and Floor Area Ratio

As previously noted in the report, the proposed residence is positioned at center of the project site, thus allowing a large open space in the front and rear yard areas. The total usable open space in the front and rear yard areas measure 4,705 square feet (68%), which exceeds the 33% minimum open space requirement of the R-1 Zone. The total land area covered by the residence measures 2,461 square feet (36%), within the allowable 40% lot coverage limit of the R-1 Zone. Utilizing gross square feet, the proposed residence measures 3,675 square feet in floor area resulting in a 0.53 Floor Area Ratio (FAR), within the allowable 0.60 FAR limit of the R-1 Zone. Staff notes the project is not subject to the net interior 0.50 FAR limit of the Hillside Overlay, as it does not involve remodeling or additions to an existing residence.

Provided below is a summary of the proposed residence:

| 22209 Susana Avenue | | | | |
|---|-------------------------|----------|--------------------------|----------|
| | Revised Proposal | | Original Proposal | |
| Lot Area | 6,918 sf | | 6,918 sf | |
| Proposed Building Height | 24.6 ft | | 25.1 ft | |
| Maximum Two-Story Building Height Limit | 27 ft | | 27 ft | |
| Proposed First Floor Area | 1,640 sf | | 1,634 sf | |
| Proposed Second Floor Area | 1,585 sf | | 1,822 sf | |
| Proposed Garage Floor Area | 450 sf | | 450 sf | |
| Proposed Total Floor Area | 3,675 sf | | 3,906 sf | |
| Proposed Lot Coverage | 35.6% | 2,461 sf | 39% | 2,705 sf |
| Maximum Lot Coverage Limit | 40% | 2,767 sf | 40% | 2,767 sf |
| Proposed Floor Area Ratio | 0.53 | FAR | 0.56 | FAR |
| Maximum Floor Area Ratio Limit | 0.60 | FAR | 0.60 | FAR |
| Proposed Open Space Area | 68% | 4,705 sf | 63% | 4,465 sf |
| Minimum Open Space Requirement | 33% | 2,305 sf | 33% | 2,305 sf |

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to reconstruct a silhouette of the proposed two-story residence, as revised, to demonstrate potential impacts. A licensed engineer has verified the height of the revised silhouette (Attachment 2), and staff made field assessments on May 1, 2024,

and May 8, 2024. Staff notes the applicant also conducted additional outreach to ensure the proposed residence, as revised, did not adversely affect any neighbors.

During the most recent field assessments, staff met with the property owners at 22206 and 22215 Susana Avenue and 5803 Avenue A with the purpose of conducting outreach, sharing the revised plans, and for consideration of any potential substantial adverse impacts the proposed residence may have on view, light, air, and privacy. Staff also contacted the neighboring property owner at 22212 Susana Avenue to discuss the project plans and assess any potential impacts. The property owner at 22212 Susana Avenue did not express any concerns.

Field assessments were not conducted from other properties located along Avenue A, Susana Avenue, nor Shadycroft Avenue due to their distance away from the project site, changes in elevation, and in the judgement of staff, the unlikelihood to have a substantial adverse impact to view, light, air and privacy. In addition, field assessments were not conducted from properties located outside the City of Torrance west of the project site.

Staff met with the property owner of 5803 Avenue A to discuss the reconstructed silhouette and consideration of any potential substantial adverse impacts the proposed residence may have on view, light, air, and privacy. When standing in the front living room looking south, staff observed the reconstructed silhouette, neighboring residences, trees in the vicinity, and further away the Palos Verdes hills. Staff noted the new silhouette alleviated a portion of the prior view concern thus allowing a greater view of the southwestern Palos Verdes Hills. The property owner expressed that while there are improvements to view, the southeastern perspective remains obstructed, leading to continued opposition to the project. While acknowledging that a portion of the existing view will be obstructed, the applicant has made efforts to mitigate this impact by reducing the height and second-floor area. The efforts include reducing the floor area from 1,822 square feet to 1,585 square feet and removing the second-floor balconies which brought the second floor 25'-5" inward. Additionally, the applicant lowered the height by adjusting the lowest proposed grade from 102.9' to 102.4' and reducing the height by 6", bringing the total height reduction to 12". In the judgement of staff, based on field observations, the silhouette placement, and existing site conditions, the proposed two-story residence, as revised, does not appear to produce significant adverse impacts to view of the Palos Verdes hills.

The property owner at 22206 Susana Avenue expressed concerns regarding the impact on view and light, specifically to views of the neighboring city and homes, along with the reduction of natural sunlight during certain seasons. In the judgment of staff, the proposed residence would not result in a substantial adverse impact on view or light due to the position of the proposed residence at a lower elevation and the natural variation in sunlight throughout the year.

The property owner at 22215 Susana Avenue expressed concerns regarding the impact on privacy, specifically due to the proposed southeast second-floor window that would allow direct views into their rear property, living room, and rear bedroom. In the judgment of staff, the proposed residence would not result in a substantial adverse impact to privacy since the proposed southeast second-floor window is intended for a bathroom as well as the orientation and height of the window and would not result in a privacy intrusion.

CONCLUSION

In judgement of staff, the proposed two-story residence, as revised, conforms to the planning and design provisions of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. For example, the proposed two-story residence has been revised to reduce the overall height and size of the second floor area, thus limiting the potential to have a substantial adverse impact to view. The project, as revised, is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request, as revised, also complies with the objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation. Staff recommends approval of the revised project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 11, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday

through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-003
2. Silhouette Certification (Revised)
3. Previous Staff Report and Supplemental Material (January 17, 2024)
4. Project Plans (Revised)
5. Code Requirements
6. Correspondence

STAFF CONTACT

Luis Velazquez, Planning Associate
LVelazquez@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8C
ATTACHMENT 1
RESOLUTION NO. 24-003

PLANNING COMMISSION RESOLUTION NO. 24-003

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 22209 SUSANA AVENUE (APN 7515-001-025).

PRE23-00013: DOUGLAS LEACH (KIRK FELDKAMP)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on January 17, 2024, to consider an application for a Precise Plan of Development filed by Douglas Leach (Kirk Feldkamp) to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue (APN 7515-001-025);

WHEREAS, the matter was continued to a date uncertain to allow the applicant additional time for public outreach and project redesign; and

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application for a Precise Plan of Development filed by Douglas Leach (Kirk Feldkamp) to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue (APN 7515-001-025); and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 22209 Susana Avenue (APN 7515-001-025);
- b) That the property is described as Lot 181 of Tract 17921 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the proposed construction of a new two-story single-family residence is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15303 (New Construction);
- d) That the proposed residence, as revised and conditioned, complies with the objective development standards of the R-1 Zone to the extent applicable, and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed residence, as revised and conditioned, will not have a substantial adverse impact upon the view, light, air, and privacy of other properties in the vicinity because the proposed two-story residence, as revised, has been designed to preserve existing views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;

- f) That the proposed residence, as revised, has been located, planned, and designed to minimize the intrusion on views, light, air, and privacy of other properties in the vicinity because the project includes a reduction in overall height and a decrease in the second-floor area to address and alleviate view obstruction concerns. In addition, the rear balcony was removed from the project plans to further alleviate the view obstruction concerns. These revisions ensure that the new residence causes the least intrusion on the views from adjacent properties, thus limiting potential adverse impacts on surrounding properties.;
- g) That the design of the proposed residence, as revised and conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest and the proposed exterior design elements are in keeping with the architecture and finishes of other recently developed properties;
- h) That the design of the proposed residence, as revised and conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the proposed residence will be constructed in such a way that there is no exposure to public view of plumbing, electrical, mechanical equipment, ducts, pipes or other construction appurtenances normally associated with a residential structure, and will not result in a substantial change in the physical conditions which exist in the area;
- i) That granting such application, as revised and conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single-family residence is an appropriate use for this property and the proposed residence, as conditioned, has been designed so as to limit potential adverse impacts to view, light, air, and privacy; and
- j) That the proposed residence, as revised and conditioned, would not cause or result in a substantial adverse cumulative impact on other properties in the vicinity because it conforms to the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance and the residence has been designed so as to limit potential adverse impacts to view, light, air, and privacy;

WHEREAS, the Planning Commission by the following roll call vote APPROVED PRE23-00013, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE23-00013 filed by Douglas Leach (Kirk Feldkamp) to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue (APN 7515-001-025), on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 23-00013 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or

constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the maximum height of the residence at the highest point of the roof shall not exceed 24.6' as represented by the survey elevation of 127' based on the proposed lowest adjacent grade of 102.4' located at the front of the residence, based on a benchmark elevation of 100' located at the northwest corner of the property on the public right of way as shown on the official survey map on file in the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing of roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That a copy of Planning Commission Resolution No. 24-003 shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That the height calculations, scope of work and Lowest Adjacent Grade shall be corrected as noted in the staff report and shall be provided on the building plan set at the time of plan check; (Planning)
6. That the applicant shall continue to work with staff to demonstrate the proposed retaining walls and fences on the property do not exceed the maximum height limits per Code to the satisfaction of the Community Development Director; (Planning)
7. That a landscape plan shall be submitted to the Planning Division for review and approval prior to building permit issuance. The landscape plan shall be prepared in compliance with the latest State Water Efficient Landscape Ordinance and shall utilize drought tolerant California friendly vegetation, shade-producing trees, and shall provide a water efficient irrigation system. The landscape plan shall be implemented prior to occupancy, and landscaping shall be maintained in good condition to the satisfaction of the Planning Manager; (Planning)
8. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
9. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
10. That the applicant shall provide 4" minimum contrasting address numeral for residential, condo, etc. uses; (Environmental)
11. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)

- 12. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Water)
- 13. That if fire sprinklers are required, upgrade existing water service to 1" min; and (Water)
- 14. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8C
ATTACHMENT 2

SILHOUETTE CERTIFICATION (REVISED)



City of Torrance, Community Development Department, Planning Division
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 22209 Susana Ave, Torrance, CA 90505 (7515-001-025)
STREET ADDRESS ASSESSOR PARCEL NUMBER

on 4/17/24, based on the project plans submitted to the City of Torrance
DATE OF SURVEY

by Kirk Feldkamp on 4/11/24
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at 22209 Susana Ave, Torrance, CA 9050
LOCATION OF BENCHMARK

which established a base elevation of 100.00' **-LTT Stamped L.S. 9806**
BASE ELEVATION as shown on attached exhibit

The highest point of the silhouette was determined to have an elevation of 126.90'
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 127.00'
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 101.82
EXISTING LOWEST ADJACENT GRADE

The project plans indicate the lowest adjacent grade should have an elevation of 102.40'
PROPOSED LOWEST ADJACENT GRADE

I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.

Profet
SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

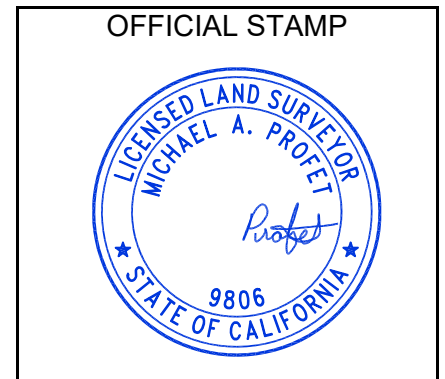
4/19/24
DATE OF SIGNATURE

Michael Profet
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

L.S. 9806
LICENSE NUMBER

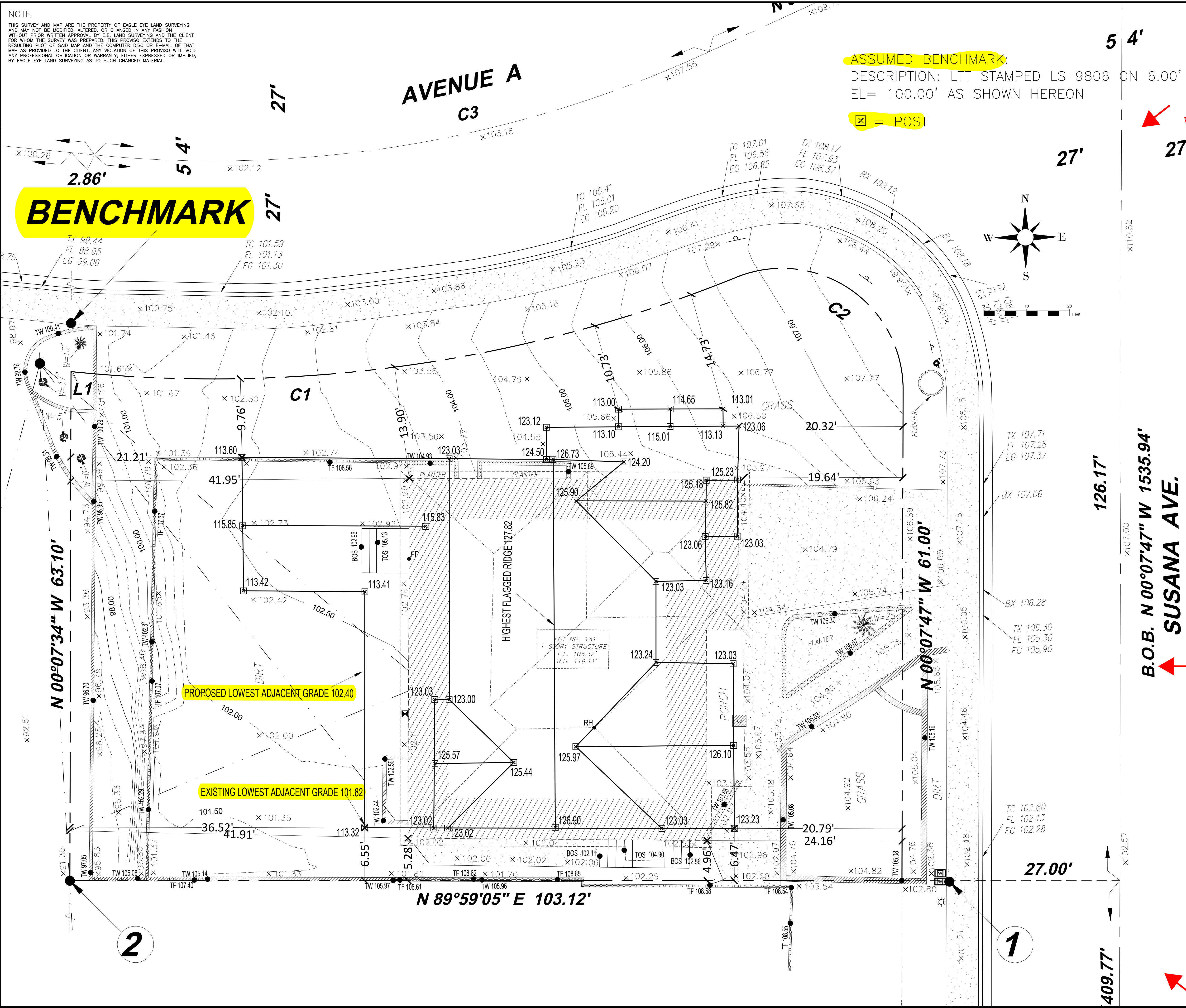
mikeprofet@eagleeyelandsurveying.com
EMAIL ADDRESS

310-955-8901
TELEPHONE NUMBER



| FOR STAFF USE ONLY – DO NOT COMPLETE BELOW | | |
|--|--|---|
| PLANNING RECORD NUMBER(S) PRE23-00013 | | DATE STAMP RECEIVED <div style="border: 2px solid blue; padding: 5px; text-align: center;"> RECEIVED 04/19/2024 </div> |
| REVIEW COMPLETED BY Luis Velazquez | REVIEW COMPLETED DATE May 12, 2024 | |
| STAFF DETERMINATION <input checked="" type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION | | |

NOTE
 THIS SURVEY AND MAP ARE THE PROPERTY OF EAGLE EYE LAND SURVEYING AND MAY NOT BE MODIFIED, ALTERED, OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY E.E. LAND SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVIDED EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISC OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISION WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, BY EAGLE EYE LAND SURVEYING AS TO SUCH CHANGED MATERIAL.



BENCHMARK

ASSUMED BENCHMARK:

DESCRIPTION: LTT STAMPED LS 9806 ON 6.00' PL PROD N'LY OP PC EL= 100.00' AS SHOWN HEREON

☒ = POST

Photo Location Typical

MAP ISSUE DATE: 4/19/24
 DRAFTED BY: M.A.P.

ABBREVIATIONS:

| | |
|-------|----------------------------|
| AB | AGGREGATE BASE |
| AC | ASPHALT PAVEMENT |
| AD | AREA DRAIN |
| BM | BENCHMARK |
| BOS | BOTTOM OF STAIRS |
| BOW | BACK OF WALK |
| BRMP | BOTTOM OF RAMP |
| BS | BOTTOM OF SLOPE |
| CB | CATCH BASIN |
| CBW | CONCRETE BLOCK WALL |
| CF | CURE FACE |
| CL | CHAIN LINK FENCE |
| CONC | CONCRETE |
| E | EAST |
| EG | EDGE OF GUTTER |
| EL | ELEVATION |
| EM | ELECTRIC METER |
| EMH | ELECTRIC MANHOLE |
| EP | EDGE OF PAVEMENT |
| EPB | ELECTRIC PULL BOX |
| EV | ELECTRIC VAULT |
| EVV | ELECTRICAL VENTILATION BOX |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FL | FLOW LINE |
| FO | FOUND |
| FOV | FACE OF WALK |
| FS | FINISHED SURFACE |
| GB | GRADE BREAK |
| GM | GAS METER |
| GV | GAS VALVE |
| ICV | IRRIGATION CONTROL VALVE |
| IE | INVERT ELEVATION |
| IP | IRON PIPE |
| LP | LEAD, TACK & TAG |
| LT | LEAD & TACK |
| MP | METAL POST |
| N | NORTH |
| NG | NATURAL GROUND ELEVATION |
| O/S | OFFSET |
| OHW | OVERHEAD WIRE |
| PB | PULL BOX |
| PC | PROPERTY CORNER |
| PL | PROPERTY LINE |
| PLS | PROFESSIONAL LAND SURVEYOR |
| PLT | PARKING LOT LIGHT |
| PM | PARKING METER POST |
| PP | POWER POLE |
| PROD | PRODUCED |
| RCE | REGISTERED CIVIL ENGINEER |
| RW | RETAINING WALL |
| S | SOUTH |
| SB | SPLASH BOX |
| SDMH | STORM DRAIN MANHOLE |
| SMH | SEWER MANHOLE |
| SPB | SIGNAL PULL BOX |
| STLT | STREET LIGHT |
| SW | SPIKE & WASHER |
| TBM | TEMPORARY BENCHMARK |
| TC | TOP OF CURB |
| TELMH | TELEPHONE MANHOLE |
| TG | TOP OF GRATE ELEVATION |
| TOS | TOP OF STAIRS |
| TR | TREE |
| TS | TRAFFIC SIGNAL |
| TS | TOP OF SLOPE |
| TW | TOP OF WALL |
| TX/BX | TOP/BOTTOM OF X |
| W | WEST |
| WF | WOOD FENCE |
| WF | WROUGHT IRON FENCE |
| WM | WATER METER |
| WV | WATER VALVE |

E.E. LAND SURVEYING

CLIENT: FELDKAMP
 PROJECT NO. 23-178
 DATE: 4/17/24
 ASSESSOR'S I.D. NUMBER: APN: 7515-001-025
 LEGAL DESCRIPTION: LOT NO. 181 TRACT NO. 17921 M.B. 442-44

SILHOUETTE CERTIFICATION

SITE ADDRESS: 22209 Susana Ave, Torrance, CA 90505

LICENSED LAND SURVEYOR
 ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A LICENSED LAND SURVEYOR, LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, MICHAEL PROFET, LS 9806
 PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE SECTION 8700-8805.



PREPARED BY: EAGLE EYE LAND SURVEYING
 CIVIL ENGINEERING & LAND SURVEYING
 1311 MANHATTAN BEACH BLVD.
 #4 MANHATTAN BEACH, CA 92780
 PHONE (310)955 8901

ITEM 8C
ATTACHMENT 3

PREVIOUS STAFF REPORT AND SUPPLEMENTAL MATERIAL
(JANUARY 17, 2024)

AGENDA ITEM NO. 8C

CASE TYPE & NUMBER: Precise Plan of Development – PRE23-00013

NAME: Douglas Leach (Kirk Feldkamp)

PURPOSE OF APPLICATION: Request for approval of a Precise Plan of Development to allow the construction of a new two-story single-family residence on property located within the Hillside Overlay in the R-1 Zone.

LOCATION: 22209 Susana Avenue

ZONING: R-1 Single-Family Residential District / R-H Hillside Overlay

ADJACENT ZONING AND LAND USE:

NORTH: R-1 / R-H One and Two-Story Single-Family Residences

SOUTH: R-1 / R-H One-Story Single-Family Residences

EAST: R-1 / R-H One and Two-Story Single-Family Residences

WEST: City of Redondo Beach

GENERAL PLAN DESIGNATION: Low Density Residential

COMPLIANCE WITH GENERAL PLAN: The site has a General Plan land use designation of Low Density Residential allowing up to nine dwelling units per acre. Development in the Low Density Residential (R-LO) land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The proposed construction of a new two-story single-family residence is consistent with the Low Density Residential land use designation.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: The subject property contains a one-story single-family residence with a two-car garage, constructed in 1954. The property features a downslope at the front northeast corner and has a relatively flat building pad situated below the intersection of Avenue A and Susana Avenue.

ENVIRONMENTAL FINDINGS: In residential zones the construction of a new two-story single-family residence is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15303.

ANALYSIS:

The project applicant, Douglas Leach, requests approval by the Planning Commission to allow the construction of a new two-story single-family residence on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue. The development standards of the R-1 Zone (Single Family Residential District) as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of a Precise Plan of Development (PRE) to allow new construction above 14' in height. The balance of this report provides an overview of the project.

Project Site

The project is situated on a rectangular shape lot measuring 7,020 square feet in area, which exceeds the minimum lot area and minimum dimensions required in the R-1 Zone. The project

site is located at the southwest corner of Avenue A and Susana Avenue and is orientated toward east. The building pad of the proposed residence would be raised approximately 10" above the existing grade level at the southern west corner to accommodate for changes in topography. The pad height of the adjacent one-story residence to the south at 22215 Susana Avenue sits slightly below the project site, whereas the pad heights of the one and two-story residences across the street along Avenue A and Susana Avenue are situated above the project site. Staff notes the residences that abut at the rear are located within the City of Redondo Beach.

Building Setbacks

The proposed residence is positioned at center of the project site and provides a 20' front yard setback to the front property line, a 6.5' side yard setback to the southerly side property line, a 10' side yard setback to the northerly side property line, and a 20' rear yard setback to the rear property line, all which meet or exceed the minimum setback requirements of the R-1 Zone.

Building Height

The proposed residence consists of two floor levels and measures 25.1' in height from the topmost ridgeline (128.0') down to the lowest adjacent grade (102.9) along the rear side of the residence, within the allowable 27' height limit for a two-story residence in the R-1 Zone. Staff notes for properties located within the Hillside Overlay, new construction is allowed to exceed 14' in height with approval by the Planning Commission.

Building Architecture

The proposed residence demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Exterior finishes are consistent with new residential construction in the vicinity, as the design features a craftsman style with a combination of shingle siding and composition roof shingles, exposed rafter tails, and trim around the windows. Additional features include a front and rear balcony, which promote quality experience and increased value.

Building Floor Plan

The proposed residence consists of two floor levels and with the common areas located on the ground level and the individual living areas located on the upper level.

The first floor area measures 1,634 square feet and features a contemporary floor plan with open spaces that increase natural light and promote accessibility between different living areas. The first floor contains one bedroom, one bathroom, one half-bathroom, an open kitchen and dining area, a staircase, and a two-car garage. The great room and dining area are positioned at the rear and feature large sliding doors that open toward the rear covered outdoor living area, offering seamless continuity between indoor and outdoor areas. The new garage measures 450 square feet and is orientated toward the front. Staff notes the existing driveway will be repositioned to the south along Susana Avenue to accommodate the new location of the garage and to provide greater separation from the intersection. Staff also notes an existing retaining wall in the rear yard area would be reconstructed parallel to the rear property line. Staff notes the applicant is advised that retaining walls are limited to a maximum 5' in height and would be verified at the time of plan check. Lastly, staff notes a pool and spa are also proposed in the rear yard, which are under a separate permit and would be reviewed at the time of plan check.

The second floor area measures 1,822 square feet and features a traditional floor plan with interior walls that separate different rooms and create smaller spaces for comfort and privacy,

such as bedrooms and bathrooms. The second floor contains three bedrooms, three bathrooms, a laundry room, a playroom, a staircase, and a front and rear balcony. The front balcony measures 164 square feet in area and provides a 6.5' setback to the southerly side property line. The rear balcony measures 318 square feet and provides a 21' setback to the southerly side property line and a 20' setback to the rear property line. Staff notes the rear balcony extends 6' 4" toward the rear beyond the extent of the second story.

Lot Coverage, Open Space, and Floor Area Ratio

As previously noted in the report, the proposed residence is positioned at center of the project site, thus allowing a large open space in the front and rear yard areas. The total usable open space in the front and rear yard areas measure 4,465 square feet (64%), which meets the 33% minimum open space requirement of the R-1 Zone. The total land area covered by the residence measures 2,705 square feet (39%), within the allowable 40% lot coverage limit of the R-1 Zone. Utilizing gross square feet, the proposed residence measures 3,906 square feet in floor area resulting in a 0.56 Floor Area Ratio (FAR), within the allowable 0.60 FAR limit of the R-1 Zone. Staff notes the project is not subject to the net interior 0.50 FAR limit of the Hillside Overlay, as it does not involve remodeling or additions to an existing residence. Staff notes a minor discrepancy was identified with the floor area calculations shown on the project plans. Staff recommends a condition of approval that should the project be approved, the applicant will be required to provide the correct floor area calculations as per the staff report on the building plans at the time of plan check.

Provided below is a summary of the proposed residence:

| 22209 Susana Avenue | |
|---|----------------|
| Lot Area | 7,020 sf |
| Proposed Building Height | 25.1 ft |
| Maximum Two-Story Building Height Limit | 27 ft |
| Proposed First Floor Area | 1,634 sf |
| Proposed Second Floor Area | 1,822 sf |
| Propose Garage Floor Area | 450 sf |
| Proposed Total Floor Area | 3,906 sf |
| Proposed Lot Coverage | 39% (2,705 sf) |
| Maximum Lot Coverage Limit | 40% (2,808 sf) |
| Proposed Floor Area Ratio | 0.56 FAR |
| Maximum Floor Area Ratio Limit | 0.60 FAR |
| Proposed Open Space Area | 63% (4,465 sf) |
| Minimum Open Space Requirement | 33% (2,340 sf) |

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed two-story residence to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 4) and staff made field assessments on December 26, 2023 and January 4, 2024.

During the field assessments, staff met with the property owners at 5803 Avenue A, and 22207, 22213 Shadycroft Avenue. Staff also attempted to contact the neighboring properties at 5727 Avenue A and 22206, 22212, 22215 Susana Avenue, with the purpose of conducting outreach, sharing the project plans, and for consideration of any potential substantial adverse impacts the proposed residence may have on view, light, air, and privacy. Field assessments were not conducted from other properties located along Avenue A, Susana Avenue, nor Shadycroft Avenue due to their distance away from the project site and, in the judgement of staff, the unlikelihood to have a substantial adverse impact to view, light, air and privacy. In addition, field assessments were not conducted from properties located outside the City of Torrance west of the project site.

Staff notes correspondence was received from 5721, 5803 Avenue A, 22206 Susana Avenue, and 22207, 22213 Shadycroft Avenue (Attachment 6). Staff also notes that additional correspondence was received; however, the return address was not specified. Staff initiated contact with that sender through a phone call and left a message to provide assistance and additional information about the project if needed. Staff also notes the applicant has submitted correspondence that summarizes the project and their efforts at neighbor outreach (Attachment 5). As of the preparation of this report, no new communication has been received.

The property owners at 22207 and 22213 Shadycroft Avenue expressed similar concerns regarding potential impacts to view and privacy, specifically impacts to views of the ocean, trees, streets, and lights in the vicinity resulting from the proposed two-story residence and impacts to privacy resulting from the proposed front balcony. Staff notes the two properties at 22207 and 22213 Shadycroft Avenue are located approximately 200' east of the proposed residence and are situated at a much higher elevation than the properties along Susana Avenue. When standing on the two properties looking west, staff observed the silhouette, neighboring rooftops, trees and streets in the vicinity, and a partial view of the ocean on the horizon. Staff notes the silhouette does not obstruct any views of the ocean. In the judgment of staff, the proposed residence and front balcony would not result in a substantial adverse impact to view nor a substantial adverse impact to privacy due to its position at a lower elevation and the distance away from the residences at 22207 and 22213 Shadycroft Avenue.

The property owner at 5803 Avenue A expressed similar concerns regarding potential impacts to view, specifically impacts to view of the Palos Verdes hills resulting from the proposed two-story residence. Staff notes the property at 5803 Avenue A is located across the street approximately 55' north of the proposed residence and is situated above the project site. When standing in the front living room looking south, staff observed the silhouette, neighboring residences, trees in the vicinity, and further away the Palos Verdes hills. Staff notes the silhouette does obstruct views of the Palos Verdes hills. In the judgement of staff, based on field observations, the silhouette placement, and existing site conditions, the proposed two-story

residence does appear to produce significant adverse impacts to view of the Palos Verdes hills due to the proposed second story and the overall building height.

Conclusion

In the judgement of staff, the proposed two-story residence does not conform to the planning and design provisions of the Hillside Overlay. Although the project complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential land use designation, the proposed two-story residence has not been located, planned, and designed so as to cause the least intrusion on views of other properties in the vicinity. Specifically, the proposed second story and overall building height may result in a substantial adverse impact to views of the Palos Verdes hills that are observed from the property at 5803 Avenue A. Therefore, staff recommends the Planning Commission deny without prejudice the project as currently designed.

The applicant is advised that if the project were to be approved by the Planning Commission, the recommended conditions of approval and Code requirements have been included as an attachment to the staff report (Attachments 6, 7). Staff notes that Code requirements are not subject to modification. Decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the resolution.

PROJECT RECOMMENDATION: DENIAL WITHOUT PREJUDICE

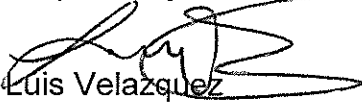
FINDINGS OF FACT IN SUPPORT OF DENIAL OF THE PRECISE PLAN:

Findings of fact in support of denial of the Precise Plan are set forth in the attached Resolution.

RECOMMENDED CONDITIONS, IF PROJECT IS APPROVED:

Recommended conditions of the proposed project are attached.

Prepared by,


Luis Velazquez
Planning Assistant

Respectfully submitted,


Leo Oorts
Planning Manager

Attachments:

1. Resolution No. 24-003
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Applicant Correspondence
6. Correspondence
7. Code Requirements
8. Conditions of Approval
9. Project Plans (Limited Distribution)

ITEM 8C
ATTACHMENT 1
RESOLUTION NO. 2024-003

PLANNING COMMISSION RESOLUTION NO. 24-003

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, DENYING WITHOUT PREJUDICE A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 22209 SUSANA AVENUE.

PRE23-00013: DOUGLAS LEACH (KIRK FELDKAMP)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on January 17, 2024, to consider an application for a Precise Plan of Development filed by Douglas Leach (Kirk Feldkamp) to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 22209 Susana Avenue;
- b) That the property is described as Lot 181 of Tract 17921 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That denial of a Precise Plan of Development to allow the construction of a new two-story single-family residence in a residential zone is Statutorily Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 18, Section 15270;
- d) That the proposed two-story residence complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed two-story residence may have a substantial adverse impact upon the view, light, air, and privacy of other properties in the vicinity because the proposed second story and overall building height would obstruct views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;
- f) That the proposed two-story residence has not been located, planned, and designed so as to cause the least intrusion on the views, light, air, and privacy of other properties in the vicinity because the proposed second story and overall building height would obstruct views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;
- g) That the design of the proposed two-story residence will not provide an orderly and attractive development in harmony with other properties in the vicinity because the proposed second story and overall building height may result in a substantial adverse impact to views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;

- h) That the design of the proposed two-story residence will have a harmful impact upon the land values and investment of other properties in the vicinity because the proposed second story and overall building height may result in a substantial adverse impact to views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;
- i) That granting such application to construct a new two-story residence would be materially detrimental to the public welfare and to other properties in the vicinity because the proposed second story and overall building height may result in a substantial adverse impact to views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;
- j) That the proposed two-story residence would cause or result in a substantial adverse height impact on other properties in the vicinity because the proposed second story and overall building may result in a substantial adverse impact to views of the Palos Verdes hills that are observed from the property at 5803 Avenue A;

WHEREAS, the Planning Commission by the following roll call vote DENIED WITHOUT PREJUDICE PRE23-00013:

AYES: COMMISSIONERS:
 NOES: COMMISSIONERS:
 ABSENT: COMMISSIONERS:
 ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE23-00013 filed by Douglas Leach (Peter Ventrella) to allow the construction of a new two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 22209 Susana Avenue, on file in the Community Development Department of the City of Torrance, is hereby DENIED WITHOUT PREJUDICE.

Introduced, and adopted this 17th day of January 2024.

ATTEST:

 Secretary, Torrance Planning Commission

 Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 17th day of January 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

PLANNING

1. Any fence, wall, or hedge within the required front yard setback area of any lot shall not exceed a height of four (4) feet within the first 10' of the property.
2. That no retaining wall shall be constructed which exceeds five (5) feet in height. If the grade to be retained exceeds five (5) feet, additional retaining walls may be constructed at higher elevations provided a planter area not less than two (2) feet in width is constructed between said retaining walls and is landscaped.

BUILDING AND SAFETY

3. Comply with 2022 CBC, CMC, CEC, CPC & CGBC.

ENGINEERING

4. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Susana Avenue and Avenue "A".
5. Close abandoned driveway(s) with full height curb and gutter to match existing (City Code sec. 74.4.4).
6. Construct proposed driveway approach on Susana Avenue per City of Torrance Standards with a maximum 18" driveway width.
7. Verify that all pool safety requirements have been met, including pool clearances, wall height and self-closing and self-latching gates.
8. Provide 20' average front yard setback; no building shall be closer than 15' minimum from the property line
9. Provide 5' side yard setback.
10. No portion any building shall be closer than 10' to the exterior property line

ENVIRONMENTAL

11. Bedroom sizes to be as determined per Torrance code (92.20.2).
12. The front yard of any property zoned for residential use shall not be more than 50%-paved per Torrance code (92.5.14).
13. Water heater shall not encroach into the required parking area.
14. The washer and dryer shall not encroach into the required parking area.
15. For residential uses, the interior dimensions of a two-car garage shall be 18 ft. wide by 20 ft. deep with no encroachments per Torrance code (93.5.2).
16. The property shall be landscaped prior to final inspection per Torrance code(92.21.9).

PUBLIC WORKS

17. Plant street trees within the City easement. Plant 24" box size Crape Myrtle "Muskogee", or Gold Medallion trees, one (1) at Susana Avenue and two (2) at Avenue A.

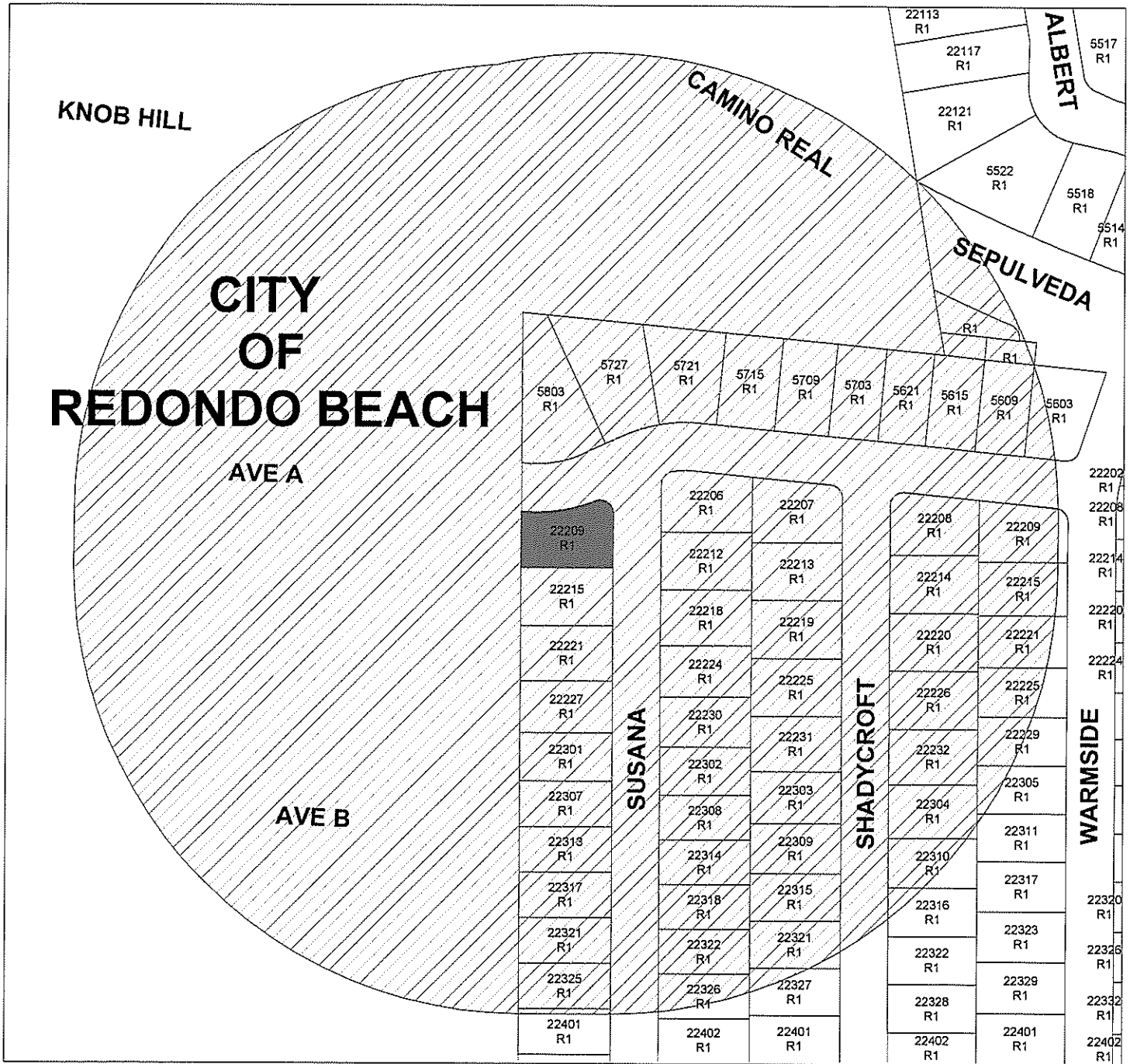
WATER

18. Contact the City of Torrance Fire Department to determine fire suppression requirements.

RECOMMENDED CONDITIONS FOR PRE23-00013, IF APPROVED:

1. That the use of the subject property for a single-family residence shall be subject to all conditions imposed in Precise Plan of Development 23-00013 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the applicant shall provide 4" minimum contrasting address numeral for residential, condo, etc. uses; (Environmental)
4. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)
5. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Water)
6. That if fire sprinklers are required, upgrade existing water service to 1" min; (Water)
7. That a copy of Planning Commission Resolution No. 24-003 shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
8. That the floor area calculations, including deck area, shall be provided on the building plans as calculated per the staff report at the time of plan check; (Planning)
9. That the applicant shall continue to work with staff to demonstrate the proposed retaining walls and fences on the property do not exceed the maximum height limits per Code to the satisfaction of the Community Development Director; (Planning)
10. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
11. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; and (Planning)
12. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

ITEM 8C
ATTACHMENT 2
LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

PRE23-00013
22209 Susana Avenue

LEGEND

- Notification Area
- 22209 Susana Ave

0 70 140 280 Feet

N
W E
S

ITEM 8C
ATTACHMENT 3
HILLSIDE OVERLAY SUBSTANTIATION

CITY OF TORRANCE - COMMUNITY DEVELOPMENT DEPARTMENT

TO BE SUBMITTED WITH HILLSIDE PRECISE PLAN APPLICATION PRE _____

GIVE FACTS TO SUBSTANTIATE THE FOLLOWING CRITERIA BY WHICH THE PLANNING COMMISSION MAY GRANT THIS HILLSIDE PRECISE PLAN. IT IS MANDATORY THAT THESE CRITERIA BE MET BEFORE THE CITY MAY LEGALLY GRANT A HILLSIDE PRECISE PLAN: AND, IT IS INCUMBENT UPON THE APPLICANT TO PROVE TO THE SATISFACTION OF THE CITY THAT THE CRITERIA ARE MET: (To be completed by all applicants)

1. Planning and Design (91.41.6)

- a. The following facts demonstrate that the proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity:

Inspection of the vicinity and standing on top of the existing roof revealed that no ocean views exist in this area. The property is on a Southwest corner and will not intrude on (see attached sheet)

- b. The following planning, design and locational considerations will insure that the proposed development will cause the least intrusion on the views, light, air, and privacy of other properties in the vicinity:

The proposed home features a farmhouse style which is a low profile type of architecture with shallow pitched roofs. The height of the house is 25.1 feet on the north side (128-102.9) and 24.45 feet on the south side (127.2-102.75). These numbers are well under the 27 foot allowable height limit. French doors on the second floor look out to Susana Ave. in front and Redondo Beach to the rear. The second floor is located nearly 28 feet from the rear property line.

- c. The following design elements have been employed to provide an orderly and attractive development in harmony with other properties in the vicinity:

The surrounding properties are a mixture of 1955 era homes and newer two story traditional styled homes. The farmhouse style is a popular traditional vernacular and will fit in (see attached sheet)

- d. The following aspects of the design insure that the development will not have a harmful impact upon the land values and investment of other properties in the vicinity:

We strongly believe the demolition of the dilapidated existing old home and the construction of the attractive proposed home will boost land values significantly in this area.

- e. Granting this application would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason (s):

Approving this home will boost land values and will not negatively affect any Torrance neighbors. No public safety issues will result from construction of this home.

- f. The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity, for the following reasons:

No ocean views exist in this area. The vicinity is very hilly and granting approval of this home will not set a precedent for any future home in this area. This is a unique and stand alone lot.

2. LIMITATION IN INCREASES IN HEIGHT (91.41.10) (To be completed by applicant for a Precise Plan that would increase the height of any part of the building to a height greater than that of the existing building)

- a. It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height, demonstrated by the following facts:

The existing home is small (1395 sq. ft. living) and very old containing 3 small bedrooms and 2 small bathrooms. The existing home is in very poor condition. The proposed (see attached sheet.)

- b. Denial of this application would constitute an unreasonable hardship for the following reason (s):

There are many 2 story homes in this vicinity. Denying this application would result in a severe financial hardship to the owners given the sales price of this property.

- c. Granting this application would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason (s):

As stated previously, this project will definitely boost property values in this vicinity. My clients have reached out to the Toronto neighbors and thus far there has not been any opposition to the project.

3. LIMITATION IN INCREASE IN BUILDING SPACE LOT COVERAGE (91.41.11)

(To be completed by applicant for a Precise Plan that would increase the interior floor area of the building to more than 50% of the area of the lot.)

- a. Denial of this application would constitute an unreasonable hardship for the following reason (s):

Not applicable

Lot Area = 6918 sq ft x .5 = 3459 sq ft

Total Living Area proposed = 3456 sq ft

- b. Granting this application would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason (s):

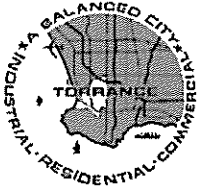
CITY OF TORRANCE – COMMUNITY DEVELOPMENT DEPARTMENT

1. a. (cont.) ... light to the adjacent south neighbor. The property to the west is located in Redondo Beach. Secondary ventilation windows and not view windows are proposed at the second level of the proposed home. The master deck is situated 21 feet away from the south property line. The ocean breeze coming from the west will not be negatively impacted to any neighbor.

1. c (cont.) ... very nicely to this area. Special care was given to all the exterior elevations as this is a corner lot, and will be widely seen at 3 sides.

2. a (cont.) ... new home is necessary to meet the 2023 needs of the Feldkamp family. Expanding the existing home is not a viable option.

ITEM 8C
ATTACHMENT 4
SILHOUETTE CERTIFICATION



Height and Location Certification

The survey must be performed by a licensed land surveyor or civil engineer and should be accompanied by a map which shows the location of the bench mark and the locations where the measurements were taken. The map should also show the location of existing and proposed structures.

SILHOUETTE CERTIFICATION

I have surveyed the silhouette located at 22209 Susana Ave,
(address)

Torrance, CA 90505 on 10/15/23, based on plans submitted to the City of Torrance
(date)

by Douglas Leach on October 2, 2023. The survey was taken
(applicant/architect) (date)

from a bench mark located at 22209 Susana Ave, Torrance, CA 90505 - LTT Stamped L.S. 9806
(address) as shown on attached exhibit

(attached map) which established a base elevation of 100.00'.

The ridge line/highest point of the roof was determined to have an elevation of 127.82'.

The plans indicate that the elevation should be 128.00'.

*I certify that I have measured the location of pertinent features located on the subject property. Based on the plans submitted to the Community Development Department, I have verified that the silhouette/construction accurately represents the proposed structure in terms of **height, building envelope, location on the site, and all setbacks.***

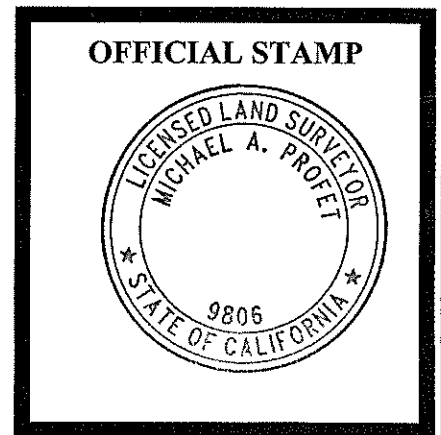
Michael Profet
Name (please print)

L.S. 9806
LS/RCE#


SIGNATURE

310-955-8901
PHONE

10/17/23
DATE



Notes: _____

ITEM 8C
ATTACHMENT 5
APPLICANT CORRESPONDENCE

Velazquez, Luis

From: [REDACTED]
Sent: Tuesday, January 9, 2024 10:33 PM
To: Velazquez, Luis
Cc: 'Doug Leach'
Subject: 22209 Susanna Avenue
Attachments: Feldkamp Letter to Planning Commission - 22209 Susana Ave.pdf

Hi Luis,

I'm sending this email on behalf of Doug. See below. Let us know if you have any questions.

Hi Luis,

Please find my letter to the Planning Commission attached as well as the rendering, photos, charts, section drawing through staircase" and a couple screenshots.

Wanted to mention a couple things...

I took a look at the feasibility of a one-story design on the property. It would not be possible unless one reverted back to 1955 sizes for the living areas, kitchen, bedrooms, etc. This would be an absolute disaster. I also explored the possibility of reducing the second floor significantly and pulling it back to the East. This approach has merit and we feel strongly is the proper and fairest compromise for this property. I want to point out that in the View Equity Ordinance a more comprehensive definition of view is provided. It specifically states that "the term, view does not mean an unobstructed panorama of these features" (hillsides, ocean, skylines, etc.)

Please consider all of the above when writing your staff report.

Best regards,

Doug

Kirk Feldkamp
[REDACTED]

January 9, 2024

To: City of Torrance Planning Commission

Re: Hillside Overlay for 22209 Susanna Avenue

Dear Planning Commission Members,

This letter has multiple purposes, beginning with providing some project history for the record. Secondly, we wish to respond to written communication you have received in opposition to this project. Thirdly, my clients have thoroughly researched this neighborhood with respect to existing two-story homes and prior Hillside Overlay processes that have transpired. Related charts are attached for your reference. Lastly, we wish to inform you of subsequent meetings with neighbors that have occurred since we became aware of a few of the neighbors' complaints.

My clients are a young couple who purchased the property with the intention of building a new home for their family including their small daughter and possible future children. The Feldkamps were well aware that this property was located inside Hillside Overlay boundaries. When they contacted me as a possible Architect for the project, I strongly suggested they speak with contiguous neighbors and adjacent neighbors across both streets (Avenue A and Susana Ave.) before we began the design. Kirk Feldkamp did just that. Additionally, the Feldkamps sent invitations out to neighbors for a Meet & Greet which was held on October 1, 2023, from 10:00 – 11:30 a.m. A table was set up in front of the subject property with the plans, and coffee and donuts were served. Encouraged by the initial dialogs with several neighbors, including the owner of 5803 Avenue A, we proceeded with laying out the home before you.

Per my client's research, it is clear that this is NOT a one-story neighborhood. The attached charts reveal that there are 34 two-story homes in this area which involved 31 PRE approvals (see Chart 1). The second chart lists many of the approved heights of these homes (see Chart 2). The project before you proposes a height of 25.1 feet, well within bounds of previous approvals. We will be replacing a dilapidated 1952 house which was apparently abused by the former occupants. Inspection of this property clearly revealed that this is a tear-down house. We will replace this eye sore with a beautiful new Craftsman residence (see attached rendering).

Regarding the written opposition you have received thus far, we would like to make the following points:

The letter from the neighbor at 5721 Avenue A states that she will incur a loss of ocean and city light view. This is far from the truth as evidenced by the attached photo taken in front of her exterior front windows (see attached photo #1). This house is occupied by some very nice renters that we met when my client and I canvassed the area.

The letter from the owner of 22207 Shadycroft Avenue states the proposed home is too high. My client and I met with this couple on December 30, 2023, to further understand the owner's concerns and stood just inside their living room. We saw clearly over the top of the silhouette (see attached photo

#2). Also, the proposed home is a far cry from a "McMansion" which is often coined verbiage used by opposing neighbors. I have practiced for 37 years and have designed quite a few large mansions; this is definitely not one of them. This neighbor also claims privacy loss will occur. Please keep in mind that this neighbor's rear living room wall is 165 feet from the proposed home with a floor level that appears to be at least 15 feet higher than our proposed second floor. Additionally, a low concrete wall exists at this neighbor's rear property line. To my eye, it seemed very unlikely that the resulting angle would cause any loss of privacy. This property is looking down on the subject property, not vice versa. Once again, please review the attached photo #2.

The owner of 22213 Shadycroft Avenue has expressed concerns regarding view, privacy, and breeze. This home is also located some 165 feet away from the proposed home. The letter from this neighbor repeatedly refers to my client as "the developer." My client is NOT a developer. The use of this term is intentional to put an untrue spin on my client, as most developers are typically not well received when building in residential areas. Regarding view obstruction, a large tree exists in the rear yard of this resident's westerly neighbor (see attached photo 3), which is currently obstructing the neighbor's view. Although we have not stood in this neighbor's backyard, I would find it hard to believe that the proposed home affects any substantial vista. We did stand in the adjacent neighbor's rear yard which was formerly discussed. The opposing letter also says the proposed home is towering, yet the proposed height is only 25.1 feet, well under many other previously approved homes in this area. The comment regarding loss of breeze I felt was almost not worthy of response as it is without merit.

The neighbor directly across the subject property at 22206 Susanna Avenue is a renter. He has written an opposing letter and seemed confused about a few things. I am attaching a photo I shot in front of the living room windows. As you can see, the silhouette does not affect any view (see attached photo #4). Additionally, attached photo #5, clearly shows unobstructed views of the Palos Verdes hills.

The owner of 5803 Avenue A, which is directly across the subject property, differs in his recollection of an earlier conversation he had with my client. Per my client, this neighbor stated he would support a two-story home initially but flipped his position after the silhouette was erected. In either event, my client showed this neighbor the proposed exterior elevation after it was developed and the gentleman texted back, "looks beautiful". A screenshot of that text is attached (see photos #6 and #7). Once the silhouette was erected, the neighbor expressed concerns regarding loss of view. My client made several attempts to arrange a meeting so they can discuss the neighbors' concerns and come up with a mutually beneficial solution. My client even offered to have a meeting with me in attendance, so we can discuss revising the drawings to preserve their views, but he ultimately did not agree to a meeting. Unfortunately, it seemed that the neighbor was not willing to consider any sort of compromise. I also personally met with this neighbor on the afternoon of January 2, 2024. It was a very brief meeting. I was hopeful the neighbor might say that if we pulled the rear of the house back to the east somewhat, then maybe we could come to an agreement. This neighbor began by saying he did not want this new home to be more than a couple feet higher than the existing one-story home. I felt further discussion would not be fruitful given his position which mandates new construction only be a one-story home. I would respectfully refer the Planning Commissioners to the charts provided listing all the two-story homes in this neighborhood. The letter submitted by this neighbor suggests that our silhouette is higher than any horizon view they have in 180 degrees—this is simply not true. The neighbors still have view of the Palos Verdes hills on the west side. In addition, my client informed this neighbor that the tree at the northwest corner of the subject property will be removed, opening more view.

We also would like to reference the View Equity Ordinance established in 2017, which applies to the Hillside Overlay District. In the Ordinance, "View means a vista of features, bodies of water, beaches, coastline, islands, skylines, mountains, city lights, ridges, hillside terrain, canyons, geologic features and landmarks. The term view does not mean an unobstructed panorama of these features."

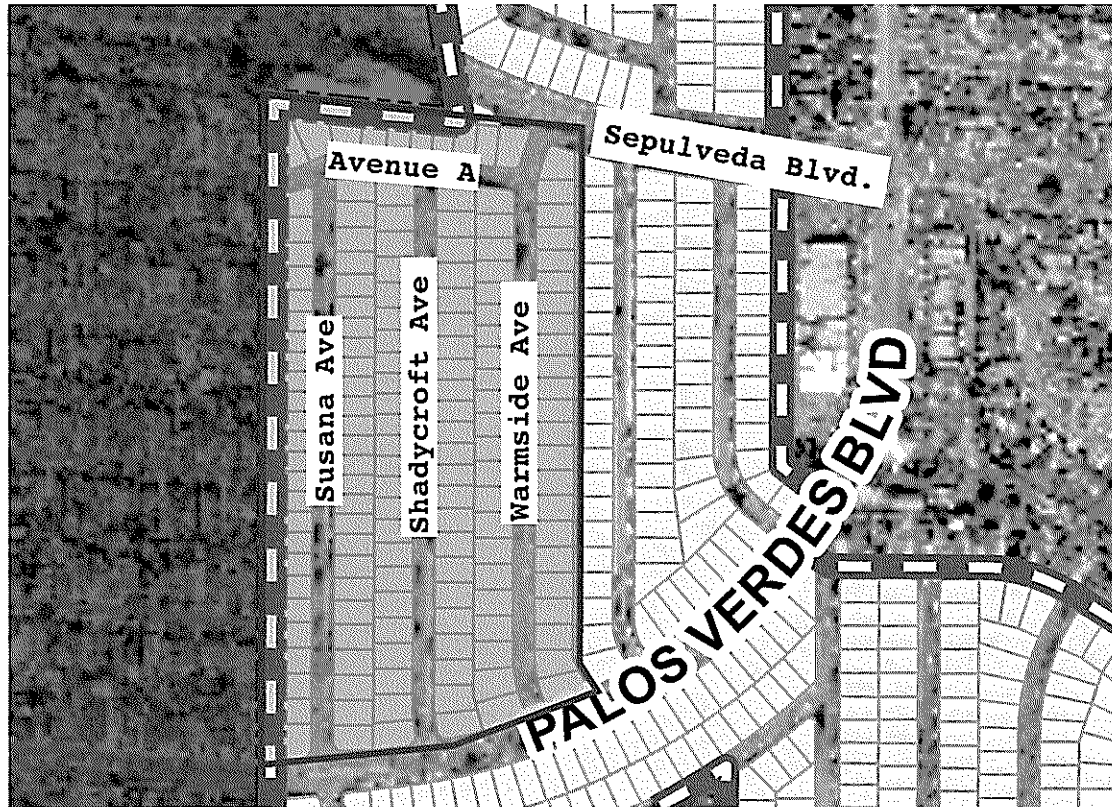
Attached also please find the letters of support for our project signed by our neighbors.

Thank you for reading through this letter. I am hoping it has been informative. We look forward to our meeting with you on January 17, 2024. Please feel free to call me if you would like further clarification of anything written in this letter.

Sincerely,

Douglas Leach, Architect

Chart 1



Analysis of Two-Story Homes in Immediate Neighborhood

| Street Name | Number of Homes per Street | Two-Story Homes per Street | Percentage | Number of PRE(s) Approved |
|----------------|----------------------------|----------------------------|------------|---------------------------|
| Avenue A | 10 | 3 | 30% | 3 |
| Susana Ave | 51 | 10 | 20% | 9 |
| Shadycroft Ave | 47 | 5 | 11% | 5 |
| Warmside Ave | 45 | 16 | 36% | 14 |
| Total: | 153 | 34 | 22% | 31 |

Chart 2

Two-Story Homes in Immediate Neighborhood & PRE Number

| Property Address | Permit or PRE Date | Ridge Height | Permit Number | Building Type | PRE Number |
|----------------------|--------------------|--------------|---------------|---|--|
| 22212 Susana Ave | | 22.10' | | | Added second story prior to Hillside Overlay |
| 22302 Susana Ave | 05/06/08 | | BLD08-00736 | First and second story additions to existing single story | PRE08 00004 |
| 22322 Susana Ave | 12/28/07 | | BLD07-02532 | Construction of a new two-story single family residence | PRE07 00010 |
| 22401 Susana Ave | 11/03/81 | | 6710 | First and second story additions to existing single story | PP 81-222 |
| 22406 Susana Ave | 03/25/09 | | BLD09-00427 | First and second story additions to existing single story | PRE08 00021 |
| 22413 Susana Ave | 02/27/04 | | BLD04-00349 | First and second story additions to existing single story | PRE03 00027 |
| 22508 Susana Ave | 08/09/05 | | BLD05-01870 | Construction of a new two-story single family residence | PRE05 00004 |
| 22513 Susana Ave | 03/27/08 | 31'-2" | BLD07-01799 | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 07-039 |
| 22519 Susana Ave | 03/07/90 | 25' | 44565-B | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 90-30 |
| 22313 Susana Ave | 01/22/86 | 22' | 25391-C | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 86-9 |
| 5727 Avenue A | 02/14/90 | 24'-6" | 41402-B | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 89-93 |
| 5703 Avenue A | 07/08/04 | | | Construction of a new two-story single family residence | PRE03-00004 |
| 5609 Avenue A | 02/23/06 | | GRD06-00011 | Construction of a new two-story single family residence | PRE05-00041 |
| 22220 Shadycroft Ave | 05/16/77 | | 74662 | First and second story additions to existing single story | Approved by Hillside Overlay. |
| 22310 Shadycroft Ave | 03/20/87 | | 26505-C | First and second story additions to existing single story | PP86-34 |
| 22322 Shadycroft Ave | 04/18/97 | 27' | BLD97-0641 | Second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 96-112 |
| 22328 Shadycroft Ave | 02/21/89 | 26' | 38968 | Construction of a new two-story single family residence | PLANNING COMMISSION RESOLUTION NO. 89-46 |
| 22502 Shadycroft Ave | 11/20/00 | 26'-9" | CMB00-0026 | Second story additions to existing single story | PRE00-00016 |
| 22529 Warmside Ave | 10/13/66 | | 48049-B | Second story additions to existing single story | Built before Hillside Overlay |
| 22516 Warmside Ave | 02/23/95 | 25-8" | CMB94-0011 | First and second story additions to existing single story | PRE93-0015 |
| 22510 Warmside Ave | 10/20/93 | 24'-6" | BLD94-018 | Second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 93-73 |
| 22504 Warmside Ave | 04/18/68 | | 18597 | Second story additions to existing single story | Built before Hillside Overlay |
| 22419 Warmside Ave | 09/30/85 | 28' | 210696 | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 85-111 |
| 22414 Warmside Ave | 01/05/93 | | BLD91-00809 | First and second story additions to existing single story | PP90-24 |
| 22408 Warmside Ave | 11/03/93 | 25' | CMB94-0013 | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 93-77 |
| 22329 Warmside Ave | 12/21/88 | 23' | 40623 | Construction of a new two-story single family residence | PLANNING COMMISSION RESOLUTION NO. 88-136 |
| 22320 Warmside Ave | 08/19/87 | 21' | 13026 | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 87-82 |
| 22317 Warmside Ave | 07/19/89 | 27' | 64207 | Second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 89-76 |
| 22311 Warmside Ave | 06/07/89 | 25'-6" | 39820 | Construction of a new two-story single family residence | PLANNING COMMISSION RESOLUTION NO. 89-56 |
| 22314 Warmside Ave | 08/04/02 | | CMB02-00326 | Second story additions to existing single story | PRE02-00018 |
| 22302 Warmside Ave | 06/15/88 | 24.96' | 37768 | First and second story additions to existing single story | PLANNING COMMISSION RESOLUTION NO. 88-67 |
| 22225 Warmside Ave | 05/16/90 | 26'-10" | 44729 | First and second story additions to existing single story | PP 90-14 |
| 22215 Warmside Ave | 05/07/04 | | CON05-00385 | Construction of a new two-story single family residence | PRE03-00037 |

22209 Susana Avenue Rendering



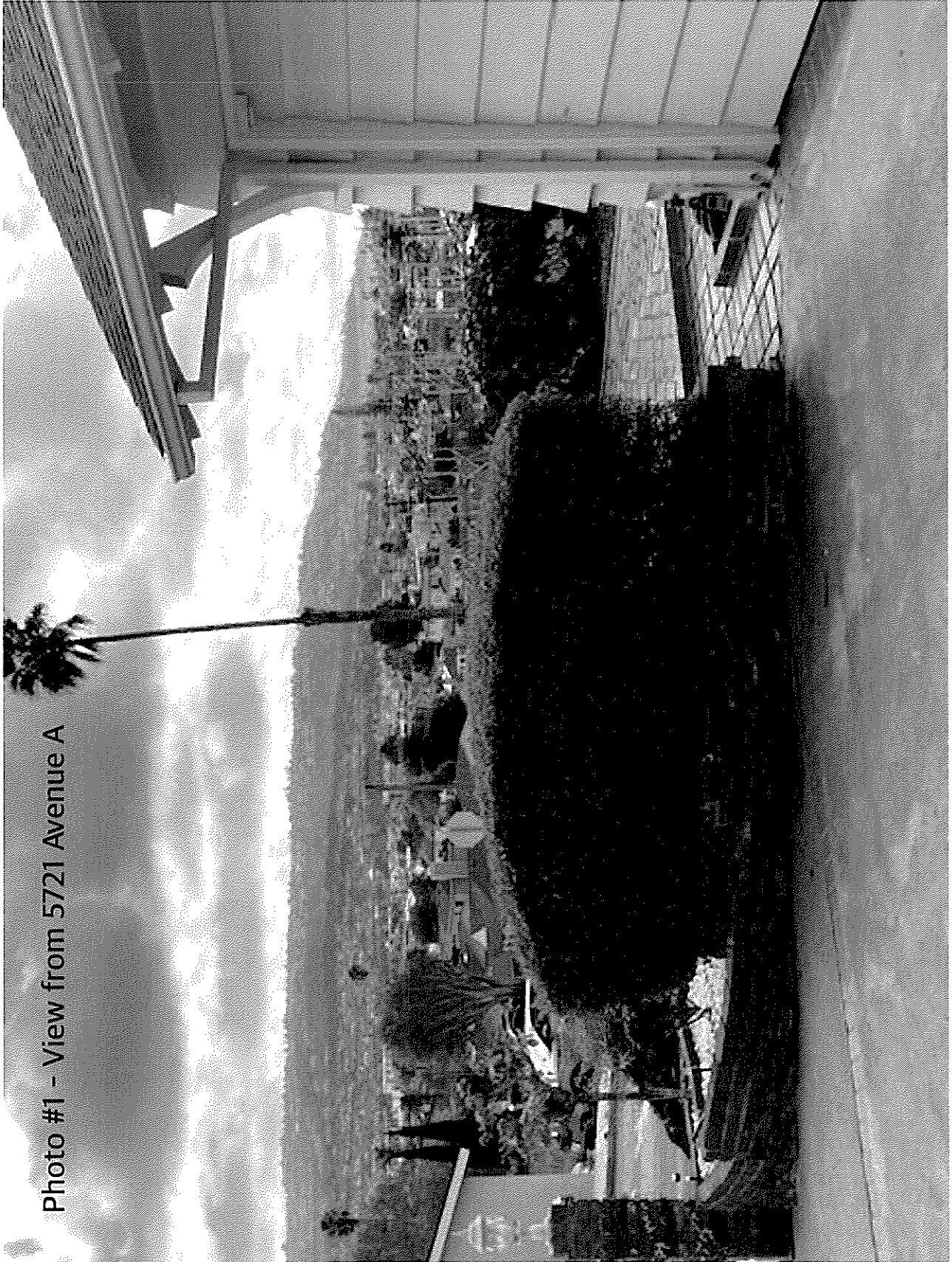


Photo #1 - View from 5721 Avenue A

Photo #2 - View from
22207 Shadycroft Avenue

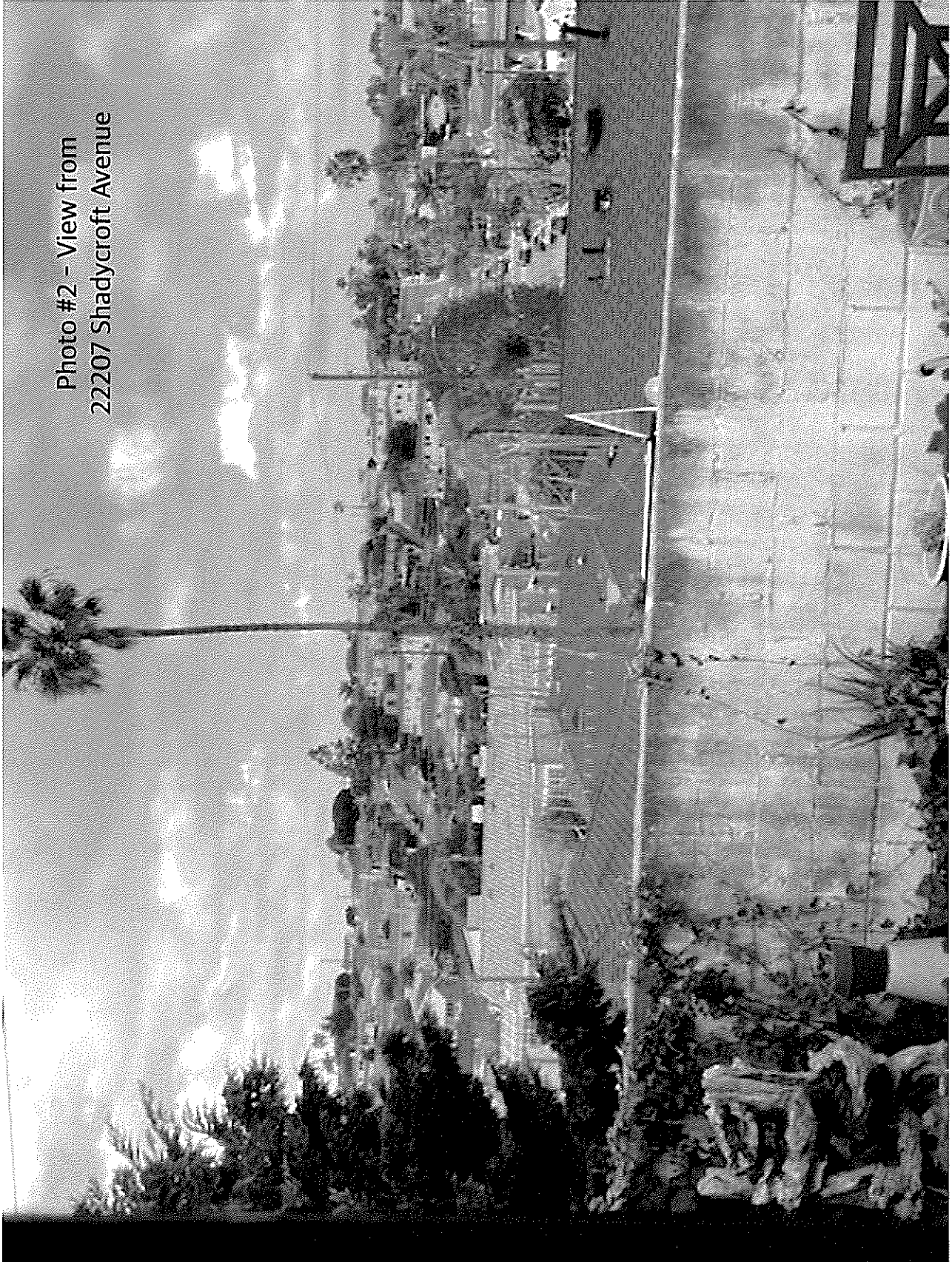


Photo #3 - View across the street showing existing tree blocking view of 22213 Shadycroft Avenue

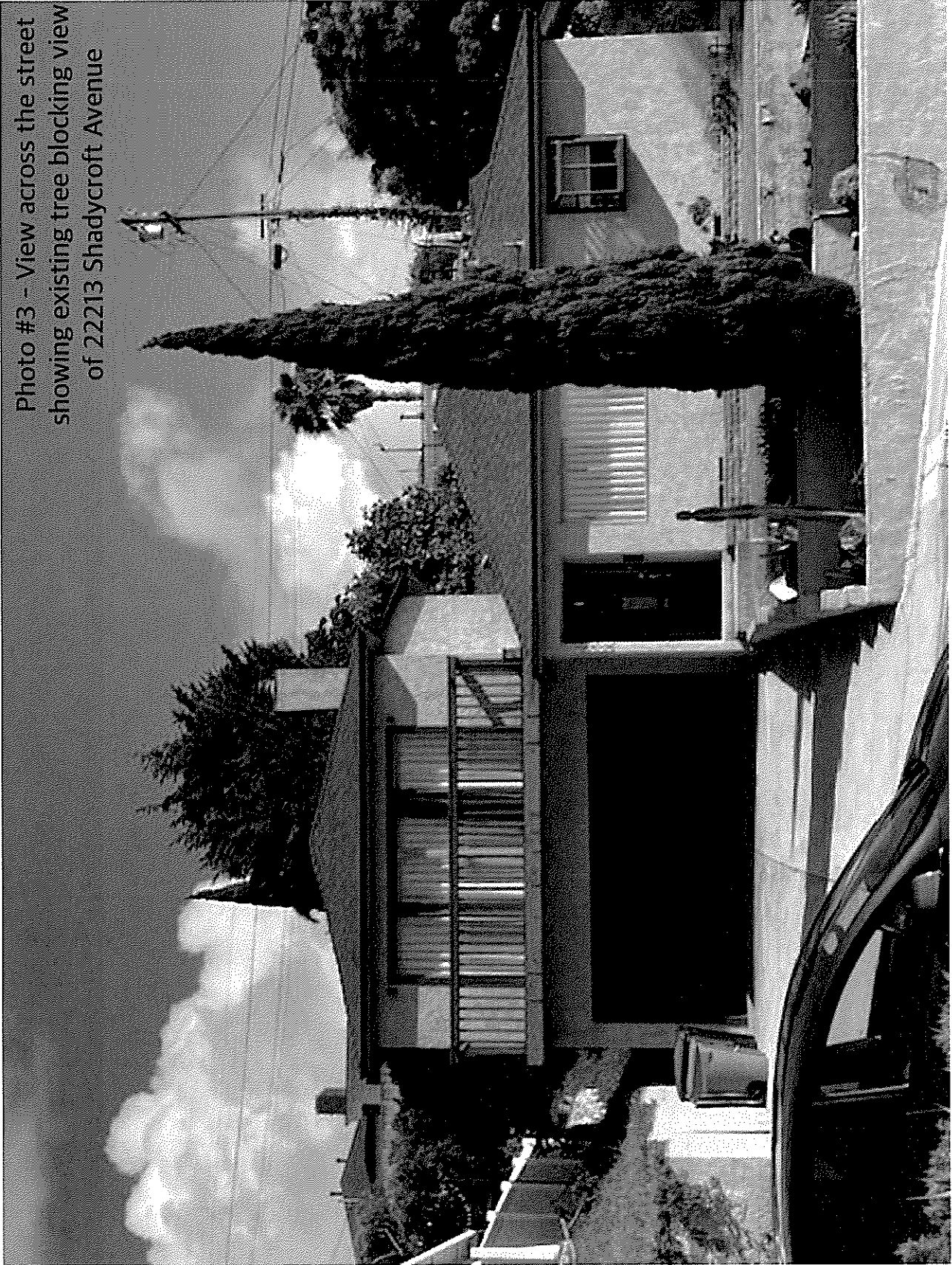


Photo #4 - View from
22206 Susana Avenue



Photo #5 - View of Palos Verdes Hills
from 22206 Susana Avenue



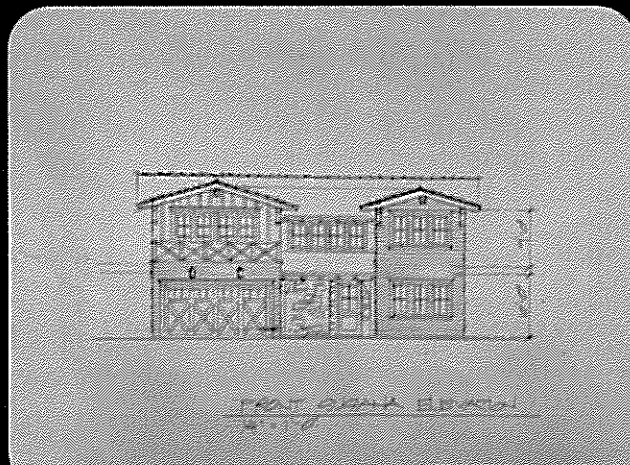


Matt >

iMessage
Thu, Sep 21 at 8:34 AM

Hi Kirk. This is Matt your neighbor across the street on Avenue A. I was just looking at the house and wondered how things are going with planning?

Hi Matt. We should be getting our plans done any day now from our architect. We were going to share them with you guys once we receive them for your input. We are planning to print out a couple renderings and set up a table in our driveway with some coffee and donuts so the other neighbors can see what we're planning. I'll be around this weekend to mow the lawn and clean up the yard.

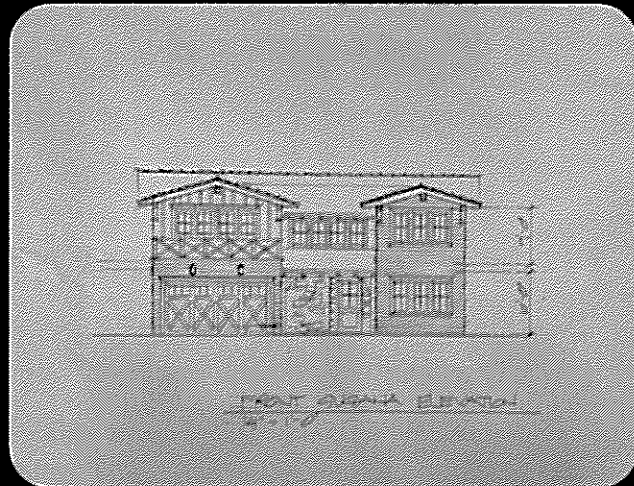


iMessage





Matt >



This is a prelim hand sketch our architect completed last month.

It this side facing Susannah or Ave A?



Looks beautiful.

That will be facing Susana. We are going to sink it in to the ground to help with hillside overlay and not block your neighbors view.

Thanks we hired Doug Leach to do our design. He's been great so far.

We're hoping to submit to the commission end of October or November.



December 28, 2023

Dear Members of the Planning Commission of the City of Torrance,

I am a neighbor of Mr. and Mrs. Feldkamp, the owners of 22209 Susana Ave, Torrance, CA. I have seen the construction documents by Doug Leach Architects dated October 6, 2023, for the new house at the property.

I am writing to state that I support the homeowners in their effort to build the project as shown in the drawings.

Sincerely,

Ruth A. Sandberg
Ronald G. Sandberg

Name(s)

Signature

22212 Susana Ave

Address

No problem Need new h neighbors

December 28, 2023

Dear Members of the Planning Commission of the City of Torrance,

I am a neighbor of Mr. and Mrs. Feldkamp, the owners of 22209 Susana Ave, Torrance, CA. I have seen the construction documents by Doug Leach Architects dated October 6, 2023, for the new house at the property.

I am writing to state that I support the homeowners in their effort to build the project as shown in the drawings.

Sincerely,

Kathleen Maxwell

Name(s)

A solid black rectangular box redacting the signature.

Signature

22218 SUSANA AVE

Address

October 1, 2023

Dear Members of the Planning Commission of the City of Torrance,

I am a neighbor of Mr. and Mrs. Feldkamp, the owners of 22209 Susana Ave, Torrance, CA. I have seen the construction documents by Doug Leach Architects dated September 28, 2023, for the new house at the property.

I am writing to state that I support the homeowners in their effort to build the project as shown in the drawings.

Sincerely,

DAVID T CARD TADLER

Name(s)

A large black rectangular redaction box covering the signature area.

Signature

22224 SUSANA AVE

Address

October 1, 2023

Dear Members of the Planning Commission of the City of Torrance,

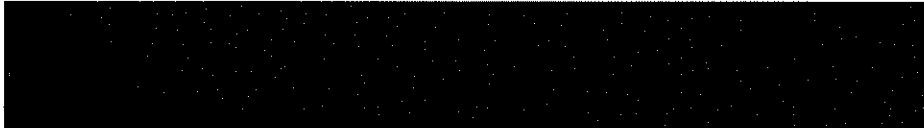
I am a neighbor of Mr. and Mrs. Feldkamp, the owners of 22209 Susana Ave, Torrance, CA. I have seen the construction documents by Doug Leach Architects dated September 28, 2023, for the new house at the property.

I am writing to state that I support the homeowners in their effort to build the project as shown in the drawings.

Sincerely,

Mark Kausner

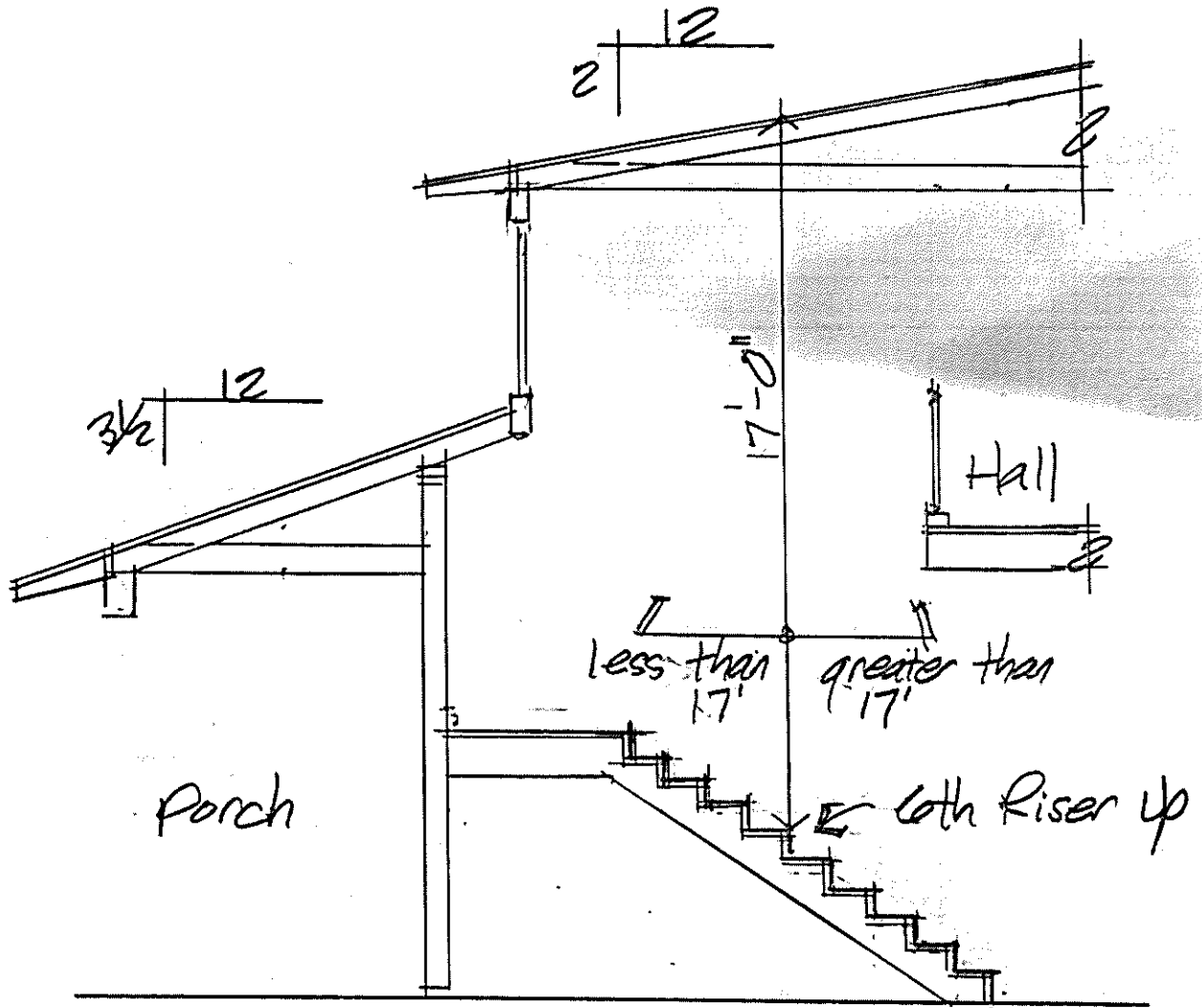
Name(s)

A large black rectangular redaction box covering the signature area.

Signature

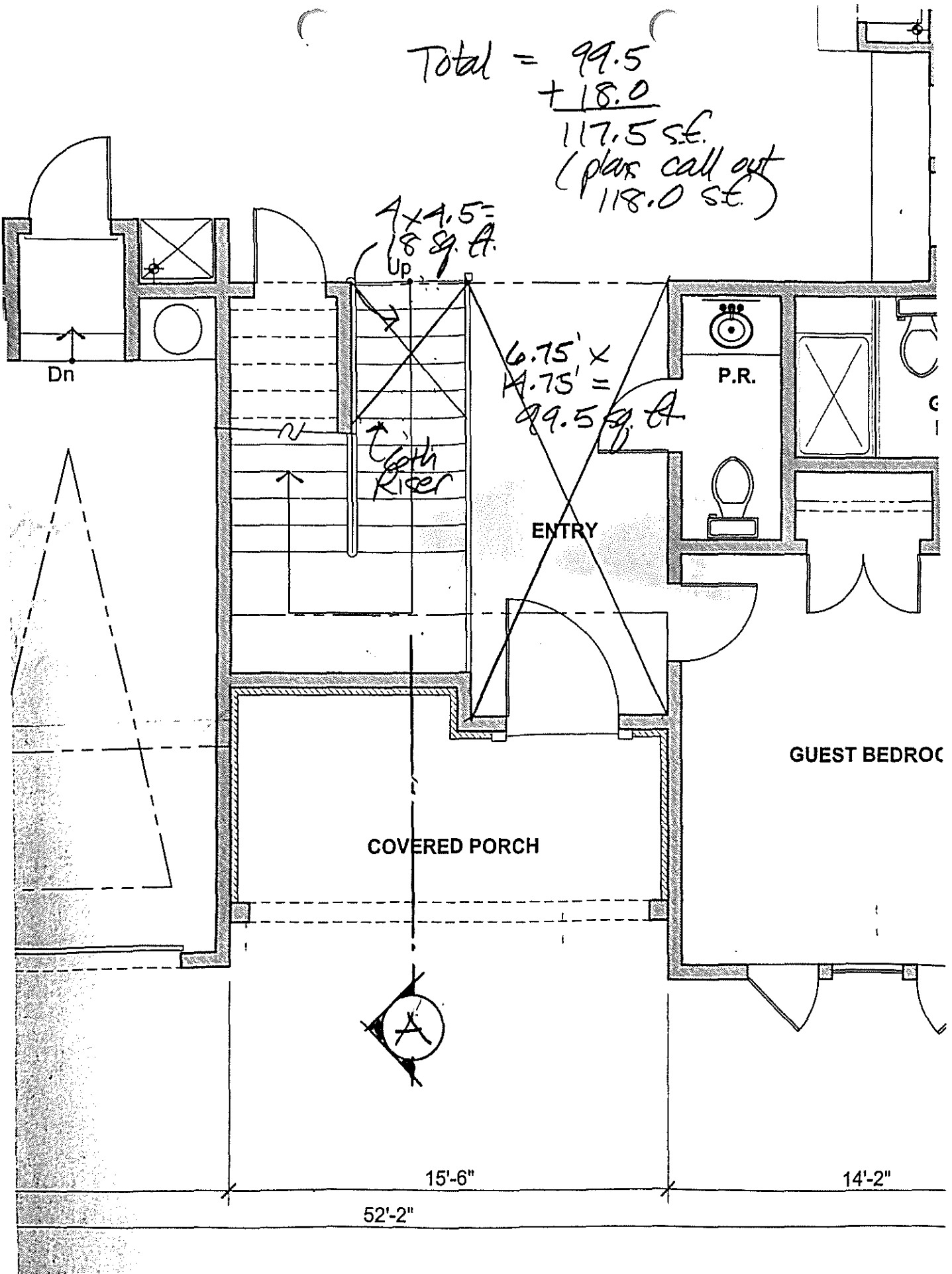
22227 Susana Ave, Torr. 90505

Address



(A) SECTION THRU STAIRS
 FELDKAMP SUSANA AVE.
 1/4" = 1'-0"

Total = 99.5
 + 18.0
 117.5 sq. ft.
 (plus call out
 118.0 sq. ft.)



ITEM 8C
ATTACHMENT 6
CORRESPONDENCE

Velazquez, Luis

From: CDD Info
Sent: Wednesday, January 3, 2024 8:10 AM
To: Oorts, Leo
Cc: Martinez, Oscar; Ramirez, Michelle
Subject: FW: compliant against 2 story house building proposal 22209 Susana Avenue, Torrance

Follow Up Flag: Follow up
Flag Status: Flagged

From: [REDACTED]
Sent: Wednesday, January 3, 2024 1:01 AM
To: CDD Info <cddinfo@TorranceCA.gov>
Subject: compliant against 2 story house building proposal 22209 Susana Avenue, Torrance

You don't often get email from [REDACTED]. [Learn why this is important](#)

Many of the neighbors living around 22209 Susana Avenue Torrance, CA 90505 are having issues with the two story house the new owners want to build where a one story house has been since the beginning.

<https://www.google.com/maps/@33.826793,-118.3740255,3a,75y,245.71h,90t/data=!3m6!1e1!3m4!1sxaDuAn0ckthjRzZLS2A-kA!2e0!7i16384!8i8192?entry=ttu>

We all reside in the hillside overlay area where its hilly and some of us have ocean views so we are very sensitive to any views that are taken away.

There is already much animosity among the neighbors against the new owners who “seem to have some inside pull” because normally, based on the rules, without everyone’s signature or the neighboring houses, a 2 story house should not be able to be built if its going to block someone’s view.

I’ve seen the flags waiving in the air and the proposed house is way too big for that little piece of land and would really block the neighboring houses airy feel. If the neighbors who have lived in their houses for years don’t want their view to be negatively impacted then they should have the right to not have things change. I don’t want that huge eyesore to be in front of my kitchen view. Sorry, I do not approve of this 2 story house being built in front of my view.

Even from my house, it would block the airy feel I currently enjoy. Please stop this nonsense and protect the current resident’s view as you are supposed to. There were some two story homes built down below on the bottom of the hill, but this house is still somewhat on the hill so it shouldn’t have the right to build a 2 story house blocking the views of the houses right in front of it. Please come down and see it yourself and see if it would bother you if you lived right next to it.

If the neighbors have not approved nor signed permission then it should be no able to be built. Why are they getting preferential treatment? Is it because they are in the construction business and have some close ties with the city?

Best,

Esther “Star” Kimm
[REDACTED]

Velazquez, Luis

From: Matt Minich <[REDACTED]>
Sent: Tuesday, January 2, 2024 3:32 PM
To: Velazquez, Luis; CDD Info
Cc: Minich Jen
Subject: 22209 Susana Ave. Hillside Overlay Feedback
Attachments: 22209_Susana_Hillside_overlay_feedback_compressed.pdf

[REDACTED]

Hello Mr. Velazquez,

Please find a PDF attached to this email that includes a letter from my wife and I related to the Precise Plan and Hillside Overlay development on 22206 Susana Ave.

If you have any questions please email me or call me at the number below.

Best Regards,
Matt

Matt Minich
[REDACTED]

To: City of Torrance
Planning Commission
3031 Torrance Blvd.
Torrance, CA 90503

Attention: Luis Velazquez
Planning Assistant
lvelazquez@torranceca.gov
Tel: 310.618.5930

Subject: Precise Plan and Hillside overlay for 22209 Susana Ave, Torrance, CA.

To Whom it may concern,

We are the homeowners directly across Avenue A from the proposed new construction project at 22209 Susana Ave, Torrance, CA. When we purchased the property in 2015, in addition to having a nice community like Torrance to raise our kids, our number one criteria for our house selection was to have a special view. During the purchase process we learned about the hillside overlay rules and consulted with many local experts on how the process works and how it protects us from development that would diminish the view. Given that the rules require any new development not have an adverse impact on our view or land value, we felt confident in purchasing, knowing that we were protected.

The view from our property includes a clear view of south Torrance Seaside valley and an extensive and unobstructed view of Palos Verdes hills. As you can see from the attached pictures, the view is beautiful during the day and is especially beautiful at night with the sparkling lights on PV. One other time of day that is exceptional is at sunset when we can watch the sun's reflection of the windows on the hillside. This is a spectacular view and we cherish it tremendously. We get comments from our friends when they come to visit about how amazing the view is.

You may recognize our address because we had plans approved for a remodel in May of 2023. We submitted, and were approved, for a precise plan even though our conservative remodel did not include any new build that was higher than the existing roof. When we went before the planning commission, there was not a single neighbor who raised a concern. There was even a comment by a commissioner that they rarely see a case like this where there are no objections. Part of those plans is to add a window on the front of the house, just to expand the opportunity to see the amazing view that has so much value to us.

It is our understanding that the owners of 22209 Susana have submitted information to you indicating that there were no concerns from neighbors and that the proposed construction would not block the views of neighbors or impact neighborhood beauty. We are writing to make sure you know that this is not accurate and we are strongly opposed to the proposed development.

If the new construction is approved as drawn, the house will go above any horizon that we can see in nearly 180 degrees. It will completely eliminate the view that we so cherish with this property. The development will have a substantial and adverse impact on our enjoyment of the property, the inherent

value in our ownership of the property every day, and the actual value of the property, if we ever chose to sell. We see this property as our forever home and it is not just the view today and the value today that we need to preserve, it is the view for the rest of our lives and hopefully our children's lives.

We met with the new owners/builder a few times and discussed the hillside overlay and planning process. At those meetings we indicated to them that the view was very important to us and we hoped that they would take it into consideration with their plans. They shared the plans with us, but it was very difficult to tell the impact from two dimensional drawings. It was not until the silhouette went up that we were able to determine the negative impact on our view. For the last two months we look every day, with grave concern, at the outline of the house that will take away our valuable view.

The owners told us they told their architect they wanted a modest house around 3,000 feet but the architect convinced them to go bigger. Instead of being conservative and listening to our concerns for our view, they designed a house that went nearly to the maximum values allowed by city rules in every single dimension. Additionally, the second story stretches the entire usable depth of the lot, maximizing the impact on our view of Palos Verdes. You will see below that in each of the key metrics, Height, BFA, Floor Area Ratio and Lot Coverage, the proposed building is stretched to maximum values.

It is very clear that the builders wanted to maximize their value, and in doing so, they are minimizing our value.

In summary:

- The proposed development **WILL** have an adverse impact upon the view of our property.
- The development has **NOT** been located, planned and designed so as to cause the least intrusion on the views from our property.
- The design **WILL** have a harmful impact upon the land values and investment of our property.
- Granting an application **WOULD BE** materially detrimental to our property.

For these reasons, we ask that you do not approve the proposed development at 22209 Susana Ave. If you have any questions or want to walk the property, please contact us at the numbers below or via email.

Sincerely,

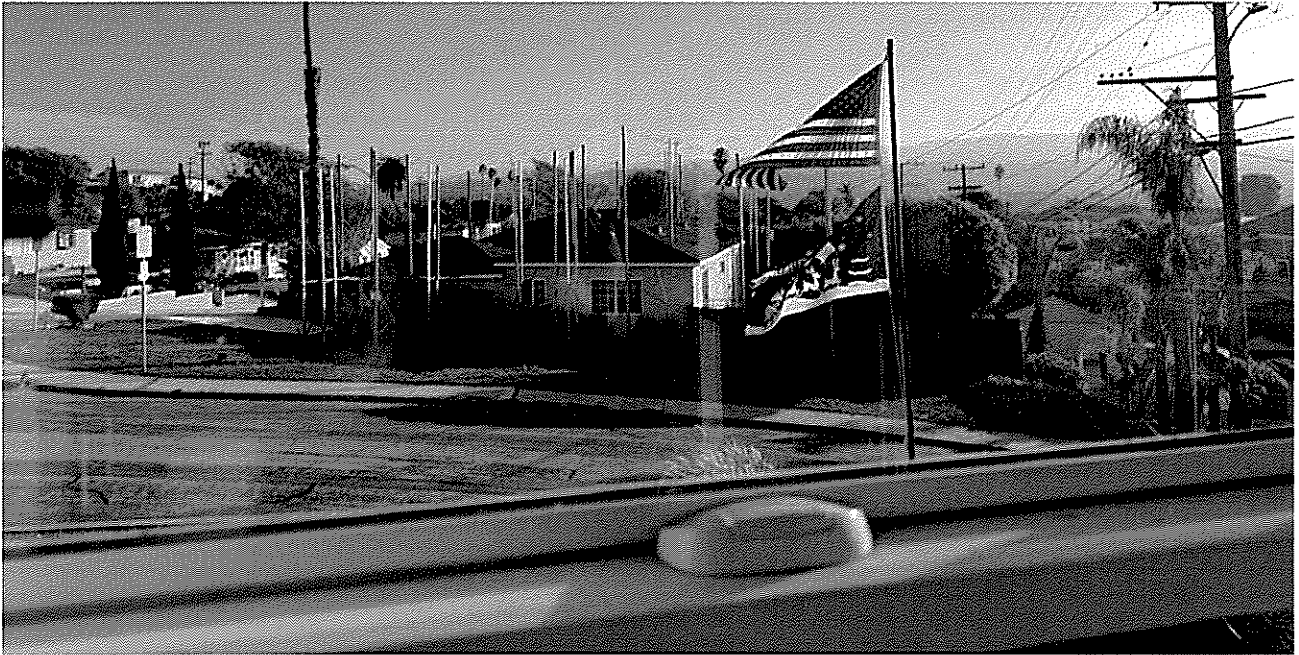
Matt and Jen Minich

5803 Avenue A
Torrance, CA 90505

Cell: [REDACTED]

Email: [REDACTED]

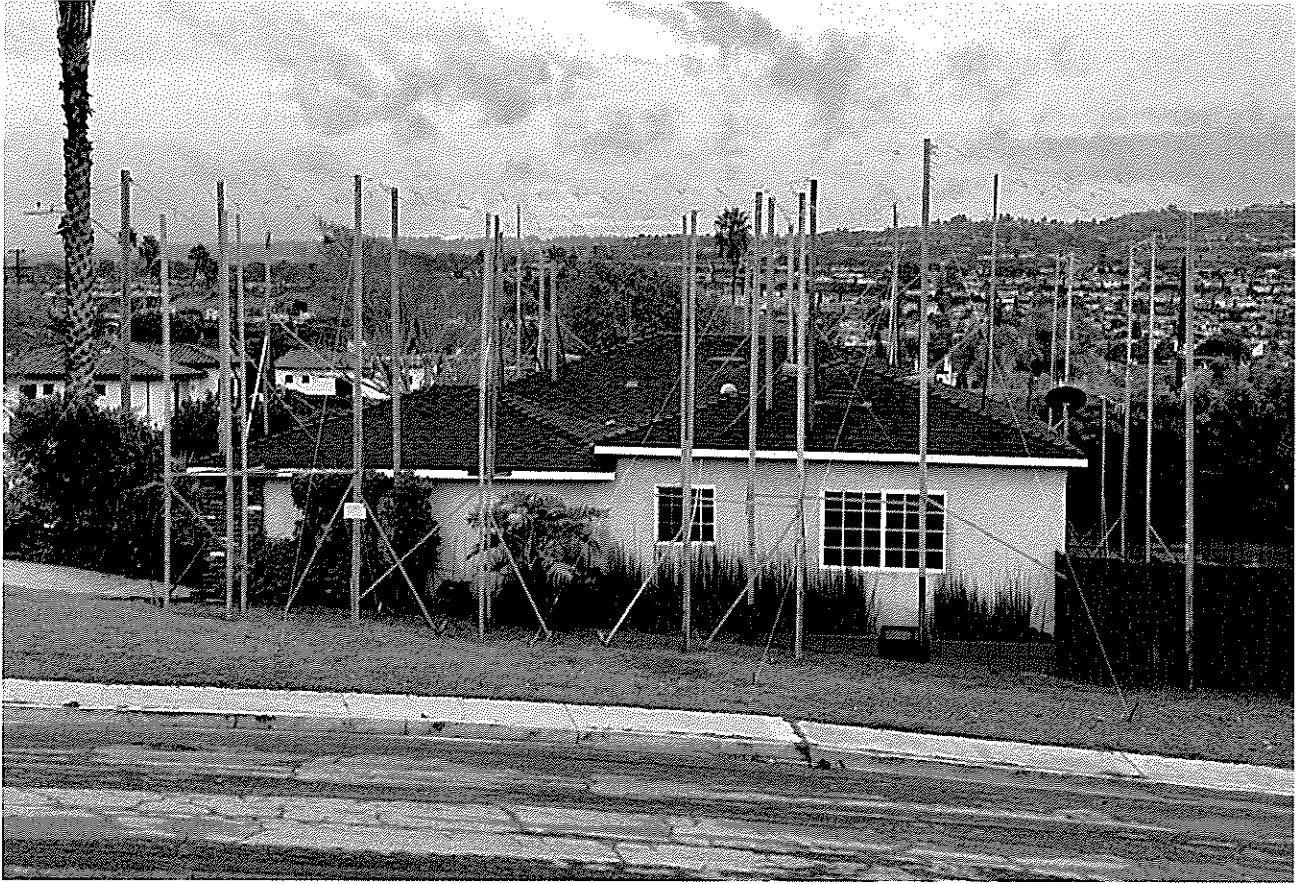
Pictures from our property:

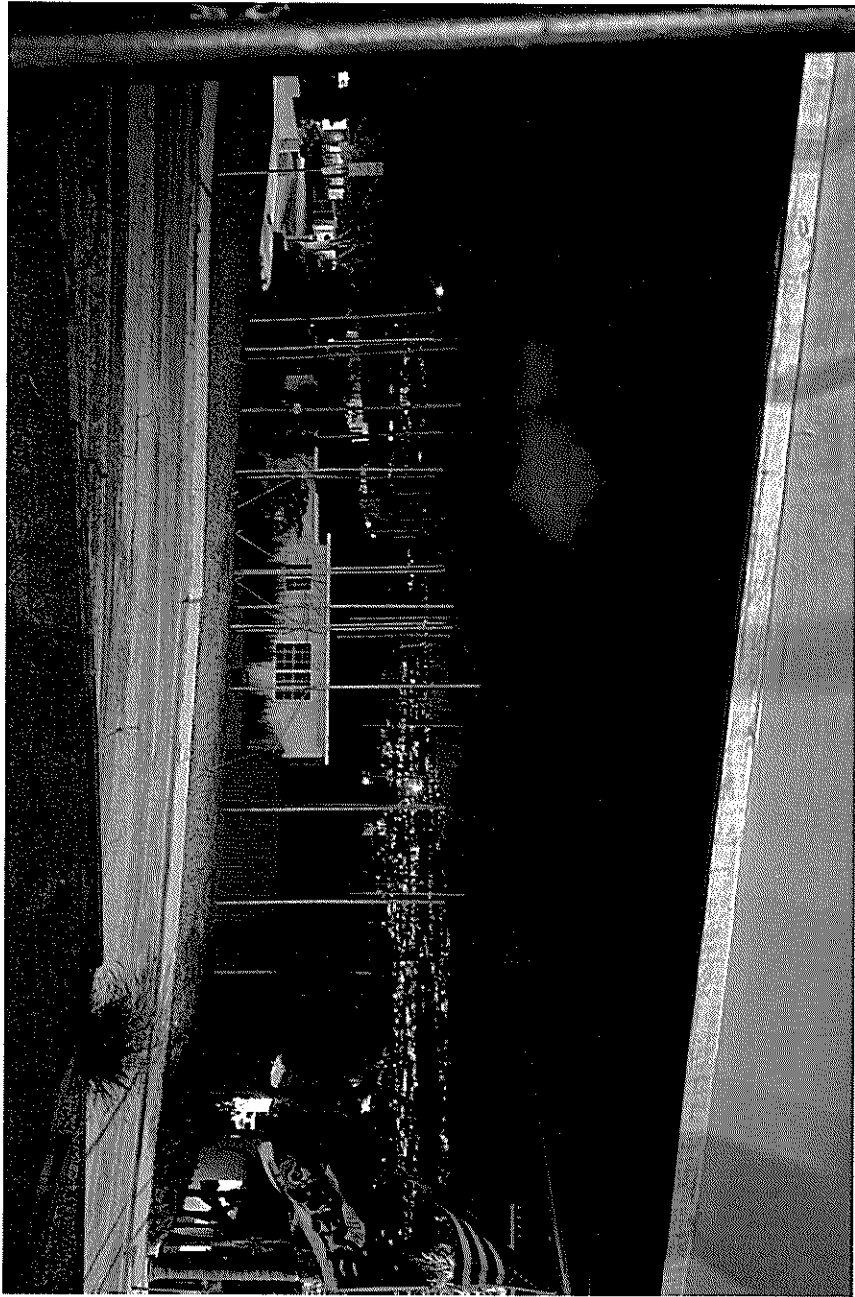












The proposed dimensions:

| | |
|---------------------|---------------|
| First Floor Living | 1,634 sq. ft. |
| Second Floor Living | 3,466 sq. ft. |
| Total House Living | 3,466 sq. ft. |
| Garage | 450 sq. ft. |
| Total Area | 3,916 sq. ft. |

Decks 320 sq. ft.

Lot Area: 6,918 sq. ft.

Max. Allowable B.F.A. $6,918 \times 0.6 = 4,151$ sq. ft.

Height: 93% of the maximum height allowed

Proposed height : 25.1 feet

Maximum allowed: 27 feet

BFA : 99.87 % of allowable

Proposed 4,146 sq. ft.

Allowable 4,151 sq. ft.

Floor Area Ratio(FAR) : 94.3 % of allowable

$3,916 \text{ sq. ft.} / 6,918 \text{ sq. ft.} = 0.566$

Lot Coverage: 97.75% of allowable

$2,705 \text{ sq. ft.} / 6,918 \text{ sq. ft.} = 39.10\%$

Maximum allowed < 40%

Velazquez, Luis

From: Creative Indulgence PH <[REDACTED]>
Sent: Saturday, December 30, 2023 4:54 PM
To: Velazquez, Luis; Martinez, Oscar; CDD Info
Subject: 22209 Large rebuild concerns

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

Hello Luis,

I'm writing to you to let you know that I'm concerned about the house that is being built directly across the street from my house at 22206 Susana Ave, Torrance CA 90505. Unfortunately, we have been very busy over the holiday and not able to write sooner. I thought we lived in an area that protected our views etc. from our conversation on the phone that the city was already approving it, what is that all about? It sounds like you just want to move this thing forward without the proper channels. That house is going to completely block all of our views of everything, hills, homes in the distance, lights and the sun and lose our privacy. We don't mind the house being rebuilt, but a huge mansion 4k plus square foot house in built right in front of us, then I notice they are also building a roof top patio on top of that, so then they may need umbrellas or shade on the roof top and they will go even higher and then there is no stopping other builders to come in and move to the next house and so on.. soon I will just be able to look at the houses that are directly across the street from me and lose all value of this house of the view that was protected ?

I thought that a notice had to be posted and show where we can voice our concerns or a hearing. I found out from my neighbors that is Jan 17th, but were not made aware of this and I'm directly across the street ?? When you dropped your card off at my house, I called you because of my concerns with the build, but did not know why you dropped the card off, just thinking there must have been a note or something. When speaking to a contractor friend, I was told that the city would send something out about the build and when checking your website <https://www.upholdhillsideoverlay.org/planning-process> it says that something would be sent, but I was told by other neighbors we had to get something to you by Jan 3 to count ?

We are concerned that not only will we lose our view of the hills behind that location, but also the size of the house they propose to build is going to be a massive eyesore, oversized house that does not fit in this area and understanding it's for just 2 adults and a child. It just doesn't make since that they are building such a big house for only 3 people, to me they are building big to resell, not for the better of the neighborhood only better for them and concerned about my privacy and the noise when they have a roof top party.

It will block the sunsets we enjoy and the views of the houses in the distance and pretty lights at night. I just feel that the breeze and view we get will be obstructed, let alone the property value of our property will decrease as theirs will increase, what they are proposing is Massive build. I would like to see something change at that location, but something more moderate and not completely blocking us. One of my Neighbors tried talking to them and (this is hearsay as I did not hear it myself) when they found out the neighbors didn't like the new plans, wanted to work a deal for them not to show up to the hearing. Honestly, I don't want to have those conversations with the new owners. They show up without warning and want to talk, but I'm not prepared to speak to them. Today they showed up to my house about 12:30pm and I was at work and saw them (on my Ring camera), they were taking photos from my porch. I'm trying to understand the correct process to move forward without conflict from the new owners. Looking forward to a fair solution of the build and consideration of the neighborhood and those around it.

91.41.6 PLANNING AND DESIGN.

(Amended by O-3477)

No construction and no remodeling or enlargement of a building or structure shall be permitted unless the Planning Commission (or the City Council on appeal) shall find that the location and size of the building or structure, or the location and size of the remodeled or enlarged portions of the building or structure, have been planned and designed in such a manner as to comply with the following provisions:

- a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity;
- b) The development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity;
- c) The design provides an orderly and attractive development in harmony with other properties in the vicinity;
- d) The design will not have a harmful impact upon the land values and investment of other properties in the vicinity;
- e) Granting such application would not be materially detrimental to the public welfare and to other properties in the vicinity;
- f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity.

Thank you,
Pierre Hoffmann
President / Creative Designer

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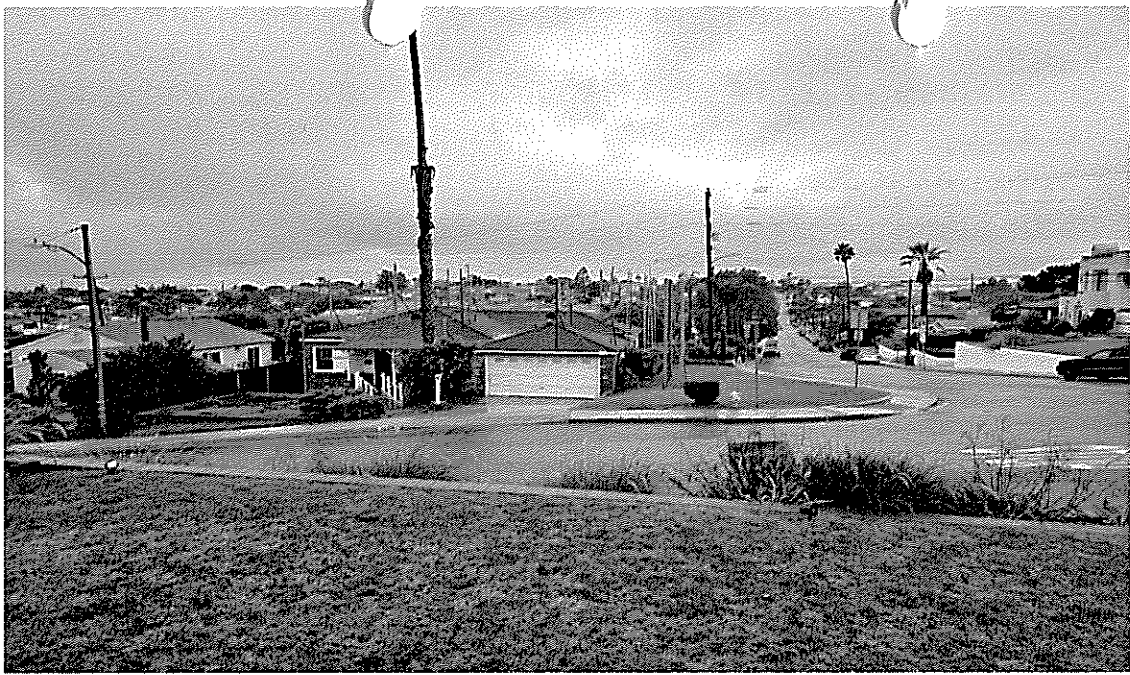
because, artwork files provided were not in the correct format. Please note that providing a PDF does not mean the artwork is a vector. If a .jpeg or .png file is sent inside a PDF, the artwork is still a raster file and not a true vector.

When a proof is sent, please double check for spelling or typo errors. Once you give final approval, it will be considered in production. If any changes are made after your approval and we have already created the project you are responsible for any extra costs. If your item(s) are picked up by a delivery service or someone other than yourself all costs for delivery or pick-up is your responsibility, even remakes.

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[More info on Artwork requirements \(click Here\)](#)





Velazquez, Luis

From: Abraham and Jenny Bagheri <[REDACTED]>
Sent: Monday, January 1, 2024 8:34 PM
To: Velazquez, Luis
Subject: Correction to Opposition to Proposed Second-Story Development at 22209 Susana Ave.
- Hillside Overlay - PRE23-00013

You don't often get email from [REDACTED]. [Learn why this is important](#)

Hi Luis,

I'd like to note that any reference to the proposed development being 50 feet away should be corrected to approximately 200 feet away.

Thank you.

Abraham Bagheri and Jennifer Meyer Bagheri

On Fri, Dec 22, 2023 at 3:43 PM Abraham and Jenny Bagheri <[REDACTED]> wrote:
Dear City of Torrance Planning Department, Planning Commission, and City Council:

We have resided in Torrance for nearly 30 years and are writing as concerned owners of a property in the Hillside Overlay, near the proposed second-story development at 22209 Susana Avenue. We purchased our modest 1,430 square foot home on a 6,501 square foot lot in 2017, envisioning it as our forever home where we would raise our two young children. This proposed development poses significant adverse impacts, threatening not only our privacy and cherished views but also the overall aesthetic and ambiance of our beloved neighborhood. We appreciate the need for growth, but firmly believe that this project should be denied for the broader community's well-being.

When we purchased our home, we deliberately chose it for the unique neighborhood character and scenic views. Our real estate agent explicitly informed us about the Hillside Ordinance, underscoring the significance of preserving these valued attributes for all residents.

Having outlined the personal and community significance of this issue, it is essential to now turn to the specific legal framework governing such developments, particularly as delineated in the Torrance Municipal Code.

Noncompliance with Hillside Ordinance:

The Torrance Municipal Code states, in pertinent part:

*91.41.6 PLANNING AND DESIGN.
(Amended by O-3477)*

No construction and no remodeling or enlargement of a building or structure shall be permitted unless the Planning Commission (or the City Council on appeal) shall find that the location and size of the building or structure, or the location and size of the remodeled or enlarged portions of the building or structure, have been planned and designed in such a manner as to comply with the following provisions:

a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity;

- b) *The development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity;*
- c) *The design provides an orderly and attractive development in **harmony with other properties in the vicinity;***
- d) *The design will not have a **harmful impact upon the land values** and investment of other properties in the vicinity;*
- e) *Granting such application would not be **materially detrimental** to the public welfare and to other properties in the vicinity;*
- f) *The proposed development will not cause or result in an **adverse cumulative impact on other properties in the vicinity.***

Notably, the municipal code provides that each of these elements are requirements. All of the statements above must be met before a plan is approved. These conditions are not factors and they are not optional.

While opposition letters from neighbors can be informative, they should not be the primary basis for the City's decisions on proposed developments. Enforcing the TMC Hillside Overlay Ordinance is crucial, regardless of the presence or absence of opposition letters, to ensure compliance with TMC section 91.41.6. For instance, on December 21, 2023, Assistant Planner Luis Velazquez indicated his preliminary approval for the two-story house, despite receiving multiple opposition phone calls and a written objection from a neighbor. This stance was taken prior to the issuance of public notices and amid the holiday season. Moreover, despite his site visit, Mr. Velazquez did not raise any concerns about potential view blockages, emphasized the City's disregard for telephonic opposition, and that he would only consider written objections. This approach highlights the urgency for the Planning Commission and City Council to rigorously examine Hillside Ordinance enforcement. It is essential for fair and transparent decision-making that there be adherence to both the spirit and the letter of the ordinance, not simply selective enforcement methods such as relying solely on letters from neighbors.

Additionally, it is important to recognize the legal precedent set by the case of *Village of Euclid, Ohio v. Ambler Realty Co. (1926)* which affirmed the constitutionality of local zoning regulations. This decision upheld the right of local governments to impose zoning laws that restrict building freedoms in order to protect community interests. The case is a clear indication that cities have the authority to regulate developments like the one proposed at 22209 Susana Avenue, especially when such developments threaten the well-being of the neighborhood and its residents.

The Proposed Development Will Adversely Impact View, Light, Air, and Privacy

Subsection (a) of TMC section 91.41.6, repeated here, states, **“The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity.”**

The proposed development is situated merely 50 feet away from our property line. The proposed development will obstruct our view of the neighborhood trees and greenspace, city lights, rooftops, houses from a distance, and Knob Hill and Avenue A hillsides. A protected view is not limited to the ocean, as the developer suggests in its Substantiation Form. Protected views include views of the hillside, city lights, trees, greenspace, houses from a distance, rooftops, and the sky.

Currently, our home has a panoramic view to the west and northwest that is fundamental to the character and value of our property. This view includes an expanse of neighborhood homes nestled between trees, set against the backdrop of Knob Hill and Avenue A. In the evenings, this vista transforms as the city lights of the homes in the distance turn on, creating a picturesque view. During the holidays, this same view includes Christmas lights on the homes to the west and northwest of us. The proposed development, however, threatens to drastically alter this cherished view. Positioned just 50 feet from our property line, the new two-story structure would rise prominently into our current

sightline, obstructing significant portions of this scenic panorama. The loss of these views would not only diminish the aesthetic and emotional value of our home but also disrupt the sense of openness and connection to the natural surroundings that we hold dear. The view obstruction would irreversibly change the essence of what makes our house our forever home and would negatively impact the overall character and ambiance of our neighborhood. Attached to this letter, please find photographs that illustrate our current views, demonstrating the significant impact the proposed development would have.

Consider these properties for perspective. They were marketed as having the same views that 22209 Susana Avenue will remove from our home and the neighborhood if the City approves the project.

- 22332 Warmside Ave.
 - o This home was marketed as having views of "hills" and "city lights"
- 22502 Redbeam Ave.
 - o This home was marketed as having "inspiring city & Palos Verdes views"
- 22207 Redbeam Ave.
 - o This home was marketed as having views of "city lights" and a view of the "hills"
- 24532 Park St.
 - o This home was marketed as having a view of the "Trees/Woods" and a bedroom with a "wide-open view of the tree tops"
- 2582 Vista Del Sol, La Verne
 - o This home was marketed as having "a great view over the rooftops!"
- 21236 E Cloverland Dr, Covina
 - o This home was marketed as having "a living room with a view of rooftops."

The properties cited above, especially those nearby on Warmside and Redbeam Avenues, are key benchmarks. They show the value added by unique views, including city lights and hills, to our neighborhood. Even properties a bit further, like on Park St. in Torrance, and those in La Verne and Covina, are relevant. They highlight that views of trees and rooftops contribute to a home's appeal and value. The proposed development threatens these views. This is not just about our individual views but about preserving the visual character that supports our area's property values.

The proposed development will also have an adverse impact on our backyard privacy because we will no longer be able to comfortably enjoy our backyard without wondering whether the neighbors are peering into our yard from their east-facing French doors and multiple east-facing windows. We spend the majority of our free time outdoors in our backyard enjoying the privacy it provides looking out to the west. This second-story will result in direct, continuous, unmonitored visual access into our backyard and living room. This invasion will pose an undue burden and adverse hardship because our backyard is routinely used by my young children. As parents, we need to ensure the privacy and protection of these minor children.

The open and air ambiance of our backyard will be adversely impacted because the second story will tower above our line of sight in our backyard, living room, and dining area. Currently, facing west, no other home towers at or above our sightline. This was the main reason why we bought this house and decided it was our forever home.

The proposed development's design, including its retaining wall will restrict air flow and ventilation throughout the neighborhood and into our house. Our west-facing backyard and west-facing living room would be the most affected. Our ocean breeze which is currently unobstructed would be blocked by the proposed development's second-story.

We are just one of the multiple neighbors whose views, light, air, and privacy will be adversely affected. For example, we are aware of at least one neighbor whose view of the entire Palos Verdes Peninsula would be removed if the City approves this development. This is not only unjust but is a clear violation of subsection (a) of 91.41.6.

The Proposed Development is Not in Harmony with Properties in the Vicinity

The proposed development will stand out like a sore thumb. Contrary to the developer's claim in their Substantiation Form that there are "many 2 story homes in this vicinity," there are very few two-story homes in this vicinity.

First, the developers fail to specify the addresses of the two-story homes are in the vicinity, how many there are, when they were built, whether they were built before or after the Hillside Overlay ordinance was passed, whether there was any opposition to their development, how far they are from the proposed development, and whether there was any adverse effect on neighboring properties at the time of development. These are questions that we hope the City asks.

According to our preliminary research, out of approximately 52 houses on the block, only nine two-story houses exist. Of those, only four were approved after the Hillside Overlay ordinance was passed, the closest of which is approximately half a block away (12 houses down the street) and approved in 2008, over 15 years ago. Therefore, a two-story design is not common for other properties in the vicinity and permitting this project to move forward will contribute to a feeling that the neighborhood is being overbuilt and mansionized.

Additionally, as stated previously, the proposed development will adversely impact views, light, air, and privacy. Multiple neighbors are in opposition to this development due to the adverse impacts it will cause and because it is not in harmony with the other properties in the vicinity.

The Proposed Development Will Negatively Affect Land Values and Investment of Other Properties

The development of a towering 3,456 square foot two-story house will certainly negatively affect land values and investment of other properties.

As explained above in listings of residential single-family homes, real property values are adversely affected when their views of city lights, hills, trees, and rooftops are obstructed by a towering second story-house.

A neighboring house with no views or less views will sell less than a house with full views. A partial hillside view house will sell less than a full hillside view house. Investors are much less likely to invest in a neighborhood where their valuable view can easily be taken away simply by having a developer with no ties to the neighborhood apply for an exemption and obtain approval over multiple neighbors' oppositions.

The City created the Hillside Overlay ordinance to prevent the exact scenario at issue with this proposed development. To approve this development would go against the spirit and intention of those who implemented the ordinance in 1977.

The Proposed Development Will Be Materially Detrimental to the Neighborhood

As explained above, the proposed development will adversely affect multiple neighbors' views, air, light, and privacy. It will not be in harmony with the surrounding properties but will cause unfair precedent to mansionize the neighborhood at the expense of neighbors in opposition and neighbors who were denied the same exact request in the past.

The proposed development will adversely impact the neighborhood's character and streetscape. It will crowd the neighboring properties. An unnecessary second level will overshadow smaller, traditional homes, altering the skyline and the sense of open and airy space in the area.

The Proposed Development Will Cause an Adverse Cumulative Impact on Other Properties in the Vicinity

As explained above, the proposed development will not just affect one neighbor. The proposed development has a community-wide adverse impact on the properties in the vicinity because it will obstruct multiple neighbors' views. New owners currently residing in the vicinity relied on the Torrance Municipal Code Hillside Overlay Ordinance when they purchased their home. They believed and currently believe that the City would enforce its rules as written. Torrance residents in the Hillside Overlay are relying on the Planning Commission and City Council to prevent a newcomer developer from steamrolling their plan through the City despite the adverse impacts on longtime established neighbors' property value, view, air, light, and privacy.

I ask that the Planning Commission and City Council members visit the proposed development, look at the silhouettes as they walk along the sidewalk and as they drive along Avenue A heading east off of Prospect. Doing so will show you how out-of-place this towering proposed development will be. It will also show you the large shadows it will cast both on the street, sidewalk, and neighboring properties. Neighbors will be subjected to less sunlight and more darkness if this is built and it will adversely impact the natural light in surrounding homes and public spaces.

The proposed second-story construction also presents broader concerns that affect the entire neighborhood and Hillside Overlay.

The Proposed Development Will Negatively Impact the Ambiance and Character of the Hillside:

Approving this project risks altering the open, airy ambiance that defines the Hillside. Factors such as light, air, views, and privacy, which are cherished by residents, would be compromised, leading to irreversible changes to our community's character. Part of our cherished view includes a view of houses that are some distance away, which gives a feeling of open space, instead of a view of a wall of the neighboring house, which with further development, can become nothing but walls of buildings everywhere you look. Do we really want to mansionize the Hillside Overlay by permitting this development?

The Proposed Development is Inconsistent with Past Decisions Involving the Hillside Overlay:

Several neighbors have been denied permission to build two-story homes in this vicinity or were informed upon purchasing their properties about the impossibility of constructing a second story due to the Hillside Overlay ordinance. Granting an exception in this instance would set a precedent that would undermine the integrity of established regulations, would be contrary to law, and would be unfair to all of the neighbors to whom the City denied approval.

The Developers Have Alternative Solutions:

The purported necessity for a second-story dwelling is questionable, given that numerous families successfully reside in smaller homes that can be remodeled to suit modern needs. The proposed construction appears to prioritize individual gain over the broader community's well-being. Has the City determined whether it is feasible to build a single-story house? Has the City run its own calculations to determine whether the proposed development can be built as a single-story house without adversely impacting the view, light, air and privacy of other properties in the vicinity? According to lot square footage of 6,918, it appears feasible to construct a 3,456 square foot single-story house on one level. If it is not, a smaller single-story footprint would not be detrimental to the developer as it has not yet been built and no one is requiring the developer to build such a large house. Is a 3,456 square foot house objectively necessary?

What Are the Developers' Intentions?

The recent purchase of the property in August 2023 raises questions about their awareness of the Hillside restrictions. Opting to build a two-story house in this area, rather than in a zone without such restrictions, suggests an attempt to circumvent regulations to maximize their property value at the expense of their neighbors.

According to the "Substantiation Form" that the proposed developers submitted, they claim they should be allowed to build a two-story house because they:

- Will not hurt the view, light, air, and privacy of any property in the area.
- Will not hurt anyone's ocean view.
- Will not hurt any other properties in the area.
- Will not block anyone's light.
- Will not block anyone's breeze.
- Will significantly boost land values.
- Will not negatively affect any Torrance neighbors.
- Will not set a precedent to any other neighbors in the area
- Will be financially hurt if they are not allowed to build this second-story house.

The developer's Substantiation Form raises more questions than answers and is unsettling. These responses should prompt the City to ask, what research, if any, did the developers do before making these claims? Unfortunately, the developers failed to mention that the proposed development would obstruct their neighbor's Palos Verdes Peninsula view. They also failed to consider their neighbors' desire for privacy in their homes and backyard. They simply made blanket statements without conducting the appropriate research in an attempt to steamroll this plan through.

The developer claims that a 3,456 square foot two-story house is financially necessary and that not building it will be a financial hardship. This claim is difficult to understand considering that, according to public records, the developers bought the existing house for \$1,235,000 in cash.

The developer's "unreasonable hardship" argument has no merit if they bought this house cash and would still have enough money left to tear it down to build a mansion. No one is forcing the developers to build this. They are choosing to build a second story home. They chose to buy in an expensive neighborhood. They are choosing to tear down the existing structure instead of remodeling it or adding onto the existing structure. They are choosing to build up instead of building out. There are other neighborhoods in the Southbay where the developers could have purchased a completely remodeled second-story home without violating the Hillside Overlay ordinance in our City.

Fairness and Consistency:

All residents should be subject to the same regulations and opportunities. Any deviations from established rules should be justified on objective grounds that serve the public interest, rather than benefiting a select few.

For this proposed development, allowing an exception to the established Hillside Overlay ordinance, despite the opposition and adverse impacts, would not only be unfair to other residents but would also undermine the trust in our City's commitment to equitable and responsible development.

In summary, the owners had alternative options to meet their needs without violating the Hillside Overlay ordinance. We respectfully request the Planning Commission and City Council consider these concerns and uphold the Hillside Overlay ordinance's intent to preserve the unique character of our community. We believe in thoughtful development that respects existing regulations and serves the collective interests of Torrance residents.

Due to the foregoing, we respectfully request that the City deny the proposed development.

Thank you for your attention to this matter.

Sincerely,

Abraham Bagheri and Jennifer Meyer Bagheri
22213 Shadycroft Avenue
Torrance, CA 90505

Velazquez, Luis

From: Dorothy Loomes <[REDACTED]>
Sent: Saturday, December 23, 2023 11:38 AM
To: Planning Commission
Subject: 22209 Susanna, Torrance

Follow Up Flag: Follow up
Flag Status: Completed

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Member of the Planning Commission for the City of Torrance

I am writing to state that I do not support the building of a large two story project as shown in the drawing at 22209 Susana, Torrance, CA. This development will adversely impact our views of the ocean, city lights and hills potentially reducing my property value. The Planning commissions primary concern is with the orderly growth of the community and I think this project is in direct opposition to the 1984/1985 Hillside Ordinance.

Thank you for your consideration,

Dorothy Loomes
5721 Avenue A
Torrance, CA 90505

Velazquez, Luis

From: Robert Sharp <[REDACTED]>
Sent: Tuesday, December 19, 2023 1:08 PM
To: Planning Commission
Subject: Opposition to building plan for 22209 Susana Ave. Torrance, Ca 90505

Follow Up Flag: Follow up
Flag Status: Completed

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

I reside at 22207 Shadycroft Ave. in Torrance. This house has been in my family since 1970, I grew up here. My husband and myself are now the current owners.

I am writing in opposition for the approval of a 2 story residence at 22209 Susana Ave. in Torrance. I have seen the proposed plan and feel that is in gross violation regarding view obstruction, light and airflow, infringement of privacy, all resulting in decreased property values under the Hillside Overlay ordinance.

I have seen the substantiation form that the owner's made for 22209 Susana. In it they state that no ocean views exist in this area. I have an ocean view, and although it wouldn't be effected, my right to privacy would. When I look to the west from my living room, instead of seeing a lovely dotted hillside, I will be facing a rather large Mc Mansion, or "eyesore". The residents of said property would be able to see into my living room which consists of 64 panes of glass, and if a deck was added to the Susana property, which is a strong likelihood, then it would be even worse.

By approving this plan, there will potentially be backlash from other residents who in the past have been denied the right to add another story to their existing property. The Hillside Overlay ordinance should be fair for all who reside within it.

The proposed plan does not fit this Seaside community that is characterized by its open and airy landscape. If the owner's wanted this type of house, they should have purchased in an area like Manhattan Beach. I do not wish to see our community become another Manhattan Beach.

Thank you.
Sincerely,

Leah Sharp
22207 Shadycroft Ave.
Torrance, CA 90505
[REDACTED]



ITEM 8C
ATTACHMENT 7
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

PLANNING

1. Any fence, wall, or hedge within the required front yard setback area of any lot shall not exceed a height of four (4) feet within the first 10' of the property.
2. That no retaining wall shall be constructed which exceeds five (5) feet in height. If the grade to be retained exceeds five (5) feet, additional retaining walls may be constructed at higher elevations provided a planter area not less than two (2) feet in width is constructed between said retaining walls and is landscaped.

BUILDING AND SAFETY

3. Comply with 2022 CBC, CMC, CEC, CPC & CGBC.

ENGINEERING

4. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Susana Avenue and Avenue "A".
5. Close abandoned driveway(s) with full height curb and gutter to match existing (City Code sec. 74.4.4).
6. Construct proposed driveway approach on Susana Avenue per City of Torrance Standards with a maximum 18" driveway width.
7. Verify that all pool safety requirements have been met, including pool clearances, wall height and self-closing and self-latching gates.
8. Provide 20' average front yard setback; no building shall closer than 15' minimum from the property line
9. Provide 5' side yard setback.
10. No portion any building shall be closer than 10' to the exterior property line

ENVIRONMENTAL

11. Bedroom sizes to be as determined per Torrance code (92.20.2).
12. The front yard of any property zoned for residential use shall not be more than 50%-paved per Torrance code (92.5.14).
13. Water heater shall not encroach into the required parking area.
14. The washer and dryer shall not encroach into the required parking area.
15. For residential uses, the interior dimensions of a two-car garage shall be 18 ft. wide by 20 ft. deep with no encroachments per Torrance code (93.5.2).
16. The property shall be landscaped prior to final inspection per Torrance code(92.21.9).

PUBLIC WORKS

17. Plant street trees within the City easement. Plant 24" box size Crape Myrtle "Muskogee", or Gold Medallion trees, one (1) at Susana Avenue and two (2) at Avenue A.



WATER

18. Contact the City of Torrance Fire Department to determine fire suppression requirements.



ITEM 8C
ATTACHMENT 8
CONDITIONS OF APPROVAL

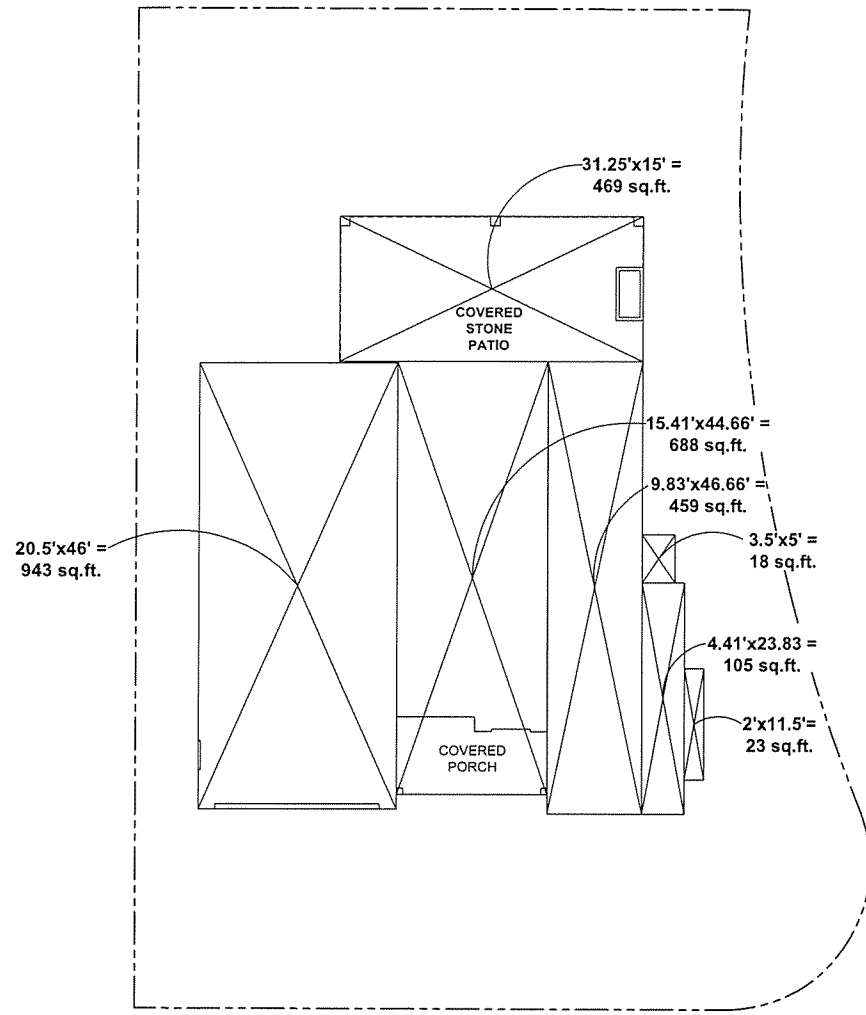
RECOMMENDED CONDITIONS FOR PRE23-00013, IF APPROVED:

1. That the use of the subject property for a single-family residence shall be subject to all conditions imposed in Precise Plan of Development 23-00013 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the applicant shall provide 4" minimum contrasting address numeral for residential, condo, etc. uses; (Environmental)
4. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)
5. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Water)
6. That if fire sprinklers are required, upgrade existing water service to 1" min; (Water)
7. That a copy of Planning Commission Resolution No. 24-003 shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
8. That the floor area calculations, including deck area, shall be provided on the building plans as calculated per the staff report at the time of plan check; (Planning)
9. That the applicant shall continue to work with staff to demonstrate the proposed retaining walls and fences on the property do not exceed the maximum height limits per Code to the satisfaction of the Community Development Director; (Planning)
10. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
11. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; and (Planning)
12. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

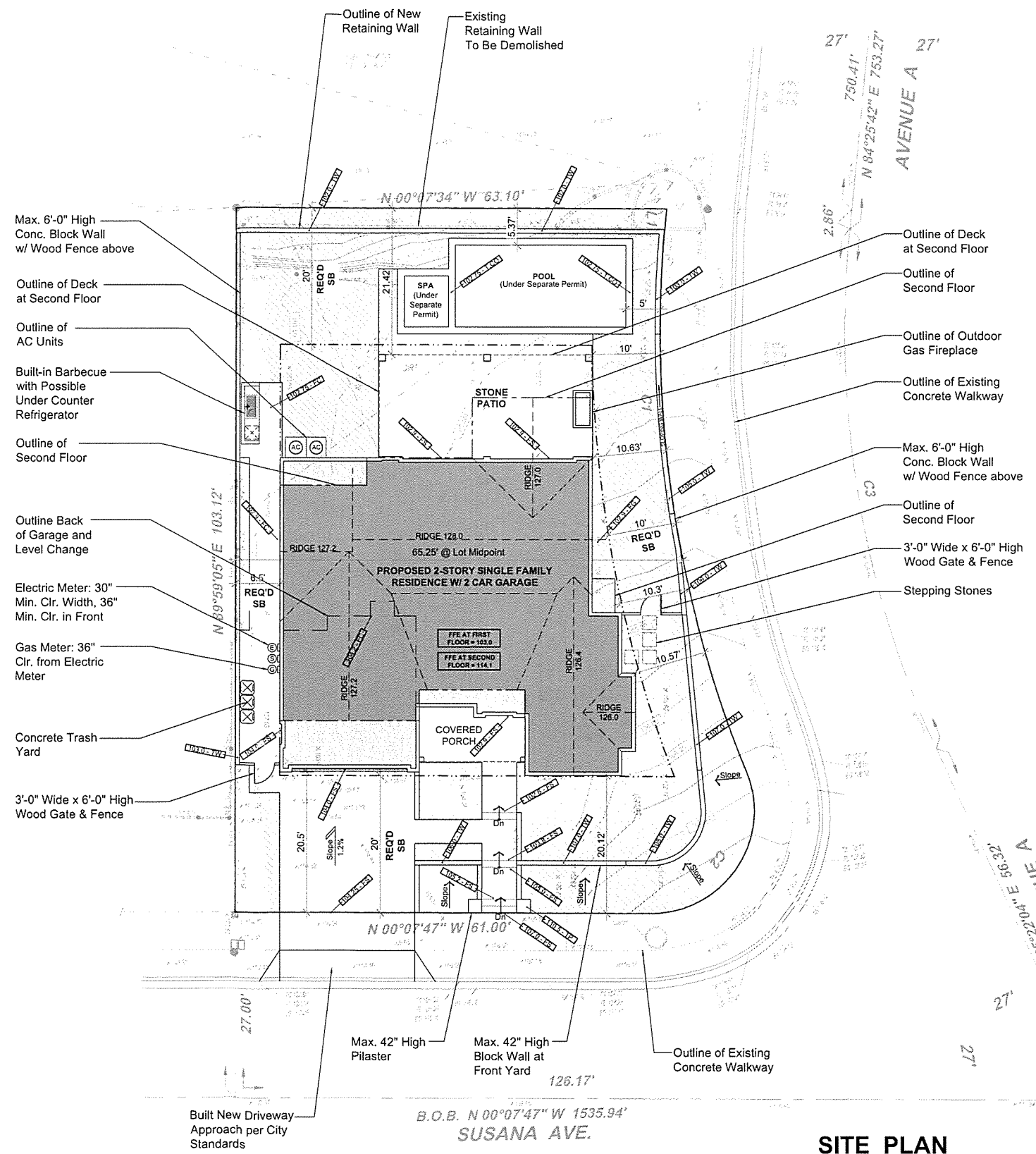
ITEM 8C

ATTACHMENT 9

PROJECT PLANS (LIMITED DISTRIBUTION)



LOT COVERAGE CALCULATION
 1/8" = 1'-0"
 ALLOWABLE = 6,918 X 0.40 = 2,767.60 sq. ft.
 PROVIDED = (23+105+18+459+688+459+943) = 2,705 sq.ft. < 2,767.60 sq.ft. OK



- LEGEND**
- Landscaping
 - One Story Element
 - Two Story Element
 - Cellar
 - Block Wall
 - Existing Grade
 - Proposed Grade
 - Setback Line
 - F.C. Finished Concrete
 - T.W. Top of Wall
 - T.R. Top of Railing
 - F.F.E. Finished Floor Elevation
 - T.C. Top of Curb
 - F.L. Flowline at Street
 - F.S. Finished Surface
 - T.CO. Top of Coping
 - T.P. Top of Pilaster
 - T.F. Top of Fence
 - B.P. Bottom of Pool
 - ⊙ Sprinkler Valve
 - ⊕ Electric Meter
 - ⊕ Water Meter
 - ⊕ Gas Meter

SITE PLAN
 1/8" = 1'-0"

OWNER: KIRK AND PAM FELDKAMP
 JOB ADDRESS: 22209 SUSANA AVE TORRANCE

| |
|----------|
| REVISION |
| REVISED |
| PRINTED |

2306
A1
 OF

119 W. TORRANCE BLVD., SUITE 24
 REDONDO BEACH, CALIFORNIA 90277
 PHONE: (310) 372-5680
 FAX: (310) 316-5801

DOUGLAS J. LEACH
 ARCHITECT

22209 Susana Avenue Rendering

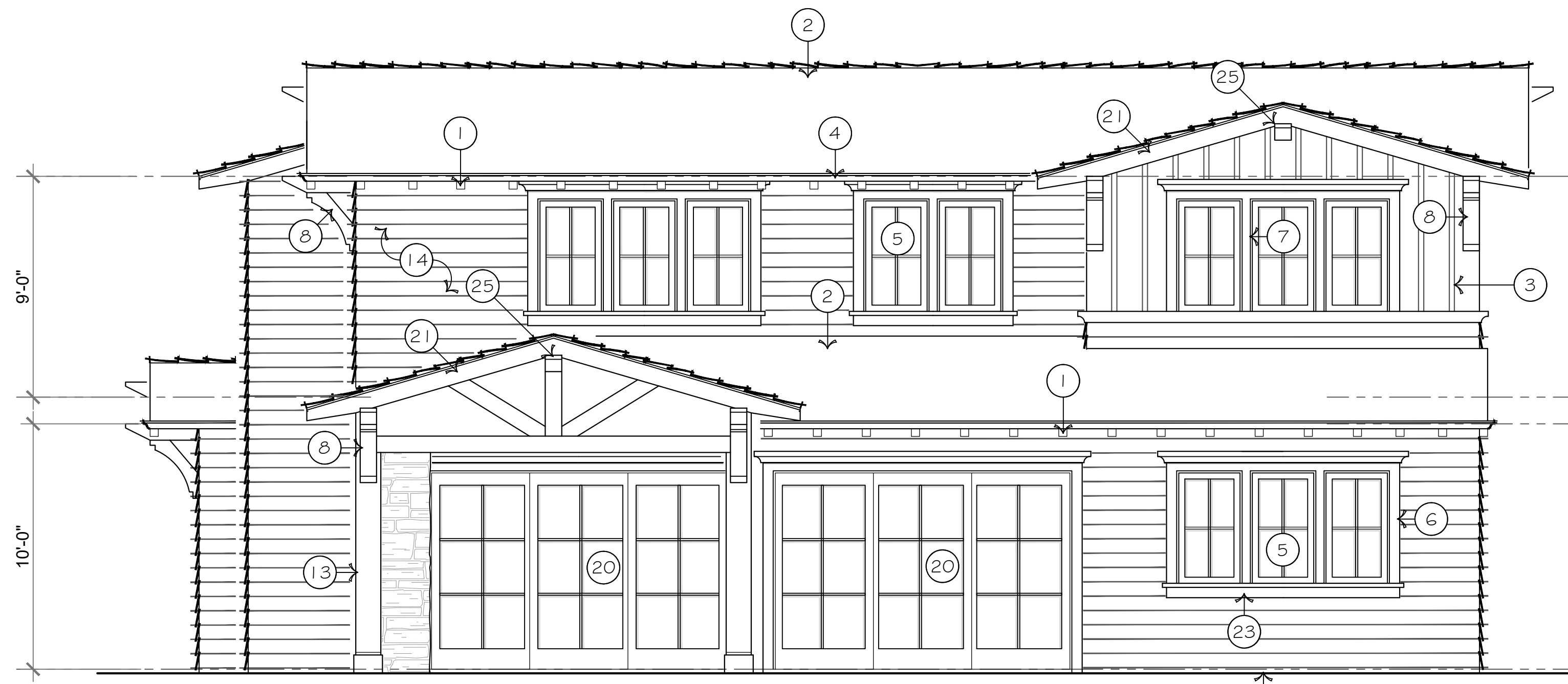


ITEM 8C
ATTACHMENT 4
PROJECT PLANS

ELEVATION NOTES:

- ① 4x rafter tail typ. @ eave per detail
- ② Lightweight concrete singles or class 'B' rated heavy duty asphalt shingles over 30# felt
- ③ 2"x3" batts @ 15" oc. over "Hardie Planking"
- ④ 5" Ø half round copper gutter
- ⑤ Wood clad window assembly w/ muntins as shown at top
- ⑥ 2x6 trim/painted around windows unless noted otherwise - See
- ⑦ See detail for post between windows
- ⑧ 6" wide knee bracing - See detail
- ⑨ See detail for garage door head & jamb details
- ⑩ Dutch entry door w/ glass and muntin bars @ top as shown
- ⑪ 17'-0" x 8'-0" sectional roll-up door w/ remote opener and glass in top panels as shown/painted or stained
- ⑫ Exterior stone veneer - See detail &
- ⑬ See detail & for column details
- ⑭ Hardie "Artisan" beveled siding over 15" felt w/ 7" exposure
- ⑮ Line of existing natural grade at property line
- ⑯ Exterior metal fireplace
- ⑰ See for furr down @ outdoor covered living
- ⑱ Finished grade
- ⑲ See for trim between siding & batts
- ⑳ Sliding french doors w/ muntin bars as shown - See Floor Plans
- ㉑ Typ. 4x fascia board w/ cut tails @ 3/2:12 as shown - See rake detail
- ㉒ See detail for typ. head @ window
- ㉓ See detail for typ. sill @ window
- ㉔ See detail for head @ door
- ㉕ Painted wood outlooker beam cut from 6 x 8

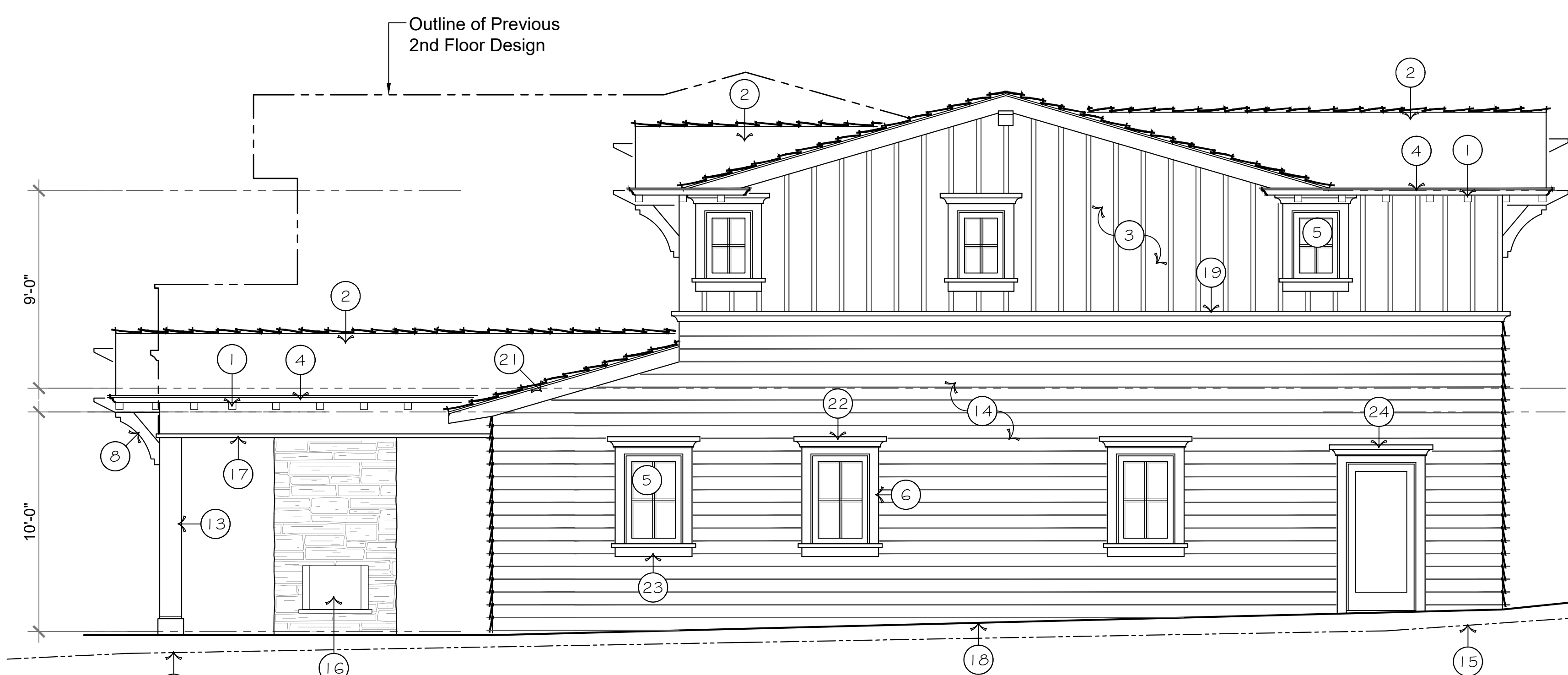
VERY IMPORTANT NOTES
 Framer and general contractor shall verify exact elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.



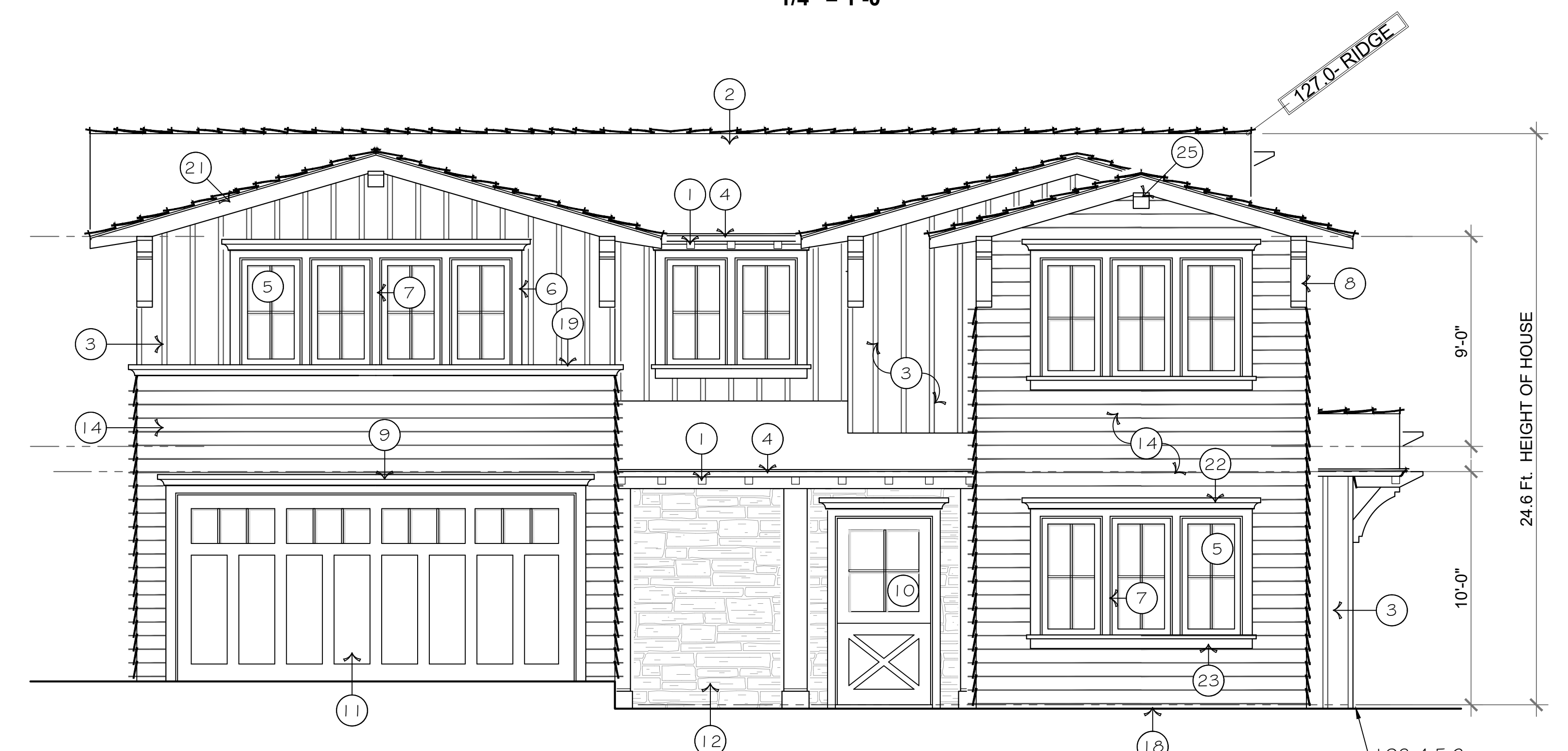
REAR EAST ELEVATION
 1/4" = 1'-0"



RIGHT SIDE NORTH ELEVATION
 1/4" = 1'-0"

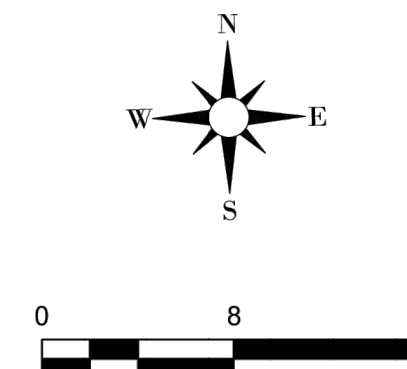


LEFT SIDE SOUTH ELEVATION
 1/4" = 1'-0"



FRONT WEST ELEVATION
 1/4" = 1'-0"

NOTE
THIS SURVEY AND MAP ARE THE PROPERTY OF EAGLE EYE LAND SURVEYING AND MAY NOT BE MODIFIED, ALTERED, OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY E.E. LAND SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISION EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISC OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISION WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, BY EAGLE EYE LAND SURVEYING AS TO SUCH CHANGED MATERIAL.



BASIS OF BEARINGS: N 00°07'47" W LINE SUSANA AVE. PER TRACT NO 17921, M.B. 442-44 AS FILED IN THE RECORDS OF LOS ANGELES COUNTY.

PROJECT NOTES:
NO TITLE REPORT PROVIDED, NO EASEMENTS SHOWN.

ASSUMED BENCHMARK:
DESCRIPTION :LTT STAMPED LS 9806 ON 6.00' N'LY OF PC.
EL= 100.00' AS SHOWN HEREON

LEGEND & BLOCKS

- | SYMBOLS | | HATCHING & LINE TYPE | |
|---------|------------------------------|----------------------|---------------------|
| | POWER POLE | | BRICK PAVERS |
| | LIGHT POLE | | BUILDING |
| | GUY WIRE | | BUILDING OVERHANG |
| | WATER VALVE | | BALCONY |
| | FIRE HYDRANT | | CONCRETE |
| | WATER METER | | SHED |
| | SEWER MANHOLE | | STONE PAVERS |
| | GAS VALVE | | TILE PAVERS |
| | GAS METER | | WOOD DECK |
| | ELECTRIC VAULT | | BRICK WALL |
| | ELECTRIC METER | | BUILDING LINE |
| | ELECTRIC TRANSFORMER | | CONCRETE BLOCK WALL |
| | CATV BOX | | CENTER LINE |
| | WATER HEATER | | CHAINLINK FENCE |
| | STORM DRAIN MANHOLE | | CURB LINE |
| | STORM DRAIN INLET | | GUTTER LINE |
| | PHONE BOX | | PLANTER WALL |
| | BOLLARD | | PLANTER LINE |
| | DOUBLE GATE | | POWER LINE |
| | SLIDE GATE | | PROPERTY LINE |
| | SINGLE GATE | | IRON FENCE |
| | FLAG POLE | | RETAINING WALL |
| | TRAFFIC CONTROL BOX | | ROOF LINE |
| | TRAFFIC LIGHT | | STONE WALL |
| | SIGN | | STAIRCASE LINE |
| | HANDICAP SIGN | | VINYL FENCE |
| | HANDICAPPED PARKING | | WOOD FENCE |
| | BUILDING HEIGHT LOCATION | | TREE |
| | FINISH FLOOR HEIGHT LOCATION | | |
| | ELECTRIC TRANSFORMER | | |

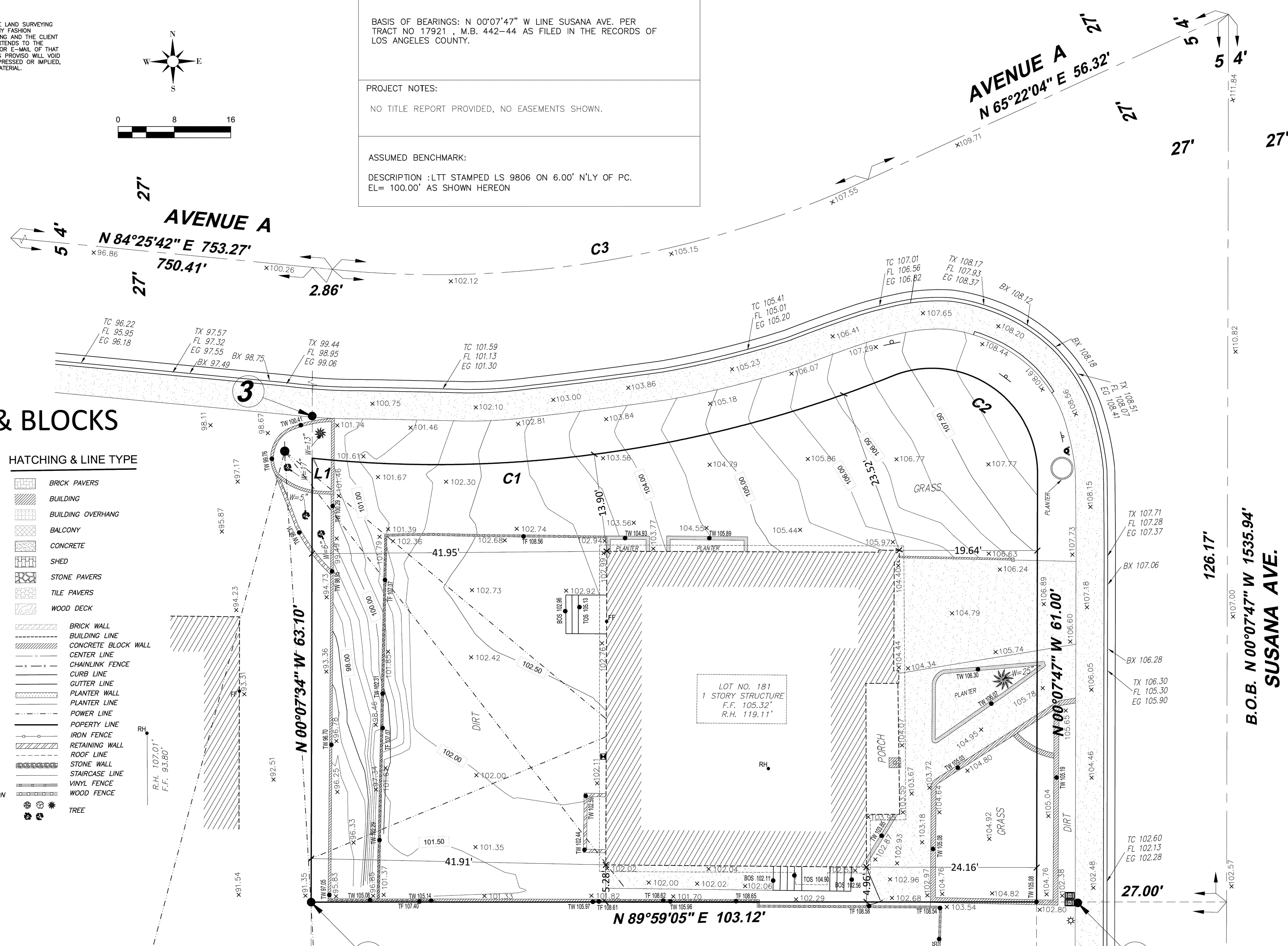
MONUMENTS DETAILS:

- 1 FND. LTT STAMPED LS 5850 ON PL PROD. 5.88' E'LY & 0.13' S'LY OF PC. PERPENDICULAR THEREOF. EL = 102.33'
- 2 SET LTT STAMPED LS 9806 AT PC. EL = 91.26'
- 3 SET LTT STAMPED LS 9806 ON 6.00' N'LY OF PC. EL = 100.00'

CURVE DETAILS:

| CURVE | RADIUS | LENGTH | DELTA |
|-------|---------|--------|------------|
| C1 | 172.85° | 83.92' | 27°49'09" |
| C2 | 15.00° | 29.19' | 111°29'26" |
| C3 | 145.85° | 78.17' | 30°42'29" |

L1= N 84°25'42" (0.23')



| ITEM | # | DATE OF REVISIONS: |
|------|---|--------------------|
| | | |
| | | |

MAP ISSUE DATE: 08/21/2023
DRAFTED BY: M.A.P.

ABBREVIATIONS:

- | | |
|----------|----------------------------|
| AB | AGGREGATE BASE |
| AC | ASPHALT PAVEMENT |
| AD | AREA DRAIN |
| BM | BENCHMARK |
| BOS | BOTTOM OF STAIRS |
| BOW | BACK OF WALK |
| BRMP | BOTTOM OF RAMP |
| BS | BOTTOM OF SLOPE |
| CB | CATCH BASIN |
| CBW | CONCRETE BLOCK WALL |
| CF | CURB FACE |
| CL | CHAIN LINK FENCE |
| CONC | CONCRETE |
| E | EAST |
| EG | EDGE OF GUTTER |
| EM | ELEVATION |
| EMH | ELECTRIC MANHOLE |
| EP | ELECTRIC METER |
| EPB | ELECTRIC PULL BOX |
| EV | ELECTRIC VAULT |
| EVV | ELECTRICAL VENTILATION BOX |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| FND | FOUND |
| FOV | FACE OF WALK |
| FS | FINISHED SURFACE |
| GB | GRADE BREAK |
| GM | GAS METER |
| GV | GAS VALVE |
| ICV | IRRIGATION CONTROL VALVE |
| IP | INVERT ELEVATION |
| IP | IRON PIPE |
| LP | LEAD, TACK & TAG |
| LT | LEAD & TACK |
| MP | METAL POST |
| N | NORTH |
| NG | NATURAL GROUND ELEVATION |
| O/S | OFFSET |
| OHW | OVERHEAD WIRE |
| PB | PULL BOX |
| PC | PROPERTY CORNER |
| PL | PROPERTY LINE |
| PLS | PROFESSIONAL LAND SURVEYOR |
| PLT | PARKING LOT LIGHT |
| PM | PARKING METER POST |
| PP | PRODUCED |
| PROD | REGISTERED CIVIL ENGINEER |
| RCE | RETAINING WALL |
| SB | SOUTH |
| SB | SPLASH BOX |
| SDMH | STORM DRAIN MANHOLE |
| SMH | SEWER MANHOLE |
| SPB | SIGNAL PULL BOX |
| STLT | STREET LIGHT |
| SW | SPIKE & WASHER |
| TBM | TEMPORARY BENCHMARK |
| TC | TOP OF CURB |
| TELHM | TELEPHONE MANHOLE |
| TC | TOP OF GRADE ELEVATION |
| TOS | TOP OF STAIRS |
| TR | TREE |
| TS | TRAFFIC SIGNAL |
| TS | TOP OF SLOPE |
| TW | TOP OF WALL |
| TX/BX | TOP/BOTTOM OF X |
| W | WEST |
| WD-FENCE | WOOD FENCE |
| WF-FENCE | WROUGH IRON FENCE |
| WM | WATER METER |
| WV | WATER VALVE |

E.E. LAND SURVEYING

CLIENT: FELDKAMP
PROJECT NO. 23-178
DATE: 08/15/23
ASSESSOR'S I.D. NUMBER: APN: 7515-001-025
LEGAL DESCRIPTION: LOT NO. 181 TRACT NO. 17921 M.B. 442-44

BOUNDARY/TOPOGRAPHIC SURVEY

22209 Susana Ave, Torrance, CA 90505

SITE ADDRESS:

LICENSED LAND SURVEYOR

ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A LICENSED LAND SURVEYOR, LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, MICHAEL PROFET, LS 9806, PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE SECTION 8700-8805.



08/23/2023

PREPARED BY:
EAGLE EYE LAND SURVEYING
CIVIL ENGINEERING & LAND SURVEYING
1311 MANHATTAN BEACH BLVD.
#4 MANHATTAN BEACH, CA 92780
PHONE: (310)955 8901

OWNER: KIRK AND PAM FELDKAMP JOB ADDRESS: 22209 SUSANA AVE TORRANCE

THESE PLANS ARE COPYRIGHTED AND THE DESIGN IS THE SOLE PROPERTY OF DOUGLAS LEACH, ARCHITECTURE, INC.

119 W. TORRANCE BLVD., SUITE 24
REDONDO BEACH, CALIFORNIA 90277
PHONE: (310) 372-5580
FAX: (310) 318-5801

REVISION

REVISED

PRINTED

2306 OF

ITEM 8C
ATTACHMENT 5
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

PLANNING

1. Any fence, wall, or hedge within the required front yard setback area of any lot shall not exceed a height of four (4) feet within the first 10' of the property.
2. That no retaining wall shall be constructed which exceeds five (5) feet in height. If the grade to be retained exceeds five (5) feet, additional retaining walls may be constructed at higher elevations provided a planter area not less than two (2) feet in width is constructed between said retaining walls and is landscaped.

BUILDING AND SAFETY

3. Comply with 2022 CBC, CMC, CEC, CPC & CGBC.

ENGINEERING

4. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Susana Avenue and Avenue A.
5. Close abandoned driveway(s) with full height curb and gutter to match existing (City Code sec. 74.4.4).
6. Construct proposed driveway approach on Susana Avenue per City of Torrance Standards.

ENVIRONMENTAL

7. Bedroom sizes to be as determined per Torrance code (92.20.2).
8. The front yard of any property zoned for residential use shall not be more than 50%-paved per Torrance code (92.5.14).
9. Water heater shall not encroach into the required parking area.
10. The washer and dryer shall not encroach into the required parking area.
11. The property shall be landscaped prior to final inspection per Torrance code(92.21.9).

PUBLIC WORKS

12. Plant street trees within the City easement. Plant 24" box size Crape Myrtle "Muskogee", or Gold Medallion trees, one (1) at Susana Avenue and two (2) at Avenue A.

WATER

13. Contact the City of Torrance Fire Department to determine fire suppression requirements

ITEM 8C
ATTACHMENT 6
CORRESPONDENCE

Velazquez, Luis

From: Abraham and Jenny Bagheri <[REDACTED]>
Sent: Tuesday, July 16, 2024 2:37 PM
To: Velazquez, Luis
Cc: Oorts, Leo
Subject: Public Comment for Staff Report - (PRE23-00013) - 22209 Susana Ave.
Attachments: Living Room and Backyard View.jpg; Living Room and Backyard View 2.jpg; Backyard View.jpg; Backyard View 2.jpg; Appraisal May 2024.pdf; Public Opposition.pdf

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Planning Commission, Mr. Oorts, and Mr. Valazquez:

We have resided in Torrance for over 30 years and are writing as concerned owners of a property in the Hillside Overlay, just two homes away from the proposed second story development at 22209 Susana Avenue (“proposed development”). We purchased our modest 1,430 square foot home on a 6,501 square foot lot in 2018, envisioning it as our forever home where we would raise our children. This proposed development poses significant adverse impacts, threatening not only our privacy and cherished views but also the overall aesthetic and ambiance of our beloved neighborhood. We appreciate the need for growth, but not at the expense of benefiting one neighbor to the detriment of others.

I. Noncompliance with Hillside Ordinance and Adverse Impact on View, Light, Air, and Privacy

Torrance Municipal Code (TMC) section 91.41.6 states that no construction or remodeling shall be permitted unless the Planning Commission finds that it complies with the following provisions:

- **a)** No adverse impact on view, light, air, and privacy.
- **b)** Least intrusion on views, light, air, and privacy.
- **c)** Harmony with other properties in the vicinity.
- **d)** No harmful impact on land values and investments.
- **e)** Not materially detrimental to public welfare and other properties.
- **f)** No adverse cumulative impact on other properties.

These elements are requirements, not factors. Additionally, TMC section 91.41.7(d) states that “The Planning Director has determined that the proposed development will not have an adverse effect on other properties in the vicinity, and there is no significant public controversy thereon.”

A. Harm to Neighbors and Community

Currently, our home has a view to the west and northwest that is fundamental to the character and value of our property. This view includes neighborhood homes nestled between trees set against the backdrop of Knob Hill and Avenue A. In the evenings, city lights create a picturesque view, and during the holidays, the lights add to the charm. The proposed development, positioned just 150 feet from our property line, will obstruct significant portions of this view, including trees, greenspace, city lights, rooftops, and hillsides. This obstruction will diminish the aesthetic and value of our home, disrupting

the sense of openness and natural surroundings and fundamentally altering the character and value of our property.

The proposed second-story will invade our backyard and living room privacy with windows having a direct line of sight into these areas. This design will restrict air flow, obstructing the ocean breeze currently flowing into our home. Multiple neighbors' views, light, air, and privacy will also be adversely affected.

Consider these properties for perspective. Upon being advertised for sale, these properties were marketed on the MLS for their views of the city, hillside, rooftops, and trees:

- 22332 Warmside Ave.: Views of "hills" and "city lights"
- 22502 Redbeam Ave.: "Inspiring city & Palos Verdes views"
- 22207 Redbeam Ave.: Views of "city lights" and "hills"
- 24532 Park St.: View of "Trees/Woods"
- 2582 Vista Del Sol, La Verne: "A great view over the rooftops!"
- 21236 E Cloverland Dr, Covina: "A living room with a view of rooftops"

The proposed development threatens these views, impacting not just our individual view but the visual character of the neighborhood.

Compared to the total number of homes on each nearby street, there are very few two-story homes in the vicinity. This development will contribute to a feeling of overbuilding and mansionization, which is not harmonious with the neighborhood. A towering, approximately 3,400 square foot two-story house in a sea of modest single-story homes will negatively affect land values of the affected homes. Properties with obstructed views sell for less. Investors will be less likely to invest in a neighborhood where views can be easily obstructed, contrary to the Hillside Overlay ordinance's intention.

The development will crowd neighboring properties, altering the skyline and sense of open space. It will also cast large shadows, reducing natural light in surrounding homes and public spaces.

B. Adverse Cumulative Impact on Properties

The proposed development will adversely impact multiple neighbors' views, light, air, and privacy. New owners relied on the Hillside Overlay Ordinance when purchasing their homes, believing the City would enforce its rules. Additionally, pursuant to TMC section 91.41.7(d), significant public controversy exists, as evidenced by the attached petition with 120 signatures and other letters of opposition.

According to the attached certified appraiser's report, the proposed development will cause a significant loss of value to our house amounting to \$46,050, violating TMC section 91.41.6 (d). This substantial loss further supports denying the development. Additionally, sections 91.41.6 (e) and (f) indicate that the development should not be materially detrimental to public welfare or cause adverse cumulative impacts. The loss of \$46,050 is significant.

Imagine the cumulative impact that this proposed development will have by causing the loss of value of multiple properties in the vicinity. This could lead to potential legal and financial challenges on multiple fronts as homeowners seek remedies for their losses. We urge the city to consider these serious implications carefully and act to preserve the character and value of our neighborhood.

II. Conclusion

We respectfully request the Planning Commission deny the proposed development as it is currently designed to preserve our community's unique character. Thank you for your attention to this matter.

Attachments:

1. Appraisal
2. Four photos showing view obstruction
3. Significant Public controversy

Sincerely,

Abraham and Jennifer Bagheri

APPRAISAL OF REAL PROPERTY

Single Family Residence

Exterior/Interior Inspection



LOCATED AT

22213 Shadycroft Ave

Torrance, CA 90505

Tract # 17921 Lot 129; ParcelQuest

FOR

Abraham M Bagheri

OPINION OF VALUE

1,535,000

AS OF

05/16/2024

BY

John Grichine

Northstar Appraisal Services

4 Clearwater

Irvine, CA 92604

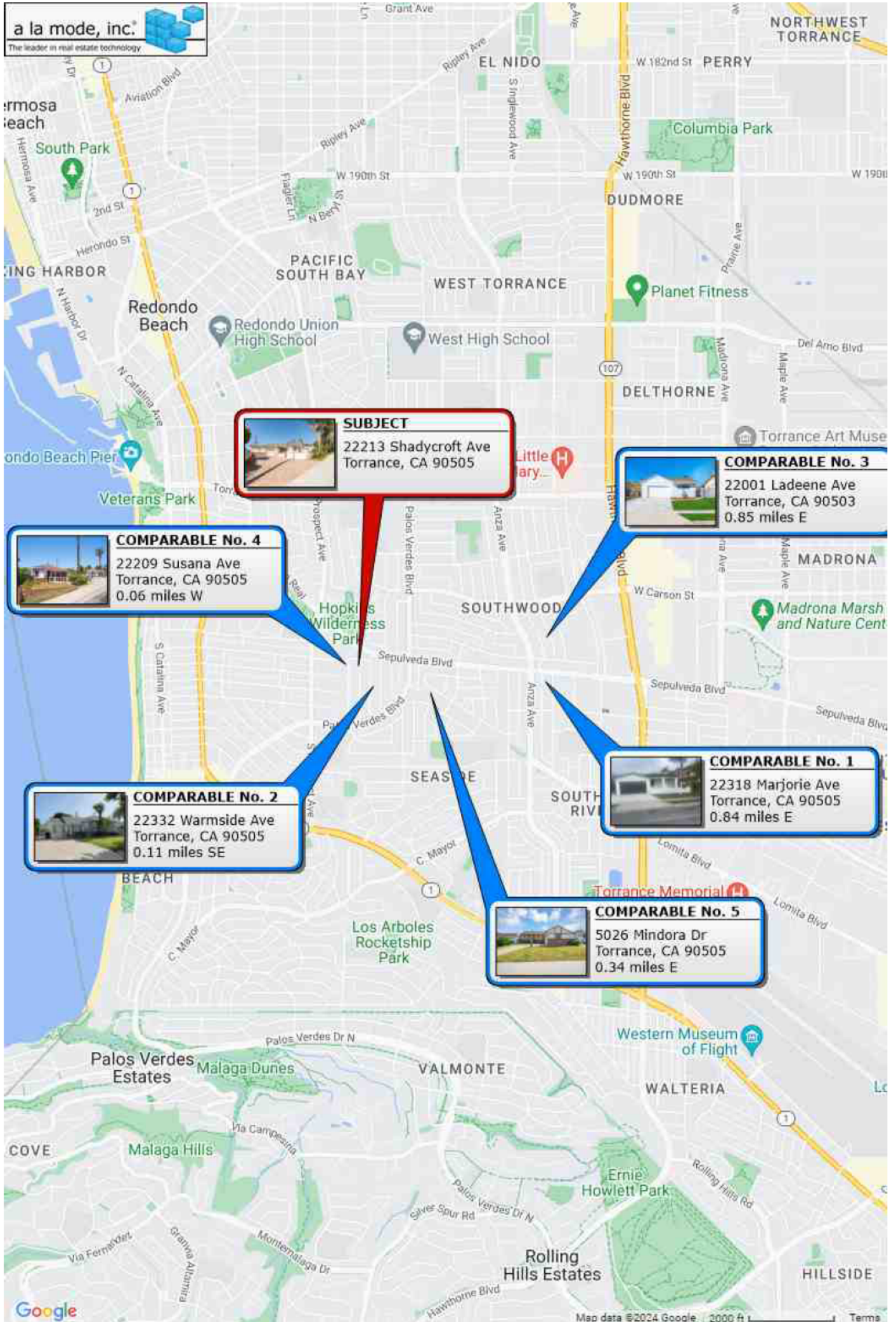
(949) 231-7989/(310)962-4123

John@NorthstarAppraiser.com

www.northstarappraiser.com

Location Map

| | | | | |
|------------------|----------------------|--------------------|----------|----------------|
| Borrower | n/a | | | |
| Property Address | 22213 Shadycroft Ave | | | |
| City | Torrance | County Los Angeles | State CA | Zip Code 90505 |
| Lender/Client | [REDACTED] | | | |



Appraiser License



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

John N. Grichine

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified Residential Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 033389

Effective Date: July 11, 2022
Date Expires: July 10, 2024


Loretta Dillon, Deputy Bureau Chief, BREA

3066378

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"

Supplemental Addendum

File No. 24-123 / U-L

| | | | | | |
|------------------|----------------------|--------|-------------|-------|-------------------|
| Borrower | n/a | | | | |
| Property Address | 22213 Shadycroft Ave | | | | |
| City | Torrance | County | Los Angeles | State | CA Zip Code 90505 |
| Lender/Client | [REDACTED] | | | | |

1. "Other" in the neighborhood land use represents government-owned land, open and green areas, fire & police stations, parks, etc. This land use has no adversity on subject's value or marketability.

2. Estimated exposure time for the subject property is 45 days on the market and with the assistance of a licensed and experienced real estate professional with knowledge of subject's market area.

3. I have performed a prior service, as an appraiser, regarding the property that is the subject of this appraisal assignment within the three-year period immediately preceding acceptance of this assignment. This prior service has an effective date of 01/04/2024 and was for a current fair market value appraisal for the same client.

Comparables Search Criteria:

The search criteria were ranked in order of importance as follows: #1. Location; the closest and most locationally similar (interior lot location with limited and minor local traffic and noise) closed sales were selected, preferably from within the subject's immediate neighborhood and within 1 mile of the subject property. #2: GLA and property Lot size; SFRs with a GLA of between 1,100 and 1,800 sf and with a lot size of between 4,000 and 8,000 sf were preferred and selected, as were available. #3: Views; Properties with limited and obstructed coastline views were thought-after and utilized, as were available. #4: Construction age. #5: Property condition, improvements, upgrades/updates, any needed repairs and overall physical appeal. #6: Recency of sale; most recently closed sales were preferred and selected (most recent as of the effective date of this appraisal). #7. Construction quality, construction style & overall appeal. #8. Lot/site qualities, improvements, features and characteristics (i.e. patio, balcony, pool, spa, b/in Bbq, etc).

Hypothetical Conditions and Extraordinary Assumptions:

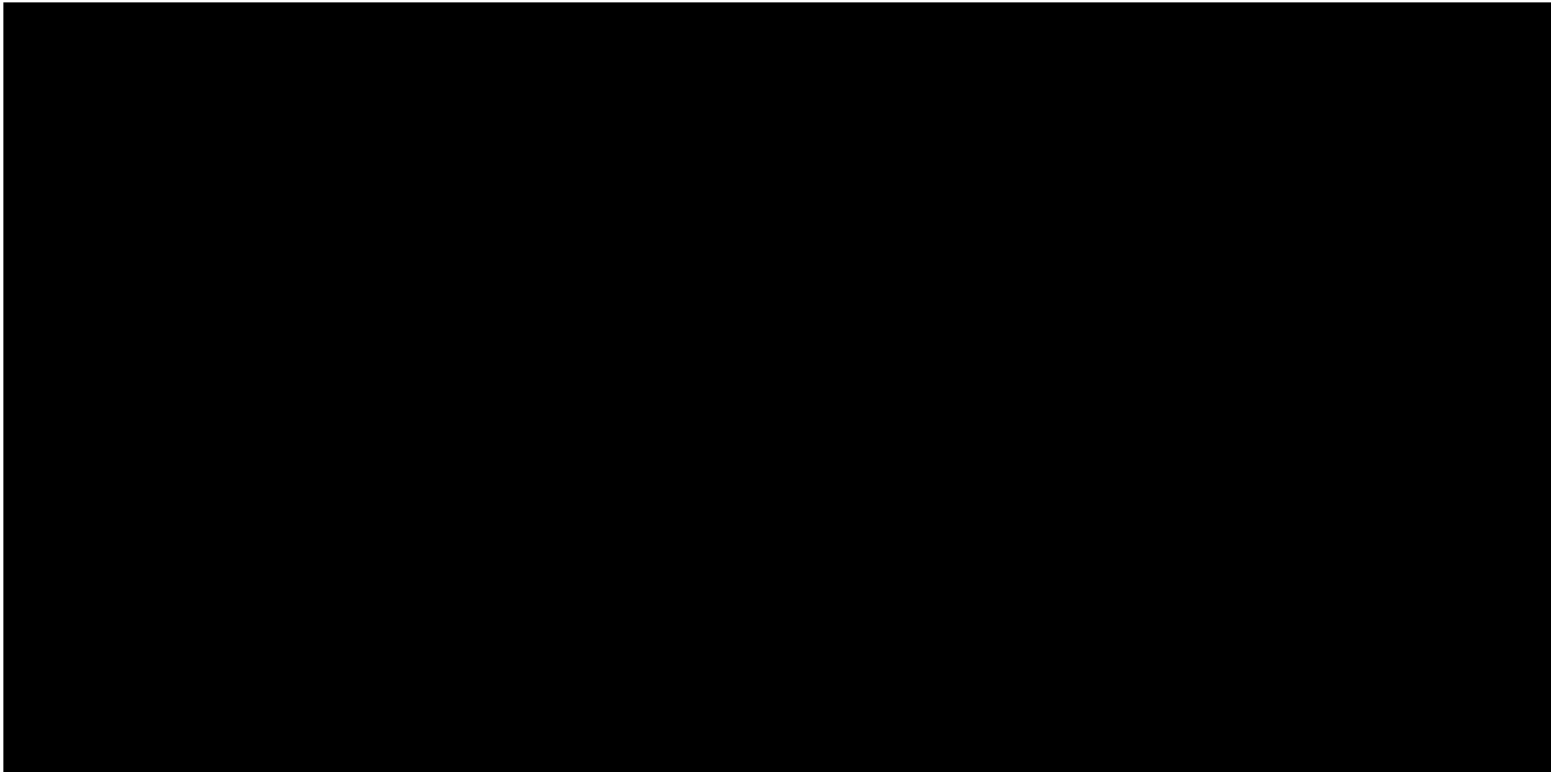
An extraordinary assumption is being made that the subject's site has no contamination or any other adverse conditions that were not observable at the time of inspection.

** Commentary regarding the diminution of value of the subject property due to an obstruction of its views. **

The proposed addition of a second floor to a single-family residence located at 22209 Susana Ave, approximately 150 feet from the subject property (located behind the subject and obstructs the view from the backyard) would create an obstruction of approximately 800 square feet; The addition is expected to be about 45 feet in length and 17 feet in height, per proposed plans made available by the client. This 800 square foot wall would predominantly obstruct views of hills, city lights and several mature trees, including palm trees. The addition would also infringe on the privacy of the subject property by creating windows and other observation points (multiple east-facing windows and east-facing balcony) from the 2nd level of the newly (proposed) constructed dwelling area. The diminished privacy would in effect negatively impact the value of the subject property, as well as surrounding properties whose views are also blocked and whose privacy is also diminished. Subject property enjoys views of approximately 120 degrees, stretching all the way to the coastline and of the surrounding hillside and city lights. In terms of the negative impact on the horizontal plane, the estimated 45 linear feet would block approximately 10% of this view, if not more. The impact to the vertical component, which is estimated to be approximately 17 feet, accounts for a smaller percentage of the blocked view than does the 45 linear feet along the horizontal plane. The reduced privacy also diminishes the values of the subject and surrounding properties. I anticipate that the points brought forward above will decrease subject's estimated value opinion by approximately 3%. This multiplier is extracted from market data, as well as taking into account the numbers and statistics mentioned above, concerning the proposed construction areas and the like. My experience in valuations in subject's market area and the familiarity of impact on a property's values due to obstruction of coastline, city lights and hills views, as well as the negative impact on a property due to a loss in privacy, contributed to my estimate of a 3% loss in property value. The subject property's estimated value opinion as of 05/16/2024 without any obstruction of views or impact on privacy from its aforementioned neighbor is \$1,535,000. The proposed development at 22209 Susana Ave, if constructed, will cause a significant negative impact on the views, privacy and property value of the subject property resulting in an estimated 3% diminution of value, which constitutes a \$46,050 loss in estimated value of the subject property. Should the proposed development be of larger size and create a larger obstruction to the view and a greater loss in privacy, my estimated diminution of value of the subject property may also change. It was also my observation after driving through this neighborhood that majority of single family residences in subject's neighborhood are 1-story. Hence, adding a 2nd story to the property on 22209 Susana Ave, would interfere with the aesthetics and style of subject's neighborhood.

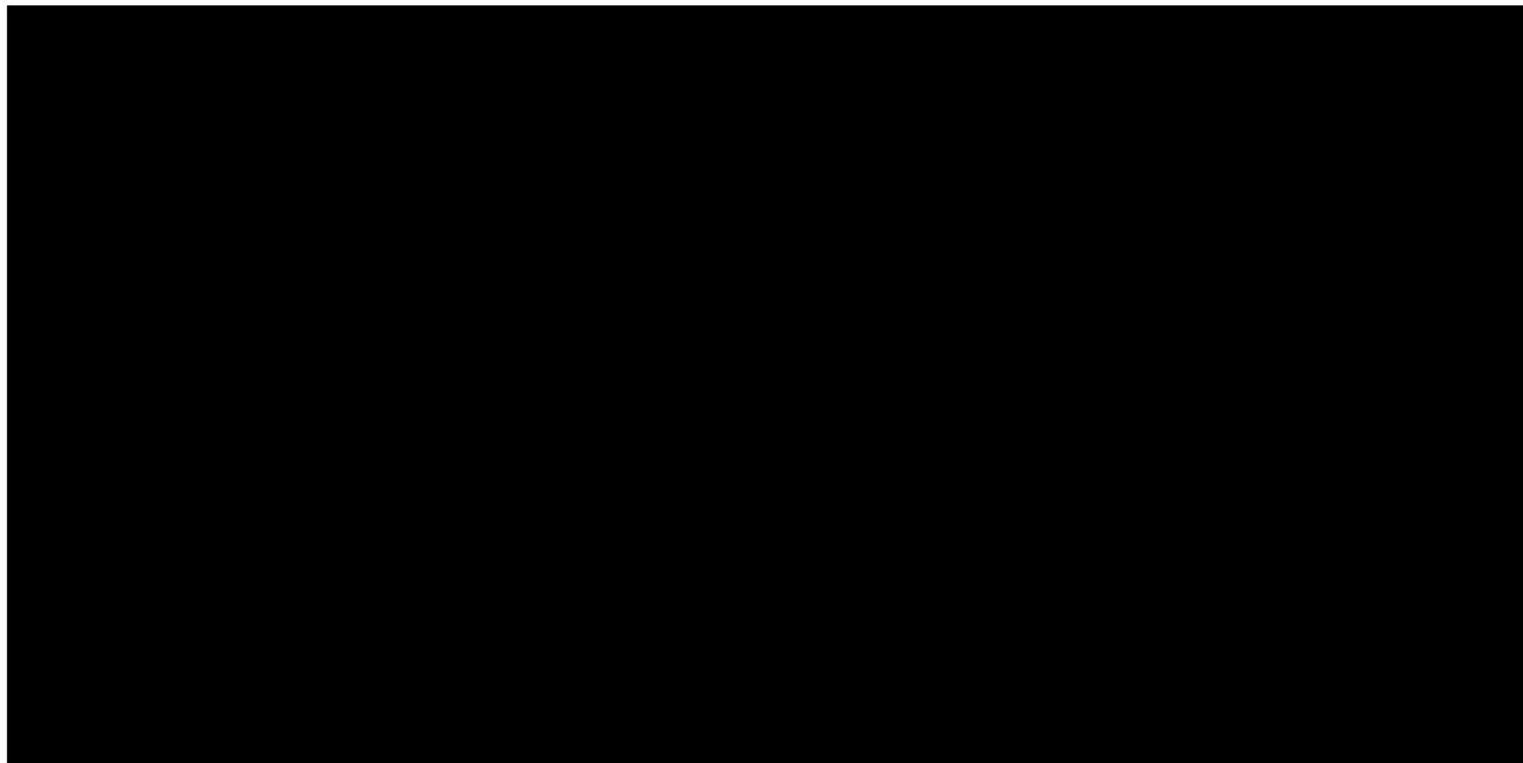
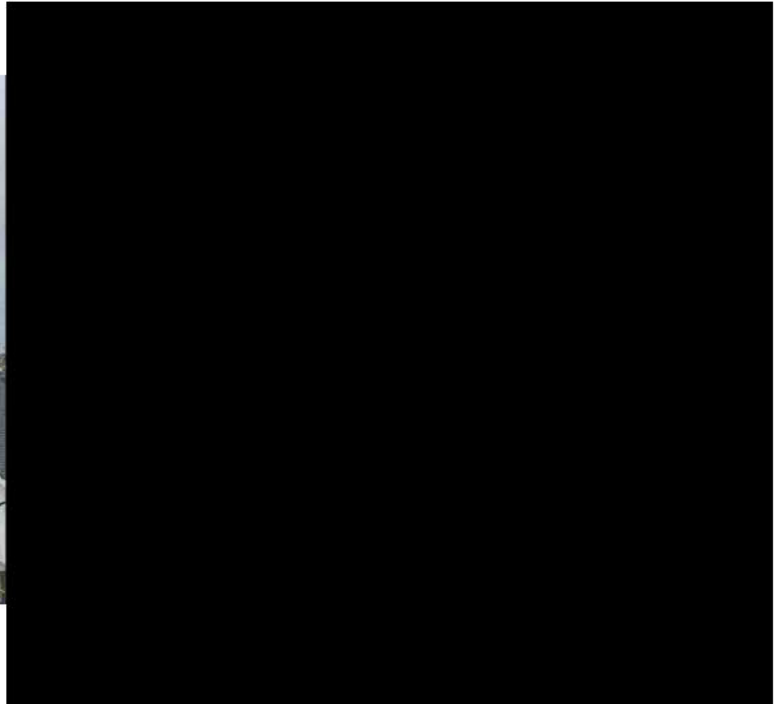
Photograph Addendum May 2024

| | | | | | | | |
|------------------|----------------------|--------|-------------|-------|----|----------|-------|
| Borrower | n/a | | | | | | |
| Property Address | 22213 Shadycroft Ave | | | | | | |
| City | Torrance | County | Los Angeles | State | CA | Zip Code | 90505 |
| Lender/Client | [REDACTED] | | | | | | |



Photograph Addendum May 2024

| | | | | | |
|------------------|----------------------|--------|-------------|-------|-------------------|
| Borrower | n/a | | | | |
| Property Address | 22213 Shadycroft Ave | | | | |
| City | Torrance | County | Los Angeles | State | CA Zip Code 90505 |
| Lender/Client | Abraham M Bagheri | | | | |





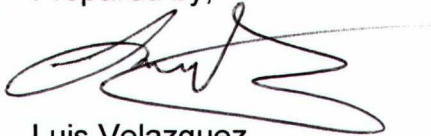


SUPPLEMENTAL #2 TO AGENDA ITEM 8C

DATE: January 17, 2024
TO: Members of the Planning Commission
FROM: Planning Division
SUBJECT: Correspondence

Please find attached correspondence for Agenda Item No. 8C. The attached correspondence was submitted after the item was completed.

Prepared by,



Luis Velazquez
Planning Assistant

Respectfully submitted,



Leo Oorts
Planning Manager

Attachments:

1. Correspondence

Velazquez, Luis

From: Brady Wheeler <[REDACTED]>
Sent: Wednesday, January 10, 2024 10:46 PM
To: Velazquez, Luis
Subject: PRE23-00013

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Hello,

I have lived on Susana Avenue for over 30+ years and developing a two story 4000+ sq ft home on this property is absurd.

Please do not allow this project to happen.

Best Regards,
Susana Ave Resident

Velazquez, Luis

From: Helen Savard <[REDACTED]>
Sent: Thursday, January 11, 2024 11:21 AM
To: Velazquez, Luis
Subject: PRE23-00013

You don't often get email from [REDACTED] [Learn why this is important](#)

Good morning. I am writing regarding the home on Susanna avenue in Torrance. I am concerned that with the \$4,300 ft home on that corner we will lose property value of our home which currently has a beach and sunset view to the West. We have owned this property for over 50 years and will be planning on living in it for the foreseeable future.

Please strongly consider not allowing this property to encroach on our small home community. Thank you for your time and consideration in this matter.

22219 Shadycroft Ave, Torrance, CA 90505.

Normand and Annette Leroux

Velazquez, Luis

From: Christopher E Olin <[REDACTED]>
Sent: Thursday, January 11, 2024 12:36 PM
To: Velazquez, Luis
Subject: Case number is PRE23-00013.

You don't often get email from [REDACTED]. [Learn why this is important](#)

Ms. Velazquez,

I live in Seaside at 22638 Linda Dr. and I want to express my support for the construction of the two-story house at 22209 Susana Ave.

The neighborhood needs to increase density, so I am all for this project.

It also doesn't appear that there is much of a view that would be obstructed. It does not appear that a single-story house from across the street of 2209 Susana can even see over the current house at that location.

Thanks!

Christopher Olin

Velazquez, Luis

From: joedsl <[REDACTED]>
Sent: Monday, January 15, 2024 9:04 AM
To: Planning Commission
Subject: Public Comment to Planning Commission January 17, 2024 Agenda Item 8C
Attachments: Objection to Precise Plan PRE23-00013.pdf

Dear Leo Oorts,

Please include as Public Comment to Planning Commission January 17, 2024 Agenda Item 8C, the document that I have attached hereto, identified as: "Objection to Precise Plan PRE23-00013.pdf".

Thank you.

Joe Buck

Objection to Precise Plan PRE23-00013

My wife and I have resided in the Hillside Overlay Zone for 40 years. We, very much, treasure the “open and airy ambiance” of the Hillside. I write to express our opposition to the proposed construction of another two-story house within the Hillside Overlay Zone (the “Hillside”). The construction of the two-story house at 22209 Susana, would constitute another, irreversible step towards the complete destruction of the special attributes of the Hillside, that we residents of the Hillside treasure so much.

I express our strong opposition in the hope of preserving, for future residents of the Hillside, these very special attributes that still exist here in the Hillside located with the City of Torrance. The uncontrolled construction of multistory houses in Manhattan Beach tragically exemplifies the complete destruction of the special attributes, similar to those in the Hillside in Torrance, that at an earlier time, the residents of Manhattan Beach also enjoyed.

The fact that Applicant recently decided to purchase the property at 22209 Susana, instead of purchasing a property located in a different area of Torrance within which the construction of two-story dwellings is freely permitted, reveals the fact that Applicant appreciates and would like to live where Applicant, and his family also could enjoy the “open and airy ambiance” of the Hillside. Applicant does not want to live in an area that is filled with two-story houses. Applicant, instead, asks the City of Torrance to permit him to build a two-story house from which Applicant and his family can enjoy the special benefits of the Hillside provided by the City of Torrance. Applicant ignores the fact he would obtain this benefit by taking it from his present, as well as from his future, neighbors.

If Applicant, in fact, were to obtain permission to build a two-story home, he, would join the owners of other two-story houses located within the Hillside that “DO NOT” support the construction of additional two-story houses within the Hillside. Owners of two-story houses within the Hillside do not support the construction (by other owners) of still more two-story houses in the Hillside because such construction within the Hillside would soon destroy, forever, the special attributes of the Hillside, that the owners’ of two-story houses, who purchased property within the Hillside, especially appreciate. Applicant wants his “cake”, which, as a long term matter, Applicant and his successors cannot have if the “others” also are allowed to eat a piece of the same “cake” that Applicant wants to eat!

Velazquez, Luis

From: Lyn Fischer <[REDACTED]>
Sent: Monday, January 15, 2024 9:24 AM
To: Velazquez, Luis
Subject: Case: PRE23-00013

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Writing in to oppose the proposed construction at 22209 Susana Ave. It is way too big at the proposed 4,165 sq ft home, especially seeing that it is in this corner at this elevation, it will stick out and negatively impact the visual appeal of our neighborhood! I don't opposed a bigger house to the current one, just not at that size!! Please consider a more appropriate size to approve and keep our Torrance hillside community beautiful!!

We thank you for your kind attention.

Neighbors at 22318 Susana Ave.

Velazquez, Luis

From: Abraham and Jenny Bagheri <[REDACTED]>
Sent: Monday, January 15, 2024 11:32 AM
To: Planning Commission
Cc: Velazquez, Luis
Subject: Supplemental Public Comment for Staff Report - Item 8C (PRE23-00013)
Attachments: 22213 Shadycroft Diminution of Value Report.pdf; 22209 Development View Blockage 1.jpg; 22209 Development View Blockage 2.jpg

Some people who received this message don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Planning Commission and Mr. Oorts:

We are writing to supplement our initial opposition and respond to the Planning Department's findings, which concluded that there is no substantial loss of view or privacy for our property. This supplemental comment also addresses the developer's architect's claims in his January 9, 2024 letter to the City.

Would you please include this email and three attachments in the Supplemental to Agenda Item 8C (January 17, 2024 hearing), and distribute copies of the documents to the Members of the Planning Commission for their review prior to the opening of the hearing?

We are attaching a report prepared by a certified appraiser which determined that the loss of view and privacy to our property is **significant** and that it will cause a **loss of value to our home in the amount of \$45,750**. This number will increase if the development obstructs more square footage than currently proposed. This certified appraiser's report demonstrates that the proposed development is in violation of TMC section 91.41.6 (d) which states, "The design will not have a harmful impact upon the land values and investment of other properties in the vicinity." **The proposed development will have a harmful impact on our land value in the amount of approximately \$45,750.** Therefore, this is an additional reason for which the proposed development should be denied.

In his January 9, 2024 letter to the City, Mr. Leach claims, "Regarding view obstruction, a large tree exists in the rear yard of this resident's westerly neighbor (see attached photo 3), which is currently obstructing the neighbor's view." This claim is simply not true. Although a tree exists in our westerly neighbor's yard, **it does not obstruct our view of the proposed development.** (See attached photos). In fact, as evidenced by the attached photos and certified appraiser's report, the proposed development at 22209 Susana will cause a substantial loss of view and privacy for our home. In fact, the east-facing windows and balcony of the proposed development will have a clear line of sight into our living room and backyard. Additionally, the east-facing portion of the building **will obstruct 800 square feet of our views of hills, city lights and several mature trees.**

Moreover, in his January 9, 2024 letter, Mr. Leach claims, "I want to point out that in the View Equity Ordinance a more comprehensive definition of view is provided. It specifically states that 'the term, view does not mean an unobstructed panorama of these features' (hillsides, ocean, skylines, etc.)" However, the intent of the View Equity Ordinance is **to prevent trees and/or vegetation from blocking views, not the construction of two-story dwellings in the Hillside Overlay** that will significantly harm views, light, and privacy. (See TMC section 92.41.030). Furthermore, even accepting this narrower definition of 'view', it implies that even obstructed or partial views should be protected.

Sincerely,

Abraham and Jennifer Bagheri

APPRAISAL OF REAL PROPERTY

Single Family Residence

Exterior/Interior Inspection



LOCATED AT

22213 Shadycroft Ave
Torrance, CA 90505
Tract # 17921 Lot 129; ParcelQuest



OPINION OF VALUE

1,525,000

AS OF

01/04/2024

BY

John Grichine
Northstar Appraisal Services
4 Clearwater
Irvine, CA 92604
(949) 231-7989/(310)962-4123
John@NorthstarAppraiser.com
www.northstarappraiser.com

INVOICE

FROM:
 John Grichine, Residential & Commercial Appraiser, License #AR033389
 Certified Appraiser with Northstar Appraisal Services (FHA approved)
 4 Clearwater
 Irvine, CA 92604
 www.northstarappraiser.com / John@northstarappraiser.com
 Telephone Number: (949) 231-7989,(310) 962-4123 Fax Number:

INVOICE NUMBER
 24-003 / U

E-Mail: [REDACTED]
 Telephone Number: [REDACTED] Fax Number:
 Alternate Number:

REFERENCE
 Internal Order #: 24-003 / U
 Lender Case #:
 Client File #: [REDACTED]
 FHA/VA Case #:
 Main File # on form: 24-003 / U
 Other File # on form: [REDACTED]
 Federal Tax ID:
 Employer ID:

DESCRIPTION

[REDACTED] State: CA Zip: 90505
 Legal Description: Tract # 17921 Lot 129; ParcelQuest

FEES

Interior/Exterior inspections, Form GP Residential, USPAP-compliant residential appraisal report of a Single Family Residence located in Torrance, CA. Estimate of current fair market value and of diminution of value due to a potential future obstruction of coastline, lights and hills views due to an expansion of a single family dwelling right across the street.

PAYMENTS

| Check #: | Date: | Description: |
|----------|-------|--------------|
| Check #: | Date: | Description: |
| Check #: | Date: | Description: |

Thank You For The Opportunity To Be Of Service

RESIDENTIAL APPRAISAL REPORT

File No.: 24-003 / U

COST APPROACH TO VALUE (if developed) The Cost Approach was not developed for this appraisal.

Provide adequate information for replication of the following cost figures and calculations.

Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): The cost approach was not developed due to the availability of ample comparable sale data. The development and implementation of the cost approach is not necessary in order to develop credible and reliable valuation results when there is ample comparable sale data. There was also a scarcity of comparably-sized and comparably-zoned residential vacant land sales in the immediate market area and which sold within 12 months of the effective date of this valuation assignment.

| | | | | |
|----------------------|---|---------------------------------------|---------------|------------|
| COST APPROACH | ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW | OPINION OF SITE VALUE ----- = \$ | | |
| | Source of cost data: n/a | DWELLING | Sq.Ft. @ \$ | ----- = \$ |
| | Quality rating from cost service: Effective date of cost data: | | Sq.Ft. @ \$ | ----- = \$ |
| | Comments on Cost Approach (gross living area calculations, depreciation, etc.): The cost approach was not developed. The development and implementation of the cost approach is not necessary to determine a credible and reliable market value when there is ample comparable sales data. There was also a lack of comparably-sized and comparably-zoned vacant land sales in the immediate market area and which sold within 12 months of the effective date of this valuation assignment. The exclusion of the cost approach to value has no adversity on subject's estimated value opinion or marketability. | | Sq.Ft. @ \$ | ----- = \$ |
| | | | Sq.Ft. @ \$ | ----- = \$ |
| | | | Sq.Ft. @ \$ | ----- = \$ |
| | | | Sq.Ft. @ \$ | ----- = \$ |
| | | Garage/Carport | Sq.Ft. @ \$ | ----- = \$ |
| | | Total Estimate of Cost-New ----- = \$ | | |
| | | Less Physical | Functional | External |
| | Depreciation | | ----- = \$() | |

Depreciated Cost of Improvements ----- = \$
 "As-is" Value of Site Improvements ----- = \$
 ----- = \$
 ----- = \$
 Estimated Remaining Economic Life (if required): _____ Years **INDICATED VALUE BY COST APPROACH** ----- = \$

INCOME APPROACH TO VALUE (if developed) The Income Approach was not developed for this appraisal.

Estimated Monthly Market Rent \$ _____ X Gross Rent Multiplier _____ = \$ _____ **Indicated Value by Income Approach**

Summary of Income Approach (including support for market rent and GRM): The income approach was not requested by the client/owner and thus was not developed. There is an abundance of comparable sales data. The exclusion of the income approach to value has no negative effect on subject's established value opinion or marketability. Subject was owner-occupied as of the effective date of this valuation assignment and did not generate any rental income.

PROJECT INFORMATION FOR PUDS (if applicable) The Subject is part of a Planned Unit Development.

Legal Name of Project: n/a
 Describe common elements and recreational facilities: n/a

| | | | | | |
|---|-----------|--|--|--|--|
| Indicated Value by: Sales Comparison Approach \$ | 1,525,000 | Cost Approach (if developed) \$ | | Income Approach (if developed) \$ | |
|---|-----------|--|--|--|--|

Final Reconciliation Emphasis was placed on the sales comparison approach, which best reflects recent action of willing buyers and willing sellers in the open market. The subject was owner-occupied as of the effective date of this appraisal assignment. The subject is located in a predominately owner-occupied SFR area. The cost approach was not developed due to an abundance of adequate comparable sales data. The income approach was not requested by the client/owner and thus was not developed. There is an abundance of comparable sales data. The exclusion of the income approach to value has no negative effect on subject's established value opinion or marketability.

This appraisal is made "as is", subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: _____

This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.


Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 1,525,000, as of: 01/04/2024, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

A true and complete copy of this report contains 26 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.

Attached Exhibits:

| | | | | |
|---|---|--|--|---|
| <input checked="" type="checkbox"/> Scope of Work | <input checked="" type="checkbox"/> Limiting Cond./Certifications | <input checked="" type="checkbox"/> Narrative Addendum | <input checked="" type="checkbox"/> Photograph Addenda | <input checked="" type="checkbox"/> Sketch Addendum |
| <input checked="" type="checkbox"/> Map Addenda | <input checked="" type="checkbox"/> Additional Sales | <input type="checkbox"/> Cost Addendum | <input type="checkbox"/> Flood Addendum | <input type="checkbox"/> Manuf. House Addendum |
| <input checked="" type="checkbox"/> Hypothetical Conditions | <input checked="" type="checkbox"/> Extraordinary Assumptions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Client Contact: Abraham M Bagheri Client Name: Abraham M Bagheri
 E-Mail: bagheri.abraham@gmail.com Address: 22213 Shadycroft Ave, Torrance, CA 90505

| | | |
|-------------------|---|--|
| SIGNATURES | APPRAISER | SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable) |
| |  | |
| | Appraiser Name: <u>John Grichine</u> | Supervisory or Co-Appraiser Name: _____ |
| | Company: <u>Northstar Appraisal Services</u> | Company: _____ |
| | Phone: <u>(949) 231-7989/(310)962-4123</u> Fax: _____ | Phone: _____ Fax: _____ |
| | E-Mail: <u>John@NorthstarAppraiser.com</u> | E-Mail: _____ |
| | Date of Report (Signature): <u>01/14/2024</u> | Date of Report (Signature): _____ |
| | License or Certification #: <u>AR033389</u> State: <u>CA</u> | License or Certification #: _____ State: _____ |
| | Designation: _____ | Designation: _____ |
| | Expiration Date of License or Certification: <u>07/10/2024</u> | Expiration Date of License or Certification: _____ |

Inspection of Subject: Interior & Exterior Exterior Only None
 Date of Inspection: 01/04/2024
 Inspection of Subject: Interior & Exterior Exterior Only None
 Date of Inspection: _____

Certifications

Bagheri

File No.: 24-003 / U

Property Address: 22213 Shadycroft Ave City: Torrance State: CA Zip Code: 90505

Client: [Redacted] Address: [Redacted]

Appraiser: John Grichine Address: [Redacted]

APPRAISER'S CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification.

Additional Certifications:

DEFINITION OF MARKET VALUE *:

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised and acting in what they consider their own best interests;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

* This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS, and FDIC on June 7, 1994, and in the Interagency Appraisal and Evaluation Guidelines, dated October 27, 1994.

Client Name: [Redacted]
Address: [Redacted]

SIGNATURES

APPRAISER

[Redacted Signature]

Appraiser Name: John Grichine
 Company: Northstar Appraisal Services
 Phone: (949) 231-7989/(310)962-4123 Fax: _____
 E-Mail: John@NorthstarAppraiser.com
 Date Report Signed: 01/14/2024
 License or Certification #: AR033389 State: CA
 Designation: _____
 Expiration Date of License or Certification: 07/10/2024
 Inspection of Subject: Interior & Exterior Exterior Only None
 Date of Inspection: 01/04/2024

**SUPERVISORY APPRAISER (if required)
or CO-APPRAISER (if applicable)**

Supervisory or
Co-Appraiser Name: _____
 Company: _____
 Phone: _____ Fax: _____
 E-Mail: _____
 Date Report Signed: _____
 License or Certification #: _____ State: _____
 Designation: _____
 Expiration Date of License or Certification: _____
 Inspection of Subject: Interior & Exterior Exterior Only None
 Date of Inspection: _____



Supplemental Addendum

File No. 24-003 / U

| | | | | | | | |
|------------------|----------------------|--------|-------------|-------|----|----------|-------|
| Borrower | n/a | | | | | | |
| Property Address | 22213 Shadycroft Ave | | | | | | |
| City | Torrance | County | Los Angeles | State | CA | Zip Code | 90505 |
| Lender/Client | [REDACTED] | | | | | | |

- "Other" in the neighborhood land use represents government-owned land, open and green areas, fire & police stations, parks, etc. This land use has no adversity on subject's value or marketability.
- Estimated exposure time for the subject property is 40 days on the market and with the assistance of a licensed and experienced real estate professional with knowledge of subject's market area.
- I have performed No services, as an appraiser or in any other capacity, regarding the property that is the subject of this appraisal assignment within the three-year period immediately preceding acceptance of this assignment.

Comparables Search Criteria:

The search criteria were ranked in order of importance as follows: #1. Location; the closest and most locationally similar (interior lot location with limited and minor local traffic and noise) closed sales were selected, preferably from within the subject's immediate neighborhood and within 1 mile of the subject property. #2: GLA and property Lot size; SFRs with a GLA of between 1,100 and 1,800 sf and with a lot size of between 4,000 and 8,000 sf were preferred and selected, as were available. #3: Views; Properties with limited and obstructed coastline views were thought-after and utilized, as were available. #4: Construction age. #5: Property condition, improvements, upgrades/updates, any needed repairs and overall physical appeal. #6: Recency of sale; most recently closed sales were preferred and selected (most recent as of the effective date of this appraisal). #7. Construction quality, construction style & overall appeal. #8. Lot/site qualities, improvements, features and characteristics (i.e. patio, balcony, pool, spa, b/in Bbq, etc).

Hypothetical Conditions and Extraordinary Assumptions:

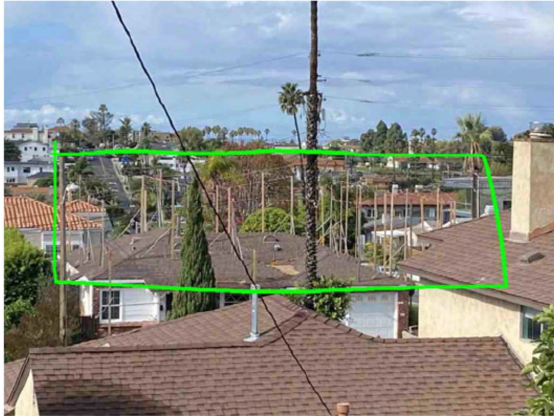
An extraordinary assumption is being made that the subject's site has no contamination or any other adverse conditions that were not observable at the time of inspection.

** Commentary regarding the diminution of value of the subject property due to an obstruction of its views. **

The proposed addition of a second floor to a single-family residence located at 22209 Susana Ave, approximately 150 feet from the subject property (located behind the subject and obstructs the view from the backyard) would create an obstruction of approximately 800 square feet; The addition is expected to be about 45 feet in length and 17 feet in height, per proposed plans made available by the client. This 800 square foot wall would predominantly obstruct views of hills, city lights and several mature trees, including palm trees. The addition would also infringe on the privacy of the subject property by creating windows and other observation points (multiple east-facing windows and east-facing balcony) from the 2nd level of the newly (proposed) constructed dwelling area. The diminished privacy would in effect negatively impact the value of the subject property, as well as surrounding properties whose views are also blocked and whose privacy is also diminished. Subject property enjoys views of approximately 120 degrees, stretching all the way to the coastline and of the surrounding hillside and city lights. In terms of the negative impact on the horizontal plane, the estimated 45 linear feet would block approximately 10% of this view, if not more. The impact to the vertical component, which is estimated to be approximately 17 feet, accounts for a smaller percentage of the blocked view than does the 45 linear feet along the horizontal plane. The reduced privacy also diminishes the values of the subject and surrounding properties. I anticipate that the points brought forward above will decrease subject's estimated value opinion by approximately 3%. This multiplier is extracted from market data, as well as taking into account the numbers and statistics mentioned above, concerning the proposed construction areas and the like. My experience in valuations in subject's market area and the familiarity of impact on a property's values due to obstruction of coastline, city lights and hills views, as well as the negative impact on a property due to a loss in privacy, contributed to my estimate of a 3% loss in property value. The subject property's estimated value opinion as of 01/04/2024 without any obstruction of views or impact on privacy from its aforementioned neighbor is \$1,525,000. The proposed development at 22209 Susana Ave, if constructed, will cause a significant negative impact on the views, privacy and property value of the subject property resulting in an estimated 3% diminution of value, which constitutes a \$45,750 loss in estimated value of the subject property. Should the proposed development be of larger size and create a larger obstruction to the view and a greater loss in privacy, my estimated diminution of value of the subject property may also change. It was also my observation after driving through this neighborhood that majority of single family residences in subject's neighborhood are 1-story. Hence, adding a 2nd story to the property on 22209 Susana Ave, would interfere with the aesthetics and style of subject's neighborhood.

Subject Photos

| | | | | | | | |
|------------------|----------------------|--------|-------------|-------|----|----------|-------|
| Borrower | n/a | | | | | | |
| Property Address | 22213 Shadycroft Ave | | | | | | |
| City | Torrance | County | Los Angeles | State | CA | Zip Code | 90505 |
| Lender/Client | [REDACTED] | | | | | | |



View obstruction



View obstruction



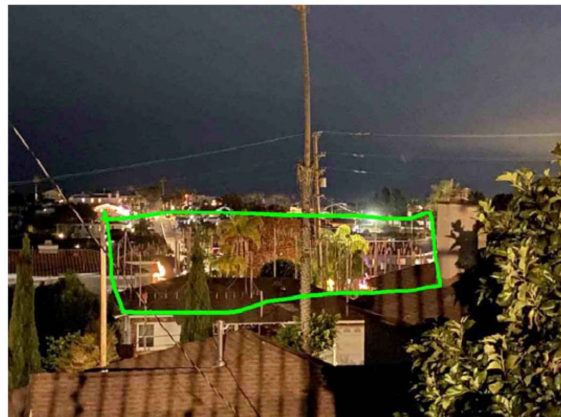
View obstruction



View obstruction



View obstruction



View obstruction

Appraiser License



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

John N. Grichine

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified Residential Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 033389

Effective Date: July 11, 2022

Date Expires: July 10, 2024

Handwritten signature of Loretta Dillon in black ink.

Loretta Dillon, Deputy Bureau Chief, BRE A

3066378

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"

Velazquez, Luis

From: Ron Botelho <[REDACTED]>
Sent: Monday, January 15, 2024 3:52 PM
To: Velazquez, Luis
Subject: Case number PRE23-00013 opposition

You don't often get email from [REDACTED]. [Learn why this is important](#)

My name is Ron Botelho, I live at 22208 Shadycroft Ave in Torrance (Hillside Overlay). The purpose of this email is to express my opposition to the 2-story development proposed at 22209 Susana Ave, which is directly west of my corner lot home. Let me start by stating my wife and I have done extensive building and remodeling to our 1-story corner lot. In the year 2000, we had contemplated a 2-story remodel, but prior to hiring an architect, we discussed our potential plans with neighbors. One particular neighbor at 22209 Warmside Ave adamantly opposed any 2-story build, but stated he would sign off on any 1 story build. hence, we abandoned our 2-story initial plan, and respected & accepted the fact we would partially block our neighbors' view. We are happy with our remodeled 1-story home. This particular neighbor at 22209 Warmside Ave actually opposed a 2-story build at 5603 Ave A in year 2000 owned by our neighbor Tad Friedman at the time. This neighbor would not sign off on Tad's plans for approval. Tad ultimately abandoned his 2-story plans, and moved out of the area. The hillside overlay ordinance is in place for this specific scenario.

The project at 22209 Susana Ave seems to go against the very essence of the Hillside Overlay ordinance. This current 1-story home sits in the heart of the seaside area, and most importantly, this home is a corner lot in direct view of many neighbors west, and across street on Ave A. Neighbors in our area enjoy the big sky wide open views and amazing sunsets. The fact that this proposed 2-story development sits on a corner lot at the crest of the Ave A hill makes it stand out as a monstrosity. It sits directly in the line of sight to those homes north side on Ave A, as well as neighbors to the east, who look west to the coastline. Many neighbors have expressed to me their personal objection to this build. The Hillside Overlay is in place to protect this kind of proposed build (ie...views, light, privacy, property value), and this proposed development would stand out as a large silhouette sitting on a hillside corner lot. Views in our neighborhood are "priceless". Any such approval of this proposed 2-story structure at 22209 Susana Ave negates all rules and guidelines of the Hillside Overlay, and sets a very disturbing precedent for the future of our Hillside Overlay neighborhood.

Sincerely,

Ron Botelho
22208 Shadycroft Ave
Torrance, CA 90505

Velazquez, Luis

From: Neil Morgan <[REDACTED]>
Sent: Monday, January 15, 2024 11:29 PM
To: LVelquez@TorranceCA.gov; Planning Commission
Subject: Public Comment: PRE23-00013, 22209 Susana Avenue

You don't often get email from [REDACTED]. [Learn why this is important](#)

Dear Mr. Luis Velazquez and Members of the City of Torrance Planning Commission,

My family are homeowners of 22215 Susana Avenue, Torrance, CA 90505, the property directly south of the proposed construction project at 22209 Susana Avenue. While we recognize our neighbor's right to improve their residence in compliance with the City's existing zoning ordinances, this letter is to formally state our *opposition* to allow a new two-story residence at the property.

We have consulted the plans and renderings at Torrance City Hall after considering the placement of the story poles at the project site and have concluded it would be ill-advised for the planning commission to approve this project for several reasons:

1. The proposed project site is topographically inappropriate for a two-story structure.

The corner lot sits prominently above the houses on the western side of Susana Avenue. It is clear from the height of the story poles that the proposed structure will obscure surrounding views of the Redondo Beach and Palos Verdes Hills. Existing two-story houses on the street are primarily tucked against hillslopes that help soften their prominence in the hilly terrain and do not block their neighbor's views. Allowing such a project will set an unfortunate precedent for other projects.

2. The proposed project will destroy what little privacy our home and backyard provides

The elevation of 22209 Susana is several feet higher than that of our property and the existing one-story structure already looms over our property like a two-story structure due to this elevation difference. If it were not for a hedge we planted many years ago in close coordination with the previous owner, we would have little privacy. However, the widows in the proposed second-story structure will have direct views into a bedroom, the living room and backyard of our property. The proposed structure also has front and back second-story decks that would allow further unconstrained views into our property, destroying the private respite our backyard affords. A hedge tall enough to obscure this proposed structure would take many years to grow and would be impractically tall and expensive to maintain, let alone presenting its own issues.

3. The proposed will disrupt air flow and light

Related to 1., due to the topographical prominence of the lot at 22209 Susana and the unprecedented height of the project, the proposed structure would disrupt sunlight and existing on-shore airflows enjoyed by the immediate neighbors.

4. Property line BBQ

The current plans for the proposed project call for a permanent built-in BBQ placed in the backyard southern edge. The placement is inappropriate due to proximity to the property line and existing vegetation.

Items not directly related to the proposed petition, but nonetheless relevant to the proposed project:

a. Retaining Wall Removal

An item not directly related to the proposed petition, but nonetheless important. This project calls for the removal of the existing retaining wall on the western edge of the project site which ties into the retaining wall on our property. We have

concern that removal of the wall will adversely affect the structural integrity of our wall. The elevation drop-off to the west of my family's property and the project's is steep. Mitigation of damage to wall would be costly and disruptive.

b. Pool

This project calls for a pool to be built on the project's northwest corner of its backyard. In our view this location is an inappropriate location due to the proximity to the property line and elevation gradient to the west of the property.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Neil Morgan

Velazquez, Luis

From: lou croucier <[REDACTED]>
Sent: Tuesday, January 16, 2024 12:15 PM
To: Velazquez, Luis
Cc: Creative Indulgence PH; Suzanne croucier; Josie Auer
Subject: Re: Abstraction View

You don't often get email from [REDACTED]. [Learn why this is important](#)

[Sent from Yahoo Mail for iPhone](#)

On Tuesday, January 16, 2024, 12:13 PM, lou croucier <[REDACTED]> wrote:

Luis Croucier 22206 Susana Ave Torrance, CA, 90505

1/16/2024

City of Torrance
Luis Velazquez Planning Assistant - Community Development Dept.
3031 Torrance Blvd. Torrance, CA 90503

Dear Mr. Luis Velazquez,

I am writing to inform you that I, Luis Croucier, the owner of the property located at 22206 Susana Ave., Torrance, CA 90505, have authorized my tenant, Pierre Hoffmann to act as my representative in all matters pertaining to the proposed development located at 22209 Susana Ave., Torrance, CA 90505.

I'm concerned about the house that is being built directly across the street from the house I own at 22206 Susana Ave, Torrance CA 90505. I wanted to build 2 stories many years ago and was not able to, it seems to me that it would be very unfair if the location at 22209 was allowed to go 2 stories and I was not.

I have full confidence in Mr. Hoffmann to convey my views and interests regarding this matter. Pierre Hoffmann has my permission to attend meetings, participate in discussions, and provide input on my behalf.

Please consider all communications from Pierre Hoffmann regarding this development as representing my position as the property owner.

Thank you for your attention to this matter. Should you require any further information or confirmation, please do not hesitate to contact me at [REDACTED] or by email [REDACTED]

Please copy all correspondence with Mr. Hoffmann

Sincerely,



Luis Croucier

[Sent from Yahoo Mail for iPhone](#)

Luis Croucier 22206 Susana Ave Torrance, CA, 90505

1/1/2024

City of Torrance

Luis Velazquez Planning Assistant - Community Development Dept.
3031 Torrance Blvd. Torrance, CA 90503

Dear Mr. Luis Velazquez,

I am writing to inform you that I, Luis Croucier, the owner of the property located at 22206 Susana Ave., Torrance, CA 90505, have authorized my tenant, Pierre Hoffmann to act as my representative in all matters pertaining to the proposed development located at 22209 Susana Ave., Torrance, CA 90505.

I'm concerned about the house that is being built directly across the street from the house I own at 22206 Susana Ave, Torrance CA 90505. I wanted to build 2 stories many years ago and was not able to, it seems to me that it would be very unfair if the location at 22209 was allowed to go 2 stories and I was not.

I have full confidence in Mr. Hoffmann to convey my views and interests regarding this matter. Pierre Hoffmann has my permission to attend meetings, participate in discussions, and provide input on my behalf.

Please consider all communications from Pierre Hoffmann regarding this development as representing my position as the property owner.

Thank you for your attention to this matter. Should you require any further information or confirmation, please do not hesitate to contact me at [REDACTED] or by email [REDACTED]

Please copy all correspondence with Mr. Hoffmann

Sincerely,

[REDACTED]
Luis Croucier

01/16/24

Velazquez, Luis

From: stan rinehart <[REDACTED]>
Sent: Tuesday, January 16, 2024 4:55 PM
To: Velazquez, Luis
Subject: - The case number is PRE23-00013.

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

To whom it may concern,

The proposed project on the corner of Avenue A and Susanna Ave looks to be another developer grab and McMansion build that the residents just do not need. In no way does this structure meet the guidelines imposed by Torrance hillside ordinance. If built as proposed it will be a forever eyesore for the adjacent neighbors and visual blight for the neighborhood. The overall mass of the structure is completely out of scale for Susanna Ave and the Torrance portion of Avenue A. I emphatically explore the planning commission ensure that the project be scaled back to meet the hillside ordinance guidelines and FAR constraints. Please do not open the door to this manner of residential over-development.

Stan Rinehart
[REDACTED]

Velazquez, Luis

From: [REDACTED]
Sent: Tuesday, January 16, 2024 5:00 PM
To: Planning Commission; LVelasquez@torranceca.gov
Subject: Supplemental Public Comment for Staff Report - Item 8C (PRE23-00013)
Attachments: Opposition to 22209 Development Signatures.pdf; Petition · Save Seaside_ Stop the 22209 Susana Ave. Development! · Change.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

You don't often get email from [REDACTED] [Learn why this is important](#)

Dear Mr. Oorts and Mr. Velazquez,

Would you please include this email in the Supplemental to Agenda Item 8C (January 17, 2024 hearing), and distribute copies of the documents to the Members of the Planning Commission for their review prior to the opening of the hearing?

I am writing to supplement my initial opposition and respond to the Planning Department's findings, which concluded that there is no substantial loss of view or privacy for our property. According to a report from a certified appraiser, hard copies of which will be provided at the Planning Commission meeting on January 17, 2024, the proposed development will cause a **significant loss of value to our house in the amount of \$50,000-\$60,000**. This number will increase if the development obstructs more square footage than currently proposed. This certified appraiser's report demonstrates that the proposed development is in violation of TMC section 91.41.6 (d) which states, "The design will not have a harmful impact upon the land values and investment of other properties in the vicinity." Therefore, this is an additional reason for which the proposed development should be denied.

Additionally, according to 91.41.6, (e) and (f), the development should not be materially detrimental to the public welfare and to other properties in the vicinity and should not cause or result in an adverse cumulative impact on other properties in the vicinity. Please find a petition showing 120 signatures of individuals who are in opposition to this project.

Sincerely,
Leah Sharp

Congratulations on starting your petition!
Take steps to strengthen it.

Petition Strength



Good

Add a Decision Maker

An important piece of information for you and your supporters.

[Review Decision Maker](#)

Start an Image test

Upload a few images and we'll find the one driving the most signatures.

[Start Smart Image test](#)



Save Seaside: Stop the 22209 Susana Ave. Development!

Started

January 13, 2024

120

Signatures

200

Next Goal

116 people signed this week

[Share this petition](#)

Why this petition matters



Started by [Residents of the Hillside Overlay](#)

Hey Neighbors!

Let's Keep Our Seaside Charm! Say NO to the 22209 Susana Ave. Overbuild!

We're a proud community from the Hillside Overlay area and we need YOUR voice!

A massive two-story development at 22209 Susana Avenue is threatening the heart of our Seaside neighborhood - our stunning views, cherished privacy, and the unique character we all love.

Why Should You Care?

- **Views at Risk:** Say goodbye to those gorgeous panoramas!
- **Privacy Gone:** Your backyard haven? Not so private anymore.
- **Neighborhood Charm Under Siege:** This isn't just a building, it's a threat to the entire Hillside Overlay.

Here's What's at Stake:

- **Legal Noncompliance:** We believe this development violates the Torrance Municipal Code (Section 91.41.6) which mandates that any new development must not negatively impact the view, light, air, and privacy of other properties. These protections have been in place since the 1980s, but are now being threatened by projects like this one.
- **Community-Wide Impact:** It's not just about one property; this sets a dangerous precedent for future developments, potentially altering our entire neighborhood's landscape.
- **Historic Character Loss:** Our neighborhood is known for its unique views of the hillsides and sunsets which are being threatened by this development. We chose to live here because of its beauty and the protections it offered our views and privacy, not to see it changed by oversized constructions.

This isn't just about one house - it's about setting a dangerous trend that could reshape our community forever. We respect growth and development, but not at the cost of our community's character, property value, and well-being.

Staying Informed and Holding Officials Accountable:

- **Your Vote Matters:** We'll track how each commissioner and city council member votes on this issue. This information is crucial, especially **come election time**. Our collective memory will serve as a reminder of who stood by our community's values.
- **We commit to keeping you updated** every step of the way. You'll know exactly what's happening, when it's happening.

What Can You Do?

- Sign this petition!

 116 people signed this week

[Share this petition](#)

Together, We Make a Difference!

If you wish to voice your concerns to the City Planning Office in Torrance regarding this development:

Join us at the Planning Commission Hearing on January 17th, 2024, at 6:30 PM.

Please: Submit Concerns to City of Torrance Assistant Planner Lvelazquez@torranceca.gov

The case number is PRE23-00013.

Meeting at Council Chambers, City Hall 3031 Torrance Blvd. Torrance, CA 90503

Thanks for standing with us. Let's keep our community special.

For more information, visit SaveSeaside.com



[Download this QR code](#) to help others easily find and sign the petition.

[Report a policy violation](#)

Would you like to reply as a decision maker? Get in touch to learn what decision makers can do. [Contact us](#)



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Do Petitions Work

What is the Right To Petition

How to Start a School Petition

Community Guidelines

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English (United States)



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 116 people signed this week

| Name | City | State | Postal Cod | Country |
|-----------------------|--------------------|-------|------------|---------|
| Abraham Bagheri | | | | US |
| Pierre Hoffmann | Torrance | CA | 90505 | US |
| Leah Sharp | Torrance | CA | 90505 | US |
| Abraham Bagheri | | | | US |
| Suzanne Croucier | Los Angeles | CA | 90004 | US |
| jill angelichio | charlotte | | 28204 | US |
| Donna Wright | Los Angeles | CA | 90003 | US |
| Luis Croucier | Torrance | CA | 90505 | US |
| Tom Croucier | Los Angeles | CA | 90004 | US |
| Esther Kimm | Torrance | CA | 90505 | US |
| Gina Kang | Torrance | CA | 90503 | US |
| Joshua Pak | Torrance | CA | 90505 | US |
| Samantha Lee | Torrance | CA | 90503 | US |
| Bibi Karim | Jacksonville | | 32255 | US |
| Diane Botelho | Torrance | CA | 90503 | US |
| Daniel Kimm | Redondo Beach | CA | 90278 | US |
| Ronald Botelho | Torrance | CA | 90503 | US |
| David Sorenson | Torrance | CA | 90505 | US |
| Wally Lee | Las Vegas | CA | 92660 | US |
| Jennifer Bagheri | Torrance | CA | 90503 | US |
| tina Loiacano | San pedro | CA | 90731 | US |
| Lisa Imbro | Redondo Beach | CA | 90278 | US |
| Tamie Peck | Redondo Beach | CA | 90277 | US |
| Sandra Villalva | Hawthorne | CA | 90250 | US |
| Alice Evans | Los Angeles | CA | 90044 | US |
| Mildred Bagheri | Torrance | CA | 90505 | US |
| Jeanett Bass | Torrance | CA | 90503 | US |
| Song Yeh | Los Angeles | CA | 90063 | US |
| Kamila Espinal | New York | | 10040 | US |
| Christiane Ruiz | Torrance | CA | 90505 | US |
| Jon Inwood | Brooklyn | NY | 11226 | US |
| Doreen Flores | Grants Pass | | 97526 | US |
| Austin Ward | Corvallis | OR | 97330 | US |
| Sofia Martinez | Wilmington | CA | 90744 | US |
| Jeshua Dorshorst | Delta Junction | | 3046 | US |
| Gary MacLean | Torrance | CA | 90503 | US |
| Georgina McGovern Bao | Rancho Palos Verde | CA | 90275 | US |
| Kelly Dewing Wedel | Torrance | CA | 90503 | US |
| Sandra Curtis | Torrance | CA | 90505 | US |
| Abiguel Sorenson | Torrance | CA | 90505 | US |
| Monique Leon | WINSTON SALEM | | 27107 | US |
| Karen Rinehart | Redondo Beach | CA | 90277 | US |
| Robert Sharp | Torrance | CA | 90503 | US |
| Brittany Maccarrone | Torrance | CA | 90503 | US |
| Lisa Maccarrone | Torrance | CA | 90503 | US |
| Vivian Viveros | Torrance | CA | 90505 | US |

| | | | |
|--------------------------|---------------------|----|--------------|
| Sylvia Wilkinson | El Segundo | CA | 90245 US |
| Ryan Schnalzer | Albuquerque | NM | 87114 US |
| Paul Monson | Redondo Beach | CA | 90277 US |
| Bruce Gearm | Torrance | CA | 90504 US |
| Joe C | New York | | 10011 US |
| Tricia Blanco | Torrance | CA | 90505 US |
| Jetson Bates | North Hollywood | | 91601 US |
| Rowan Schnalzer | Albuquerque | NM | 87114 US |
| Charliee Tinsley | Los Angeles | | 90043 US |
| Adam Kaluba | Burleson | | 76028 US |
| Thomas Gahan | Torrance | CA | 90505 US |
| Robert Lindstrom | Altadena | CA | 91001 US |
| Korena Chrissanthos | Scottsdale | AZ | 85251 US |
| Maria Cominis | Cypress | CA | 90630 US |
| Henry Lindstrom | Redondo Beach | CA | 90277 US |
| Thomas Marcus | Redondo Beach | CA | 90277 US |
| Tina Blakeman | Torrance | CA | 90503 US |
| Elsie Sanchez | Costa Mesa | | 92627 US |
| Leona Prelvukaj | | | US |
| Jillynne Riccardo | APOLLO BEACH | | 33572-266 US |
| Lindy Lekavich | Torrance | CA | 90503 US |
| Maria Marsella | Torrance | CA | 90505 US |
| Ioreen Trevino | Redondo Beach | CA | 90277 US |
| Sara McKown | Torrance | CA | 90277 US |
| Neil Morgan | Torrance | CA | 90505 US |
| Dean Maners | Torrance | CA | 90277 US |
| Camie Gv | Beaverton | | 97223 US |
| Saquan Miller | Spartanburg | | 29301 US |
| Camille Chelf | Torrance | CA | 90503 US |
| Kaylee Frank | Prescott | | 86302 US |
| patrick kim | Los Angeles | CA | 90037 US |
| G. Joseph Buck | Torrance | CA | 90503 US |
| bellissa gomez | San Antonio | | 782772 US |
| Ruth Vogel | Torrance | CA | 90503 US |
| Jane Noll | Palos Verdes Estate | CA | 90274 US |
| Peggy Kuida | Torrance | CA | 90277 US |
| Elizabeth Madigan Whalen | San Pedro | CA | 90731 US |
| Kristin Hwang | Torrance | CA | 90505 US |
| David Kelley | Torrance | CA | 90505 US |
| Alana Preziosi | Swedesboro | | 8085 US |
| Alex Aires | Prairie Village | | 66208 US |
| Mason King | Miami | | 33147 US |
| casidhe coy | San Antonio | | 78245 US |
| Yul Reese | Powder Springs | | 30127 US |
| Crunchy Hero | Wylie | | 75098 US |
| Forquetta Cooper | Carencro | | 70520 US |
| Olivia Turner | san antonio | | 78023 US |

| | | | |
|-------------------------|---------------------|----|----------|
| ezequiel dominguez | Georgetown | | 78628 US |
| Adler Wiley | Seguin | | 78155 US |
| Ruben Ranjel | San Antonio | | 78250 US |
| Ronald Moore | Glen Burnie | | 21061 US |
| Amy Hernandez | San Antonio | | 78239 US |
| Jim Thomas | Frisco | | 75034 US |
| Karen Morris | Palos Verdes Estate | CA | 90274 US |
| Theresa Hardesty | Torrance | CA | 90503 US |
| Trae Garcia | Elmendorf | | 78222 US |
| Christian Blanchard | Prosper | | 75078 US |
| Kingston Norwood | McKinney | | 75071 US |
| Sophia Ortiz | San Antonio | | 78204 US |
| Diane Davis | Santa Ana | CA | 92704 US |
| kel sel | Pasadena | | 91105 US |
| hi haha | Dallas | | 75270 US |
| Grace Chin | Torrance | CA | 90503 US |
| Michelle Salas | Corona | | 92882 US |
| Erika Rikhiram | Clermont | | 34711 US |
| Don't Worry | San Antonio | | 78229 US |
| Sayboupna Phonexayphova | Redondo Beach | CA | 90278 US |
| Christine Rinehart | Redondo Beach | CA | 90277 US |
| Madeline Van Leuvan | Torrance | CA | 90505 US |
| Macy Grim | Jacksonville | FL | 32224 US |
| Faith Joe | Morrow | | 30260 US |
| Tammy Hall | Oak Creek | | 53154 US |
| Della Moochi | Spring | | 77382 US |
| Stan Rinehart | Redondo Beach | CA | 90277 US |

Velazquez, Luis

From: Creative Indulgence PH <[REDACTED]>
Sent: Tuesday, July 16, 2024 12:48 PM
To: Velazquez, Luis; lou croucier; Suzanne Croucier
Subject: Re: 22209 Large rebuild concerns
Attachments: 1000037616.jpg; 1000037359.jpg; Living room view.jpg; Living room sitting in chair.jpg; dining table view.jpg; 1000037988.jpg

Importance: High

Hello Luis,

I'm writing to you to let you know that I'm concerned about the house at 22209 Susana Ave, Torrance CA 90505. The changes that were made to the new silhouette for our view has only reduced the sky very slightly lower than before and still clearly blocks the entire hill side views of Redondo Beach which still completely blocks all of our views of hills, homes in the distance, lights and the sun and lose our privacy. I can't show any current sunset images, as it is foggy this time of the year. We are afraid that after this home is approved, others will follow and soon our views will be blocked by houses.

It will block the sunsets we enjoy and the views of the houses in the distance and pretty lights at night when sitting at our dining table at any hour of the day. I just feel that the breeze and view we get will be obstructed, let alone the property value of our property will decrease as theirs will increase. I would like to see something change at that location, but something more moderate and not completely blocking us. Looking forward to a fair solution of the build and consideration of the neighborhood and those around it.

We will be at the July 24th meeting

Resident at 22206 Susana Ave, Torrance

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Monday, July 15, 2024 7:41 AM
To: Creative Indulgence PH <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Pierre,

As mentioned before, comments can be received at any time. I have included an excerpt from our [Planning Commission | City of Torrance](#) webpage below for deadlines.

PUBLIC COMMENTS

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the Planning Commission

meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please provide 10 color copies to staff before speaking.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Written comments may also be delivered by mail or submitted in-person to the Permit Center (Planning Counter) in the Community Development Department located at the above referenced address, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday one week before the meeting will be attached to the agenda item and posted on the City webpage.

Comments that are submitted no later than 5:00pm on Tuesday the day before the meeting will be included as a supplemental agenda item and will be posted on the City webpage on the day of the meeting.

Comments that are submitted after 5:00pm on Tuesday the day before the Planning Commission meeting will be filed with the public record.

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Friday, July 12, 2024 1:42 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

We noticed a sign was put up today, when do you need letters in by? I was hoping to here back from Pam and Kirk, but after my email from May 22, 2024 I never heard back from them?

I sent another today, to try and communicate to them of our concerns and are waiting for a reply.

Thank you,
Pierre Hoffmann
President / Creative Designer

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When a proof is sent, please double check for spelling or typo errors. Once you give final approval, it will be considered in production. If any changes are made after your approval and we have already created the project you are responsible for any extra costs. If your item(s) are picked up by a delivery service or someone other than yourself all costs for delivery or pick-up is your responsibility, even remakes.

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More info on Artwork requirements ([click Here](#))

[More info on Artwork requirements \(click Here\)](#)

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>

Sent: Friday, July 5, 2024 3:27 PM

To: Creative Indulgence PH <

Subject: Re: 22209 Large rebuild concerns

Hi Pierre,

No updates at this time, the project is still tentatively scheduled for July 24th.

Best,

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Friday, July 5, 2024 2:02 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

Hello Luis

Hope you enjoyed your July 4th holiday... just checking in to see if you have any updates on 22209 Susana.

Thanks
Pierre Hoffmann

Sent via the Samsung Galaxy S24 Ultra, an AT&T 5G smartphone
Get [Outlook for Android](#)

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Thursday, June 13, 2024 7:45:25 AM
To: Creative Indulgence PH <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Good morning Pierre,

At this time I have no updates. The project is tentatively scheduled for 7/24 but there is a possibility that date might change. Once the date is confirmed, mailers will go out to residents in the notification area and a sign (Posting) will be placed on the property.

Best,
LUIS VELAZQUEZ
Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Wednesday, June 12, 2024 9:29 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

Just checking in, haven't heard anything about the build ? Pam Feldkamp emailed me in May and I responded to her a few days after her email, but never heard back from her again.

Do you have any updates ?

Thank you,
Pierre Hoffmann
President / Creative Designer

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From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Wednesday, May 1, 2024 10:28 AM
To: Creative Indulgence PH <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hi Pierre,

I just wanted to confirm you will be available around 2:45 PM today. I will be at the site and will give you a call if the previous meeting goes longer or if done early.

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Tuesday, April 30, 2024 2:00 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

Hello,

Ok do you mind calling me at 310-530-6716, I have a shop 5 mins away (address below) I will plan on coming home about 2:45 tomorrow

Thank you,
Pierre Hoffmann
President / Creative Designer

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[More info on Artwork requirements \(click Here\)](#)

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Tuesday, April 30, 2024 1:01 PM
To: Creative Indulgence PH <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hi Pierre,

I will be at a neighbor's property from 2:15 PM to 2:45 PM. Can I stop by after that assessment?

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Tuesday, April 30, 2024 11:40 AM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

Wednesday May 1 tomorrow ? Yes, please advise what time would be convenient for you and I will make arrangements to meet you.

Thank you,
Pierre Hoffmann
President / Creative Designer

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From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Tuesday, April 30, 2024 9:42 AM
To: Creative Indulgence PH <[REDACTED]>
Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Pierre,

I have included some information from our Planning Commission page below regarding public comments.

Should you observe any potential adverse effects on your view, light, air, or privacy due to the project, please don't hesitate to inform me. I'd be more than happy to schedule a visit to your property and conduct a thorough assessment. I will be visiting a neighbor on Wednesday at 2:00 PM if you'd like me to stop by.

[City of Torrance - Planning Commission](#)

PUBLIC COMMENTS

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the Planning Commission meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please provide 10 color copies to staff before speaking.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Written comments may also be delivered by mail or submitted in-person to the Permit Center (Planning Counter) in the Community Development Department located at the above referenced address, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday one week before the meeting will be attached to the agenda item and posted on the City webpage. Comments that are submitted no later than 5:00pm on Tuesday the day before the meeting will be included as a supplemental agenda item and will be posted on the City webpage on the day of the meeting. Comments that are submitted after 5:00pm on Tuesday the day before the Planning Commission meeting will be filed with the public record.

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Monday, April 29, 2024 6:29 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

When do you need letters and images in by ?

Thank you,
Pierre Hoffmann
President / Creative Designer

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From: Creative Indulgence PH <[REDACTED]>
Sent: Monday, April 29, 2024 5:56 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

My concerns are that our view and the value of the home will decrease with the structure blocking our current view of the hill side behind the home and losing about 30 mins of sun when the sun sets, especially in the winter months when days are shorter and we will lose the sun sooner if they are approved to build a 2 story home. Many years ago, Luis Croucier tried to build a two-story home but was rejected because of the Hillside ordinance rules. He remodeled and raised his roof line up a bit to add the storage space in the attic, but was not allowed to build two stories, because he was going to block the neighbors in the back of his house. Feels very unfair for the home at 22209 to be built completely blocking all of our views. I have not yet looked at the plans, but privacy is a concern too.

I look forward to meeting with you on May 8th and if I'm available earlier I will let you know. Thank you for your time with this matter.

Thank you,
Pierre Hoffmann
President / Creative Designer

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[REDACTED]

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From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>

Sent: Tuesday, April 23, 2024 10:39 AM

To: Creative Indulgence PH <[REDACTED]>

Cc: lou croucier <[REDACTED]>

Subject: Re: 22209 Large rebuild concerns

Hello Pierre,

The plans are available for your review at the Planning Counter at your earliest convenience. I will be in on May 8th, so I would just ask that you give me time to add to my calendar. The plans are currently being reviewed by staff to ensure they meet development standards as well as applicable codes.

I would encourage you to send me an email with your concerns and I will schedule a site visit to conduct an assessment of the said concerns.

LUIS VELAZQUEZ

Planning Assistant - Community Development Department

310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>

Sent: Tuesday, April 23, 2024 10:25 AM

To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>

Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

I'm a bit surprised they submitted the plans, when many neighbors that were impacted before, are still affected. Many neighbors went to the meet and greet this past Saturday and shared their concerns. I was not able to attend the meet and greet, so I sent the owners at 22209 Susana Ave an email advising them that I still had the same blocked view. I would be happy to share the email with you, I have not yet received a reply from them. I did notice the silhouette was slightly lower than before, but still completely blocking the view. I'm hopeful the Hillside Ordinance is upheld with this project, not fair to allow someone to completely block the current view, within this area.

I would like to look at the plans, currently I'm working on projects for the city of Redondo Beach. Would May 8th work or would you need me to come in sooner? I don't want to miss any deadlines or limits of the process.

Thank you,
Pierre Hoffmann
President / Creative Designer

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More info on Artwork requirements ([click Here](#))
[More info on Artwork requirements \(click Here\)](#)

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Tuesday, April 23, 2024 9:28 AM
To: Creative Indulgence PH <[REDACTED]>
Cc: lou croucier <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Hello Pierre,

I wanted to touch base with you regarding 22209 Susana Ave. I have received updated plans from the applicant and have gotten confirmation that a silhouette has been constructed.

Please let me know if you'd like to discuss the project and any impacts this project might create. The plans are available to review at the Planning Counter at your request.

LUIS VELAZQUEZ

Planning Associate - Community Development Department
310-618-5930 | LVelazquez@TorranceCA.Gov

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From: Creative Indulgence PH <[REDACTED]>
Sent: Monday, January 15, 2024 4:38 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

You don't often get email from [REDACTED] [Learn why this is important](#)

Hello,

Just checking never heard back from you, can you please advise?

Thank you,
Pierre

From: Creative Indulgence PH <[REDACTED]>
Sent: Friday, January 12, 2024 10:39 AM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Subject: Re: 22209 Large rebuild concerns

Hello Luis,

This is Pierre Hoffmann at 22206 Susana Ave, Torrance. I saw your report and that you tried to contact me to evaluate my house regarding the build across the street but was not able to contact me. How did you try to contact me? I do work 6 days a week and can be reached at 310-530-6716 anytime

Can we please set up a meeting before the hearing so you can see my concerns?

Thank you,
Pierre Hoffmann
President / Creative Designer

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[REDACTED]

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More info on Artwork requirements ([click Here](#))
[More info on Artwork requirements \(click Here\)](#)

From: Velazquez, Luis <LVelazquez@TorranceCA.Gov>
Sent: Tuesday, January 2, 2024 10:15 AM
To: Creative Indulgence PH <[REDACTED]>
Subject: Re: 22209 Large rebuild concerns

Good Morning Pierre,

Thank you for your email. You may send in any comments as early as the day before the scheduled hearing date. Every concern, correspondence, email, etc. will be taken into consideration.

Our staff reports are done in advance to allow time for staff to review and provide corrections. Anything received before completing the report will be addressed and assessed promptly. Staff is tasked with assessing the impacts and making sure it meets the Hillside criteria and current development standards.

A posting will be at the project site on Friday, January 5th to give formal notice and confirmation of the hearing date. (January 17th).

Please feel free to give me a call at 310-618-5930 for any outstanding questions or concerns.

**BEST REGARDS,
LUIS VELAZQUEZ**

Planning Assistant - Community Development Dept.

City of Torrance | [3031 Torrance Boulevard](#) | Torrance, CA 90503 | 310.618.5930 | 310.618.5829 fax | LVelazquez@TorranceCA.gov | www.TorranceCA.Gov | www.TorranceCA.Gov/SocialMedia | www.TorranceCA.Gov/WhyTorrance | www.TorranceCA.Gov/Apps

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TorranceCA.Gov
Facebook.com/TorranceCA
@TorranceCA
@CityOfTorranceCA

From: Creative Indulgence PH <[REDACTED]>
Sent: Saturday, December 30, 2023 5:03 PM
To: Velazquez, Luis <LVelazquez@TorranceCA.Gov>; Martinez, Oscar <OMartinez@TorranceCA.Gov>; CDD Info <cddinfo@TorranceCA.gov>
Subject: Re: 22209 Large rebuild concerns

Sorry forgot to attach photos

Thank you,
Pierre Hoffmann
President / Creative Designer

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When a proof is sent, please double check for spelling or typo errors. Once you give final approval, it will be considered in production. If any changes are made after your approval and we have already created the project you are responsible for any extra costs. If your item(s) are picked up by a delivery service or someone other than yourself all costs for delivery or pick-up is your responsibility, even remakes.

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More info on Artwork requirements ([click Here](#))

[More info on Artwork requirements \(click Here\)](#)

From: Creative Indulgence PH <[REDACTED]>
Sent: Saturday, December 30, 2023 4:54 PM
To: LVelazquez@torranceca.gov <LVelazquez@torranceca.gov>; OMartinez@torranceca.gov <OMartinez@torranceca.gov>; cddinfo@Torranceca.gov <cddinfo@Torranceca.gov>
Subject: 22209 Large rebuild concerns

Hello Luis,

I'm writing to you to let you know that I'm concerned about the house that is being built directly across the street from my house at 22206 Susana Ave, Torrance CA 90505. Unfortunately, we have been very busy over the holiday and not able to write sooner. I thought we lived in an area that protected our views etc. from our conversation on the phone that the city was already approving it, what is that all about? It sounds like you just want to move this thing forward without the proper channels. That house is going to completely block all of our views of everything, hills, homes in the distance, lights and the sun and lose our privacy. We don't mind the house being rebuilt, but a huge mansion 4k plus square foot house in built right in front of us, then I notice they are also building a roof top patio on top of that, so then they may need umbrellas or shade on the roof top and they will go even higher and then there is no stopping other builders to come in and move to the next house and so on.. soon I will just be able to look at the houses that are directly across the street from me and lose all value of this house of the view that was protected ?

I thought that a notice had to be posted and show where we can voice our concerns or a hearing. I found out from my neighbors that is Jan 17th, but were not made aware of this and I'm directly across the street ?? When you dropped your card off at my house, I called you because of my concerns with the build, but did not know why you dropped the card off, just thinking there must have been a note or something. When speaking to a contractor friend, I was told that the city would send something out about the build and when checking your website <https://www.upholdhillsideoverlay.org/planning-process> it says that something would be sent, but I was told by other neighbors we had to get something to you by Jan 3 to count ?

We are concerned that not only will we lose our view of the hills behind that location, but also the size of the house they propose to build is going to be a massive eyesore, oversized house that does not fit in this area and understanding it's for just 2 adults and a child. It just doesn't make since that they are building such a big house for only 3 people, to me they are building big to resell, not for the better of the neighborhood only better for them and concerned about my privacy and the noise when they have a roof top party.

It will block the sunsets we enjoy and the views of the houses in the distance and pretty lights at night. I just feel that the breeze and view we get will be obstructed, let alone the property value of our property will decrease as theirs will increase, what they are proposing is Massive build. I would like to see something change at that location, but something more moderate and not completely blocking us. One of my Neighbors tried talking to them and (this is hearsay as I did not hear it myself) when they found out the neighbors didn't like the new plans, wanted to work a deal for them not to show up to the hearing. Honestly, I don't want to have those conversations with the new owners. They show up without warning and want to talk, but I'm not prepared to speak to them. Today they showed up to my house about 12:30pm and I was at work and saw them (on my Ring camera), they were taking photos from my porch. I'm trying to understand the correct process to move forward without conflict from the new owners. Looking forward to a fair solution of the build and consideration of the neighborhood and those around it.

91.41.6 PLANNING AND DESIGN.

(Amended by O-3477)

No construction and no remodeling or enlargement of a building or structure shall be permitted unless the Planning Commission (or the City Council on appeal) shall find that the location and size of the building or structure, or the location and size of the

remodeled or enlarged portions of the building or structure, have been planned and designed in such a manner as to comply with the following provisions:

- a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity;
- b) The development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity;
- c) The design provides an orderly and attractive development in harmony with other properties in the vicinity;
- d) The design will not have a harmful impact upon the land values and investment of other properties in the vicinity;
- e) Granting such application would not be materially detrimental to the public welfare and to other properties in the vicinity;
- f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity.

Thank you,
Pierre Hoffmann
President / Creative Designer

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When a proof is sent, please double check for spelling or typo errors. Once you give final approval, it will be considered in production. If any changes are made after your approval and we have already created the project you are responsible for any extra costs. If your item(s) are picked up by a delivery service or someone other than yourself all costs for delivery or pick-up is your responsibility, even remakes.

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AGENDA ITEM NO. 8D

DATE: July 24, 2024

TO: Planning Commission

FROM: Natalie Niemeyer, Planning Associate
Leo Oorts, Planning Manager

SUBJECT: 25210 Crenshaw Boulevard
Conditional Use Permit (CUP24-00004)
Modification (MOD24-00002)

Consideration of a Conditional Use Permit to allow a 24-hour animal hospital, in conjunction with a Modification of a previously approved Planned Development (PD00-00001) to conditionally allow veterinary uses, on property located in the P-D Zone at 25210 Crenshaw Boulevard.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 24-037 and 24-038 for approval of a Conditional Use Permit to allow the operation of a 24-hour animal hospital, in conjunction with a Modification of PD00-00001 to conditionally allow veterinary uses on property located in the P-D Zone at 25210 Crenshaw Boulevard, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Veterinary Emergency Group (Rolling Hills Plaza LLC), requests approval by the Planning Commission to allow a 24-hour animal hospital, in conjunction with a Modification of PD00-00001 to conditionally allow veterinary uses, on property located in the P-D Zone at 25210 Crenshaw Boulevard.

The development standards of the P-D Zone are applicable to this project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow a 24-hour animal hospital; and
- Modification (MOD) of PD00-00001 to conditionally allow veterinary uses.

Staff has thoroughly reviewed the project and determined the project is consistent with the Commercial General (C-GEN) land use designation and complies with the objective development standards of the P-D Zone, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor alterations to an existing structure or building involving no expansion of the building, is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

This site has a General Plan Designation of General Commercial (C-GEN) which allows a maximum floor area ratio of 0.6. The General Commercial designation is intended to permit a wide range of commercial uses which serve both community and regional needs. Regional shopping centers, professional and medical office projects, corridor commercial districts, food and beverage establishments, entertainment facilities, financial institutions, and automotive sales and repair operations are all permitted or conditionally permitted uses in the General Commercial areas. The P-D Zone is in conformance with the General Commercial designation. The proposed 24-hour animal hospital is consistent with the General Commercial designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as P-D Zone (Planned Development). The parcels directly north, south and west share the same zoning designation. Directly east of the site is the City of Lomita, developed with residential uses.

| | | |
|--------|-----|---|
| NORTH: | P-D | Planned Development, Regional Shopping Center |
| SOUTH: | P-D | Planned Development, Regional Shopping Center |
| EAST: | | City of Lomita |
| WEST: | P-D | Planned Development, Regional Shopping Center |

Project Site

The subject site was originally developed in the 1960s as a commercial center and evolved to include various retail and service uses, restaurants, banks, professional and medical office, markets, and a health club. The commercial center is locally known as Rolling Hills Plaza. Among the past entitlements associated with the center, the following are of significance: CUP83-33 which established a master plan and allowed additional retail and office space, as well as a renovation program for the center; V83-4 which established a parking ratio of five spaces per 1,000 square feet of floor area; ZON00-00003 which allowed the rezoning from C3/C4 to PD; CUP00-00019 and PCR00-00005 which allowed the construction of the subject office building; and PD00-00001, which became the governing entitlement for the center.

The 36-acre site is located north of Pacific Coast Highway (PCH) and Crenshaw Boulevard, traversed by Airport Drive. The subject request is located near the northeast corner of PCH and Crenshaw Boulevard, in one of the tenant spaces at 25210 Crenshaw Boulevard, between two existing medical clinics.

Vehicular access is provided via driveways on Crenshaw Boulevard and Airport Drive, with pedestrian access provided via sidewalks along the aforementioned streets that connect to walkways in the center.

Staff conducted a site visit of the property and noted that the buildings, parking lot, and landscaping were generally in good repair and properly maintained.

Floor Plan

The subject tenant space measures 6,742 square feet. The proposed layout includes a lobby area, exam rooms, an x-ray room, a lab/pharmacy area, a treatment area, an isolation room, a surgery room, restrooms, a laundry/utility room, an employee meeting room, and a break room.

No exterior changes are proposed as part of this request. Staff notes that any proposed signs are subject to review by the Environmental Division to ensure compliance with the Torrance Municipal Code.

Business Operation

The proposed animal hospital will provide 24-hour emergency veterinary services for the community and allows pet owners to remain with their pets throughout the examination, ensuring their pets are receiving high-quality care. The animal hospital will operate 24 hours a day, seven days a week with approximately 8-10 employees per work shift. Additional information is available in the Business Narrative (Attachment 3). Staff notes that the proposed hours of operation align with those of nearby establishments including a fitness center that was originally approved for 24-hour operation. Staff notes that the proposed hours of operation provide a vital service for pet owners and staff does not have concerns with the hours proposed.

Parking Requirements

The parking Code was updated in September 2021 and established a new parking requirement for shopping centers, which reduced the overall parking requirement for Rolling Hills Plaza. The request does not include any additional floor area or changes to the parking lot layout; therefore no additional parking is required and the Rolling Hills Plaza remains compliant.

CONCLUSION

The proposed use provides 24-hour emergency veterinary services which is compatible with the existing uses within the commercial center, which features a wide variety of service, retail, professional and medical offices, and restaurant uses. Additionally, the project is consistent with the orderly development of the City as provided for in its General Plan which designates the site as Commercial General, allowing for a variety of businesses within this shopping center, as conditioned. Sufficient onsite parking is provided and the proposed hours of operation do not conflict or interfere with surrounding uses. For these reasons, Staff recommends approval of the request as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 11, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution Nos. 24-037 and 24-038
2. Location and Zoning Map
3. Business Narrative
4. Code Requirements
5. Project Plans

STAFF CONTACT

Natalie Niemeyer, Planning Associate
NNiemeyer@TorranceCA.gov

Leo Oorts, Planning Manager
LOorts@TorranceCA.gov

ITEM 8D
ATTACHMENT 1

RESOLUTION NOS. 24-037 AND 24-038

PLANNING COMMISSION RESOLUTION NO. 24-037

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF A 24-HOUR ANIMAL HOSPITAL, IN CONJUNCTION WITH A MODIFICATION OF A PREVIOUSLY APPROVED PLANNED DEVELOPMENT (PD00-00001) TO CONDITIONALLY ALLOW VETERINARY USES, ON PROPERTY LOCATED IN THE P-D ZONE AT 25210 CRENSHAW BOULEVARD.

**CUP24-00004: VETERINARY EMERGENCY GROUP
(ROLLING HILLS PLAZA LLC)**

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application for a Conditional Use Permit filed by Veterinary Emergency Group (Rolling Hills Plaza LLC) to allow the operation of a 24-hour animal hospital, in conjunction with a Modification of a previously approved Planned Development (PD00-00001) to conditionally allow veterinary uses, on property located in the P-D Zone at 25210 Crenshaw Boulevard; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property under consideration is located at 25210 Crenshaw Boulevard;
- b) That the property is described as "THAT POR IN TRA 9340 LOT 1 TR NO 9765 AND POR B S WESTON 1898.34 AC L S 1-3", per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed animal hospital is conditionally permitted within the P-D Zone and complies with all of the applicable provisions of this Division, as conditioned;
- e) That the proposed use will not impair the integrity and character of the P-D Zone because the proposed animal hospital is consistent with the General Commercial land use designation, and with the surrounding commercial and service uses in the zone and area;

- f) That the subject site is physically suitable for the proposed use because the animal hospital will occupy an existing medical office tenant space, does not propose additional floor area, and meets the required parking;
- g) That the proposed use will be compatible with existing and proposed future land uses within the P-D Zone and the general area in which the proposed project is to be located because the existing commercial center contains a mixture of service, commercial, and retail uses, and the proposed animal hospital, as conditioned, is complimentary to the existing uses throughout the center;
- h) That the proposed use will encourage and be consistent with the orderly development of the City as provided for in its General Plan, as the animal hospital, as conditioned, is a consistent use within the existing commercial center;
- i) That the proposed use will not discourage the appropriate existing or planned future uses of surrounding property or tenancies because the proposed animal hospital is compatible with the existing uses and the planned future uses of surrounding properties and tenancies within the commercial center;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use is not detrimental to the public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed use, because the project shall maintain all existing pedestrian walkways and vehicular access points;
- l) That the location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area; and
- m) That the proposed project will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call votes **APPROVED** CUP24-00004, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00004, filed Veterinary Emergency Group (Rolling Hills Plaza LLC) to allow the operation of a 24-hour animal hospital on property located in the P-D Zone at 25210 Crenshaw Boulevard, on file in the Community

Development of the city of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for an animal hospital shall be subject to all conditions imposed in Conditional Use Permit 24-00004; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Conditional Use Permit is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in section 92.27.1;
3. That a copy of Planning Commission Resolution No. 24-037 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That the applicants shall take all adequate measures and controls to prevent offensive noise, odor, dust and flies, such that the proposed operation shall not negatively impact the commercial center and surrounding area; (Planning)
5. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake (provided there is no appeal) to Planning; (Planning)
6. That all persons associated with the operation shall be required to park onsite, including customers, clients employees, deliveries, etc.; (Planning)
7. That there shall be no outdoor or exterior telephones, newspaper racks/magazine stands, independent speakers/sound system, vending machines, kiosks, storage containers, unattended collection boxes, etc. permitted onsite. Outdoor storage of equipment/products/inventory shall be prohibited; (Planning)
8. That the applicant shall install on-site bicycle racks and submit placement plan and bicycle rack details to the Environmental Division to the satisfaction of the Community Development Director; (Environmental)
9. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
10. That the following types of signage shall be prohibited: A-frame or free standing; bow or flag banners; air-assisted or inflatables; temporary signs attached to light/utility poles, trees, vehicles, or on the roof of the building; persons holding signs; electronically or manually changeable signs; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage may be allowed; (Environmental)
11. That 9" (minimum) contrasting address numerals shall be provided for non-residential uses; (Environmental)
12. That the applicants shall install ONVIF compatible surveillance cameras to monitor entry/exits, cash handling areas (as applicable), offices housing store assets, and parking

lot. Security cameras shall be maintained in proper working order at all times and recordings shall be made available to Police upon request; (Police)

- 13. That the business name and address shall be clearly visible from the street; (Police)
- 14. That 4' address numerals shall be painted on the rooftop for aerial identification. The numbers should be 4' high and 2' wide, spaced 12" apart, be parallel to the street, and be a non-reflective color that contrasts the color of the roof; and (Police)
- 15. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-038

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED PLANNED DEVELOPMENT (PD00-00001) AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE, TO CONDITIONALLY ALLOW VETERINARY USES, IN CONJUNCTION WITH A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A 24-HOUR ANIMAL HOSPITAL, ON PROPERTY LOCATED IN THE P-D ZONE AT 25210 CRENSHAW BOULEVARD.

**MOD24-00002: VETERINARY EMERGENCY GROUP
(ROLLING HILLS PLAZA LLC)**

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application for a Modification of a previously approved Planned Development (PD00-00001) filed by Veterinary Emergency Group (Rolling Hills Plaza LLC), to conditionally allow veterinary uses, in conjunction with a Conditional Use Permit to allow the operation of a 24-hour animal hospital, on property located in the P-D Zone at 25210 Crenshaw Boulevard; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 25210 Crenshaw Boulevard;
- b) That the property is described as "THAT POR IN TRA 9340 LOT 1 TR NO 9765 AND POR B S WESTON 1898.34 AC L S 1-3", per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the animal hospital is conditionally permitted within the P-D Zone and complies with all of the applicable provisions of the Torrance Municipal Code, and all conditions imposed on the property;
- e) That the proposed modification to the previously approved shopping center, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses;
- f) That the subject site is physically suitable for the proposed modification, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities;

- g) That the proposed modification, as conditioned, will be compatible with existing and proposed future land uses within the P-D Zone and the general area because the project site is surrounded by urban uses that include existing medical offices and a variety of service, commercial, and retail uses;
- h) That the proposed project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as General Commercial, because the proposed modification does not change the existing, longstanding use;
- i) That the proposed modification, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the proposed animal hospital is a complimentary use to the existing medical offices and surrounding service, commercial, and retail uses within the shopping center;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed modification is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the modified project, as conditioned, because the project maintains the driveways on Crenshaw Boulevard and Airport Drive, as well as pedestrian circulation;
- l) That the proposed location, size, design, and operating characteristics of the proposed modification, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the P-D Zone and is consistent with the General Commercial land use designation; and
- m) That the proposed modification, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** MOD24-00002, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that MOD24-00002 filed by Veterinary Emergency Group (Rolling Hills Plaza LLC), to conditionally allow veterinary uses, in conjunction with a Conditional Use Permit to allow the operation of a 24-hour animal hospital, on property located in the P-D Zone at 25210 Crenshaw Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject commercial center that conditionally permits veterinary uses shall be subject to all conditions in Modification 24-00002; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if MOD24-00002 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the project shall comply with all conditions and code requirements associated with PD00-00001, except that veterinary uses shall be conditionally permitted; (Planning)
4. That a copy of Planning Commission Resolution No. 24-038 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That all conditions and Code requirements of CUP24-00004 shall be met; and (Planning)
6. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

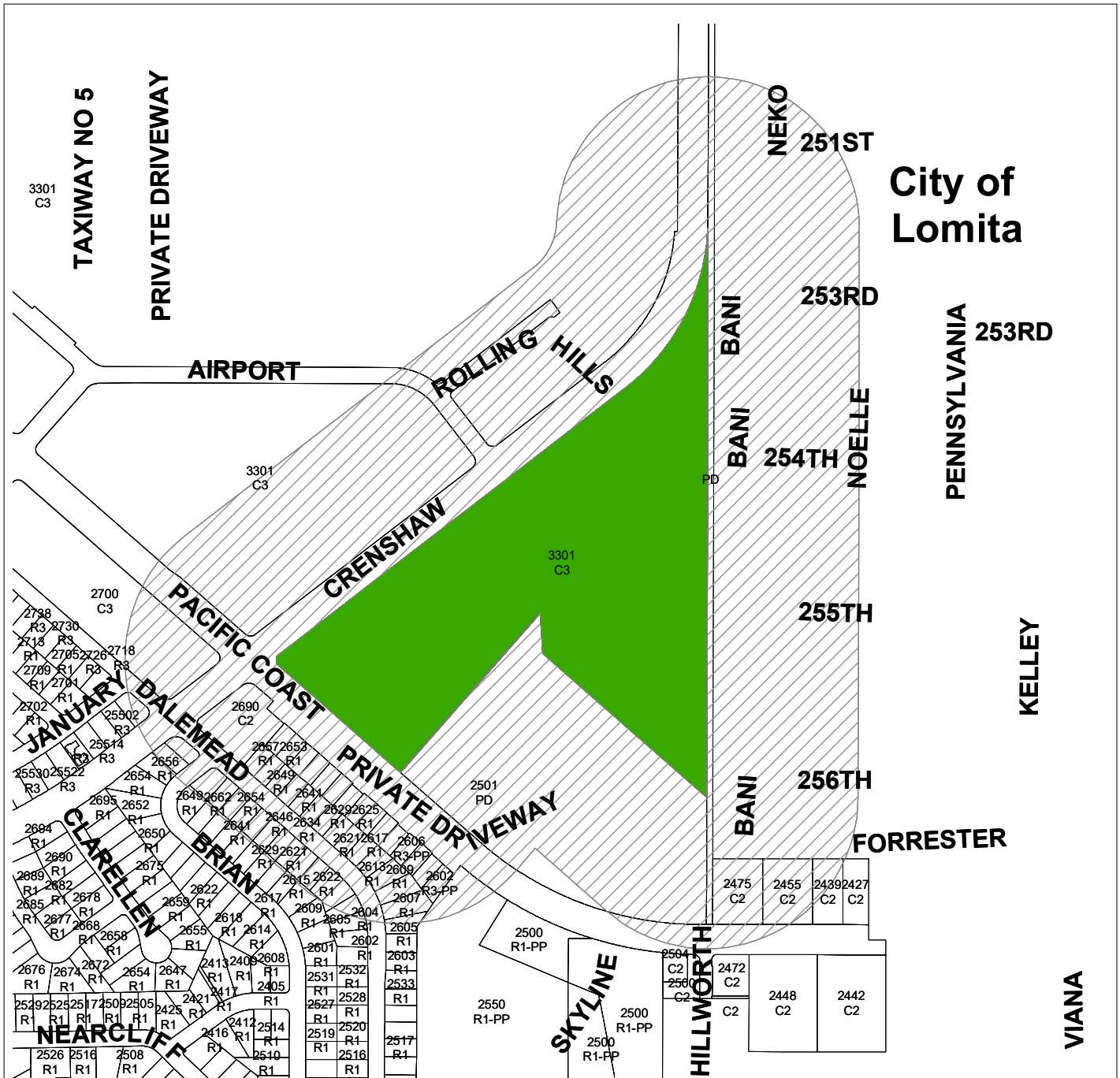
ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8D
ATTACHMENT 2

LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

CUP24-00004, MOD24-00002
25210 Crenshaw Blvd



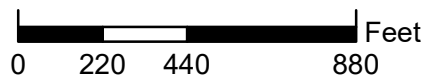
LEGEND



Notification Area



25210 Crenshaw Blvd



ITEM 8D
ATTACHMENT 3
BUSINESS NARRATIVE

ATTACHMENT A DESCRIPTION OF PROPOSED PROJECT

Veterinary Emergency Group (“**VEG**” or “**Applicant**”), is requesting a Modification to the Planned Development Zone PD00-00001, known as the Rolling Hills Plaza shopping center (“**Rolling Hills Plaza**”), to allow a 24-hour, emergency veterinary clinic (the “**Project**”) to operate with no restrictions on distance from residential uses or residential zones at 25210 Crenshaw Boulevard in Torrance (the “**City**”), California 90505 (the “**Property**”). The Property is one of the existing buildings within Rolling Hills Plaza located southeast of Crenshaw Boulevard, northeast of Highway 1, and west of the City of Lomita (“**Lomita**”).¹

1. PROPERTY OVERVIEW

The Property is located at the northeast side of Rolling Hills Plaza, a large-planned development with a variety of commercial uses. It is the middle unit of three adjacent units in one structure, with an area of approximately 6,742 square feet (“**sf**”). The Property is located between two medical clinics, Optum Palos Verdes and DaVita Dialysis. More than a dozen buildings are located in the portion of the Rolling Hills Plaza in which the Property is located. These include several dining uses (California Pizza Kitchen, Starbucks, Rubio’s Coastal Grill, Mendocino Farms, etc.), retail (Bed Bath& Beyond, Nike, etc.), grocery stores (Whole Foods, Trader Joe’s, etc.), services (24 Hour Fitness, European Wax Center), entertainment (AMC movie theater) and more.

Surrounding the Property are a mix of commercial and residential uses. Northwest of the Property across Crenshaw Boulevard are additional commercial uses within the Rolling Hills Plaza, along with the Torrance Municipal Airport. South and west of the Property are additional commercial uses within the Rolling Hills Plaza. South of Rolling Hills Plaza across Highway 1 are single family residential uses (approximately 1,700 feet south). Directly East of the Property, approximately 90 feet from the structure, is a single-family neighborhood located outside the City’s jurisdiction in Lomita.

The Property is designated under the City’s General Plan Land Use Element as General Commercial, which “encompasses many types of commercial development, from local-serving retail and service establishments to arterial highway-oriented commercial centers.” (LU-10, General Plan.) On December 12, 2000, the City rezoned Rolling Hills Plaza from the Solely Commercial Zone, C-3, and the Shopping Center Zone, C-4, to a Planned Development known as PD00-00001 (the “**Rolling Hills PD Zone**”). (See Resolution NO. 2000-144.) The Rolling Hills PD Zone does not include a list of allowed uses and does not mention animal hospital uses.

2. PROJECT DESCRIPTION

The Project would bring a much-needed service to the City: a 24-hour emergency veterinary clinic, proposed for a primarily commercial space, the Rolling Hills Plaza.

¹ Assessor Parcel Number 7377-006-906.

The Applicant requests a Conditional Use Permit to allow an animal hospital to operate on the Property, and a modification of the Rolling Hills PD Zone to allow animal hospitals to operate with no restrictions on distance from any residential zone or residential use.

As noted above, the Rolling Hills PD Zone does not include a list of allowed uses and thus does not mention animal hospital uses. It was formerly zoned as C-3 and C-4 and allows those uses when specific uses are not identified. (*See* December 12, 2000 City Council Minutes, Item 12b; ZON00-00003; PD00-00001.) Animal hospitals are permitted within the C-3 and C-4 zones provided they are not located within 300 feet of any school, park, residential zone, or residential use. (TMC § 95.3.5.) Additionally, adequate measures and controls, satisfactory to the Planning Commission must be taken to prevent offensive noise, odor, dust and flies from any animal hospital uses. (*Id.*)

Although the Property is located within 300 feet of residential uses in Lomita, the Applicant is seeking a modification to the Rolling Hills PD Zone to allow animal hospital uses with no restriction on distance from any residential zone or residential use. This modification is appropriate given the Project's design which affirmatively prevents noise and odor issues that may otherwise require a certain distance from residential uses. As described below, the Property is nearly 100 feet away from the nearest residential use and the Project includes an HVAC system that actively filters and exhaust potential odors. Potential noise issues are resolved through use of insulation and soundproofing. With implementation of these measures, any former concerns relating to veterinary uses are addressed; no restriction on distance from residential uses is required.

The use would be conducted within the Property's existing building. The footprint, height, and scale of the existing structure on the Property will not change. The scope of the Project entails interior remodeling of 6,742 sf of floor area and minor cosmetic upgrades to the building's exterior, including new identifying signage. Interior renovations involve converting the existing layout to a space appropriate for emergency veterinary services.

The revised interior will include pet treatment and staff areas across one floor. A majority of the space is dedicated to a general open-concept treatment area where pet owners can be with their pets during examinations. Additionally, the Project includes five private exam rooms, a quiet ward, an x-ray room, a surgery room, a lab/pharmacy, and additional space for laundry, storage, staff break areas, a small meeting room, and three restrooms. The building has two existing entrances, with the public entering through the front entrance, which contains a vestibule area. The proposed Project will not involve kennels or any overnight boarding. It will only serve domesticated pet animals.

Potential noise from operations will be mitigated through use of insulation and soundproofing. The Applicant will install ceiling panels with a high Noise Reducing Coefficient ("NRC") rating of 0.70, which means the ceiling panels will absorb 70% of the sound that hits them. In addition, the Applicant will place sound batt insulation above all ceiling tiles, which gives an overall effective NRC closer to 0.9 or 0.95, meaning 90% to 95% of sound that hits the ceiling is absorbed. Based on VEG's experience in other markets, most sick and injured pets do not make significant, if any, noise when arriving or being treated at the veterinary hospital due to the level of illness/injury common in emergency situations.

The Applicant will use an HVAC system to provide a positive/negative pressure and ventilation system to exhaust potential odors. Positive pressure systems will be used to push air from one space to another (e.g., supplying more air in a space than is taken away, such as in surgery rooms where sterility must be maintained). Negative pressure systems will be used to pull air out and away from a space (e.g., using exhaust fans to pull air away from bathrooms). The systems together will result in particulates, including odors, to be exhausted to the exterior of the building. All floor and wall finish materials will be washable and impervious, comprised of porcelain and ceramic tile with industrial-grade grout. Further, the Applicant will adhere to standard veterinary cleaning practices which will prevent dust and flies, including mopping floors and cleaning, disinfecting, and sterilizing all used equipment and apparatuses on a frequent basis.

The building's exterior will remain largely intact. Exterior modifications include revised signage identifying the emergency veterinary services business. VEG would operate 24 hours a day, seven days a week to treat pet emergencies in the community. It anticipates approximately 8-10 employees on the premises per shift. Its employees and customers will park in the existing Rolling Hills Plaza parking lot. Although the most recent use of the Property is unknown, the other uses in the building are medical professional offices, which require one space per 250 square feet under the City's off-street parking regulations. (TMC § 93.2.19.) No specific parking ratio exists for animal hospitals or veterinary services. The best designation is likely also the requirement for medical professional offices, a similar use. As such, existing parking will be sufficient.

About Veterinary Emergency Group

VEG operates best-in-class emergency veterinary care facilities nationwide, and now plans to bring its high level of care to Torrance. Its clinics provide a high-quality service where pet owners can reach the doctor over the phone or meet with the doctor upon entering the clinic. Pet owners can also stay with their pet during the entire treatment. VEG has a single mission: *helping people and their pets when they need it most.*

VEG operates 24-hour veterinary clinics currently in 21 states and districts and in 63 locations. Many of these locations are within upscale shopping districts and centers, near or adjacent to restaurants, groceries, and other uses. VEG locations include facilities in Boulder, Colorado; Greenwich, Connecticut; Georgetown, D.C.; Cambridge, Mass.; and the Chelsea, Williamsburg, and Upper East Side neighborhoods of New York City. In California, VEG operates in Encinitas and San Ramon. Additionally, VEG recently opened a clinic in Santa Monica in July 2023.

According to the 2021-2022 National Pet Owners Survey, which the American Pet Products Association conducted, an estimated 70% of American households own pets, up from 56% of in 1988. Using this 70% standard to the estimated 141,126 individuals in the City, according to the latest Census figures, nearly 98,789 individuals in the City live in households with pets and thus increasingly need veterinary services. The proposed Project will help address this growing need.

The Project fills an important service gap for the City. The City has several veterinary care clinics, but only one, the ACCESS Specialty Animal Hospital, apparently offers 24-hour services, and it is located nearly five miles to the Property's north at 2551 West 190th Street.

VEG will bring a benefit to the City and its pet owners, which are currently underserved with emergency veterinary care. The Project fits within the surrounding area, a longstanding commercial center convenient both to residents in the City and in the surrounding area. Not only is the Property is generally surrounded by multiple commercial uses, but its location near residential uses means it is well-situated near the families that will need VEG's services.

ITEM 8D
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC, and CGBC.

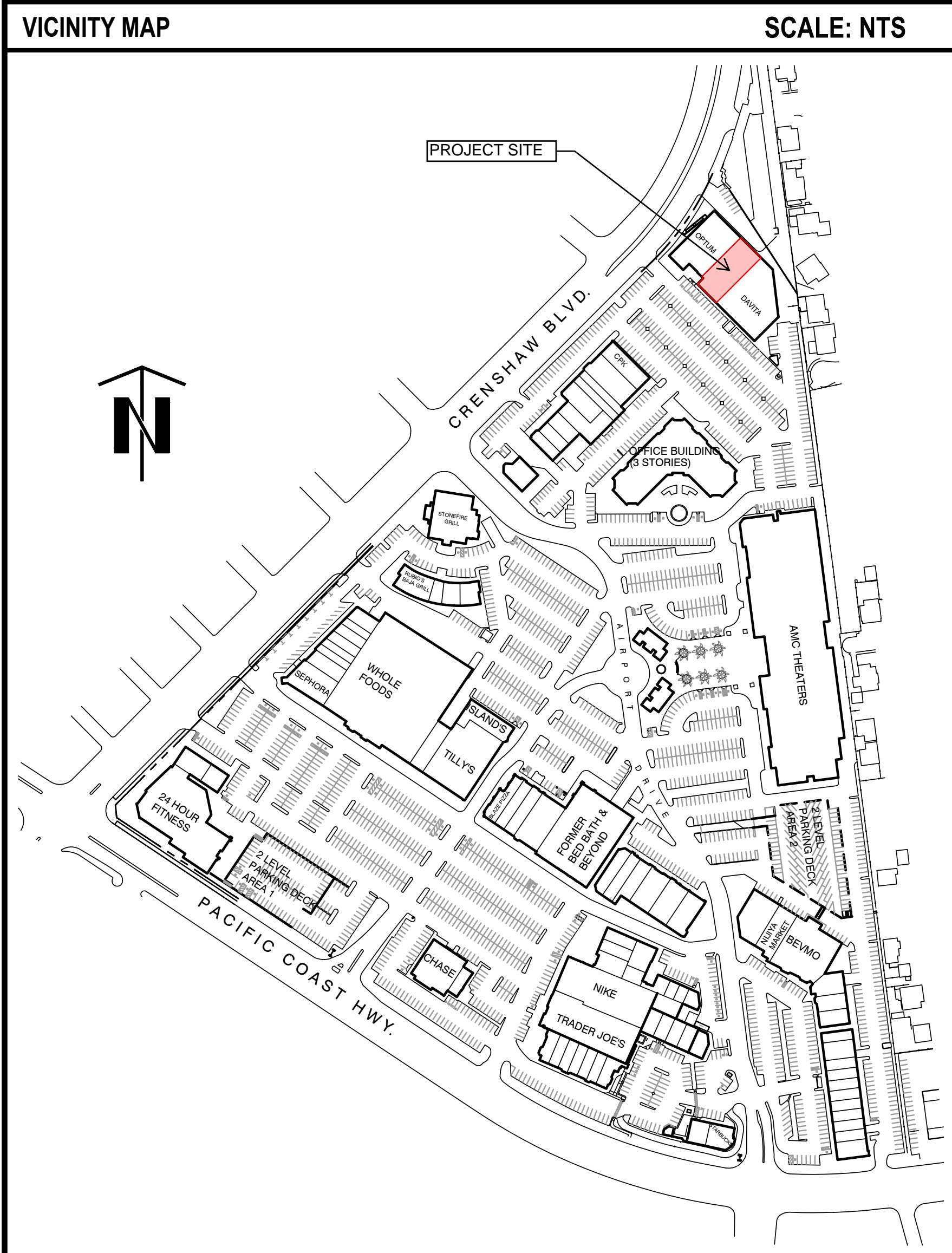
ENGINEERING

2. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

ENVIRONMENTAL

3. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
4. Double-line stripe all parking spaces per Torrance code (93.4.6).
5. Screen all roof equipment from public view per Torrance code(92.30.2).

ITEM 8D
ATTACHMENT 5
PROJECT PLANS



PROJECT TEAM

OWNER
VETERINARY EMERGENCY GROUP
 44 S BROADWAY, LL3
 WHITE PLAINS, NY 10601

CONTACT: ASHLEY SHOULTS
 PHONE: 303.819.9763
 E-MAIL: ASHLEYSHOULTS@VEG.VET

ARCHITECT
TBD

MEP ENGINEERING
TBD

SITE PLAN GENERAL NOTES

1. ALL EXISTING PARKING TO REMAIN.
2. NO NEW SITE WORK IS BEING PROPOSED.
3. NEW EXTERIOR DOOR AND STOREFRONT AT MAIN ENTRANCE OF TENANT SPACE TO BE PROVIDED BY BUILDING OWNER UNDER A SEPARATE PERMIT.
4. NO NEW EXTERIOR BUILDING WORK IS BEING PROPOSED UNDER TENANT'S SCOPE F. WORK BEYOND NEW SIGNAGE.

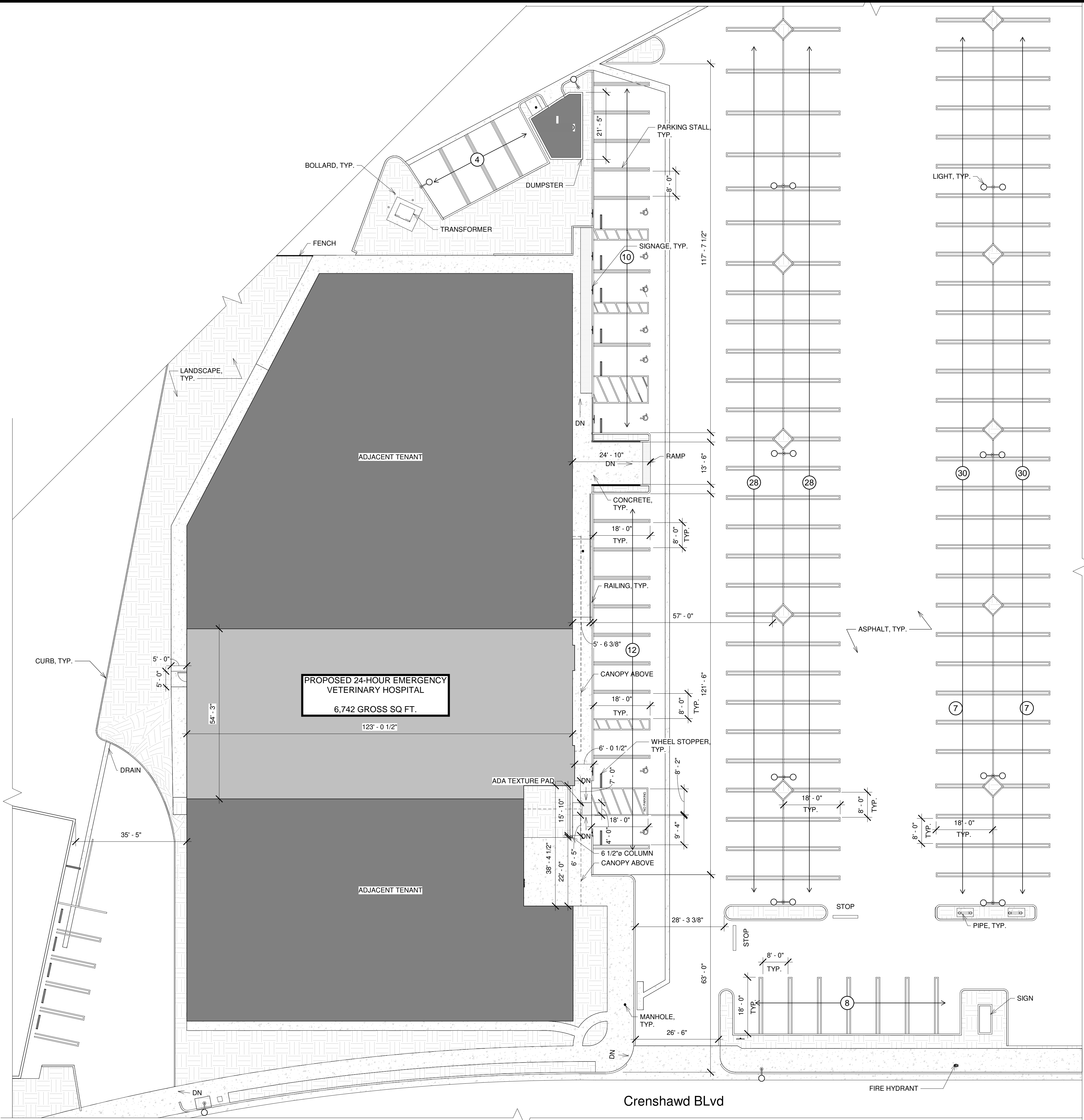
SITE DATA TABLE

25210 CRENSHAW BLVD.
 TORRANCE, CA 90505

| BUILDING DATA | |
|----------------------|-------------------|
| BUILDING | 1 STORY |
| PEAK HEIGHT | 26'-0" (EXISTING) |
| PARKING | 140+ (EXISTING) |
| TOTAL SQUARE FOOTAGE | 6,742 SF |

SYMBOL LEGEND

| | |
|--|-------------------------------------|
| | ACCESSIBLE PARKING SPACE |
| | NUMBER OF PARKING SPACES |
| | CONCRETE WALKWAY EXISTING TO REMAIN |
| | EXISTING LANDSCAPING TO REMAIN |



1 SITE PLAN
 1/16" = 1'-0"

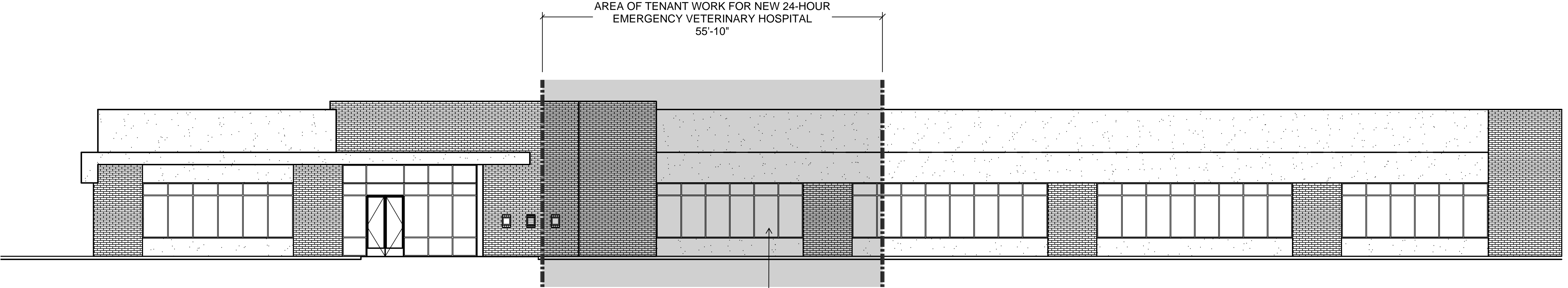


ISSUANCE

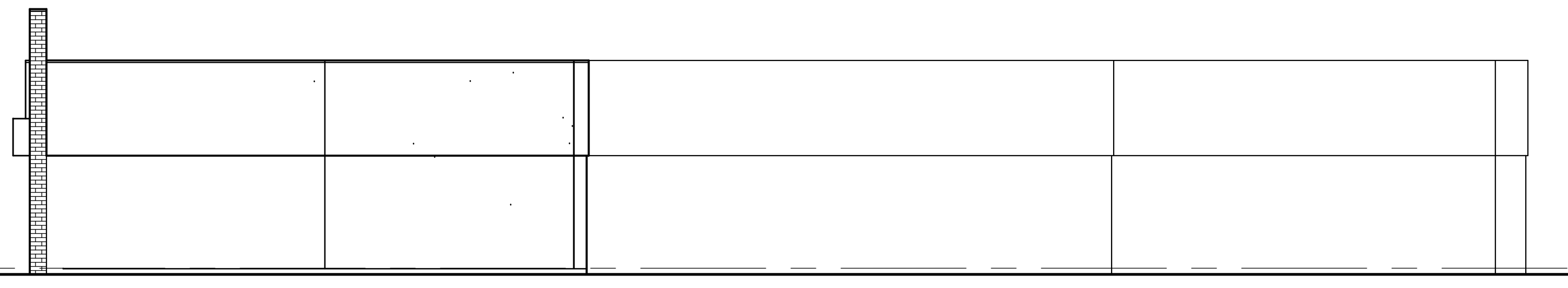
| DATE | ISSUANCE |
|------------|--------------------------|
| 11/17/2023 | INITIAL ZONING SUBMITTAL |
| 02/21/2024 | REVISED ZONING SUBMITTAL |

SITE PLAN
 VETERINARY EMERGENCY GROUP
 25210 CRENSHAW BLVD.
 TORRANCE, CA 90505

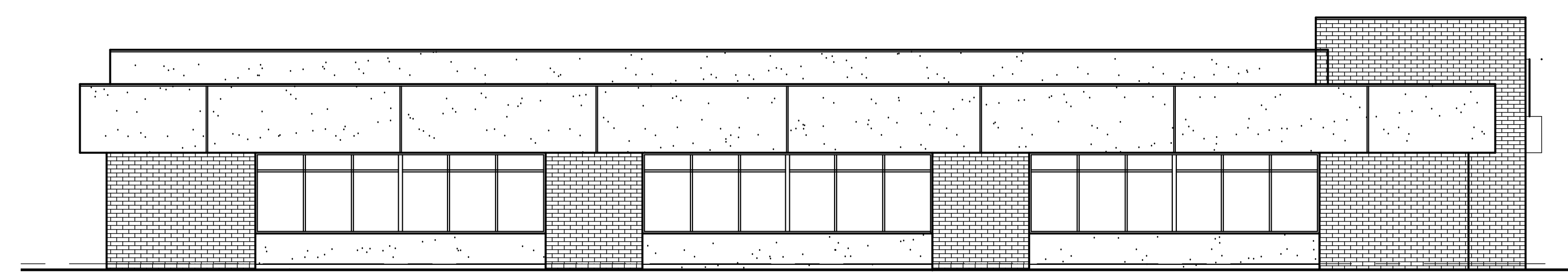
SCALE: As indicated



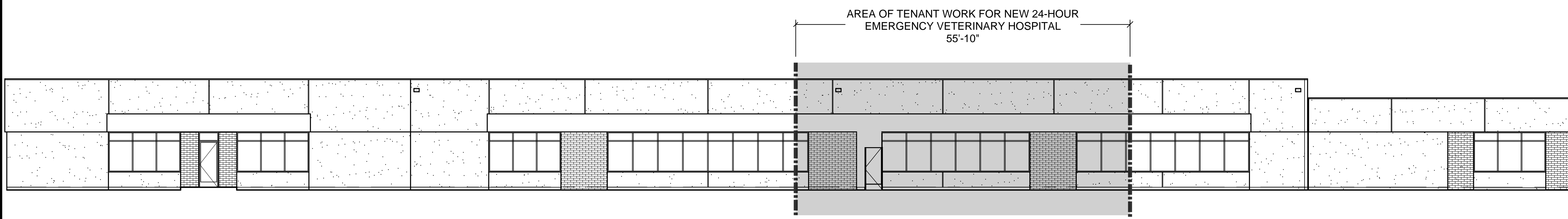
1 SOUTH ELEVATION
A3.01 1/8" = 1'-0"



3 EAST ELEVATION
A3.01 1/8" = 1'-0"



2 WEST ELEVATION
A3.01 1/8" = 1'-0"



4 NORTH ELEVATION
A3.01 1/8" = 1'-0"

| ISSUANCE | DATE | DESCRIPTION |
|--------------------------|------------|-------------|
| INITIAL ZONING SUBMITTAL | 11/17/2023 | |
| REVISED ZONING SUBMITTAL | 02/21/2024 | |

EXTERIOR ELEVATION
 VETERINARY EMERGENCY GROUP
 25210 CRENSHAW BLVD.
 TORRANCE, CA 90505

SCALE: 1/8" = 1'-0"

SEAL/STAMP:

EXTERIOR ELEVATIONS

SHEET

Z2

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EXISTING FRONT VIEW



PROPOSED FRONT VIEW

NOTES:

1. ALL EXISTING DOORS AND WINDOWS TO REMAIN EXCEPT AS NOTED.
2. ALL EXISTING EXTERIOR MATERIALS, FINISHES, LIGHTING, ETC. TO REMAIN.
3. NEW SIGNAGE TO BE PROVIDED UNDER SEPARATE PERMIT.
4. NO NEW SITE WORK IS BEING PROPOSED.



| | |
|----------|--------------------------|
| ISSUANCE | INITIAL ZONING SUBMITTAL |
| | REVISED ZONING SUBMITTAL |
| DATE | 11/17/2023 |
| | 02/21/2024 |

MASSING DIAGRAM
 VETERINARY EMERGENCY GROUP
 25210 CRENSHAW BLVD.
 TORRANCE, CA 90505

SCALE: N.T.S. DRAWN:

SEAL/STAMP:

MASSING DIAGRAM

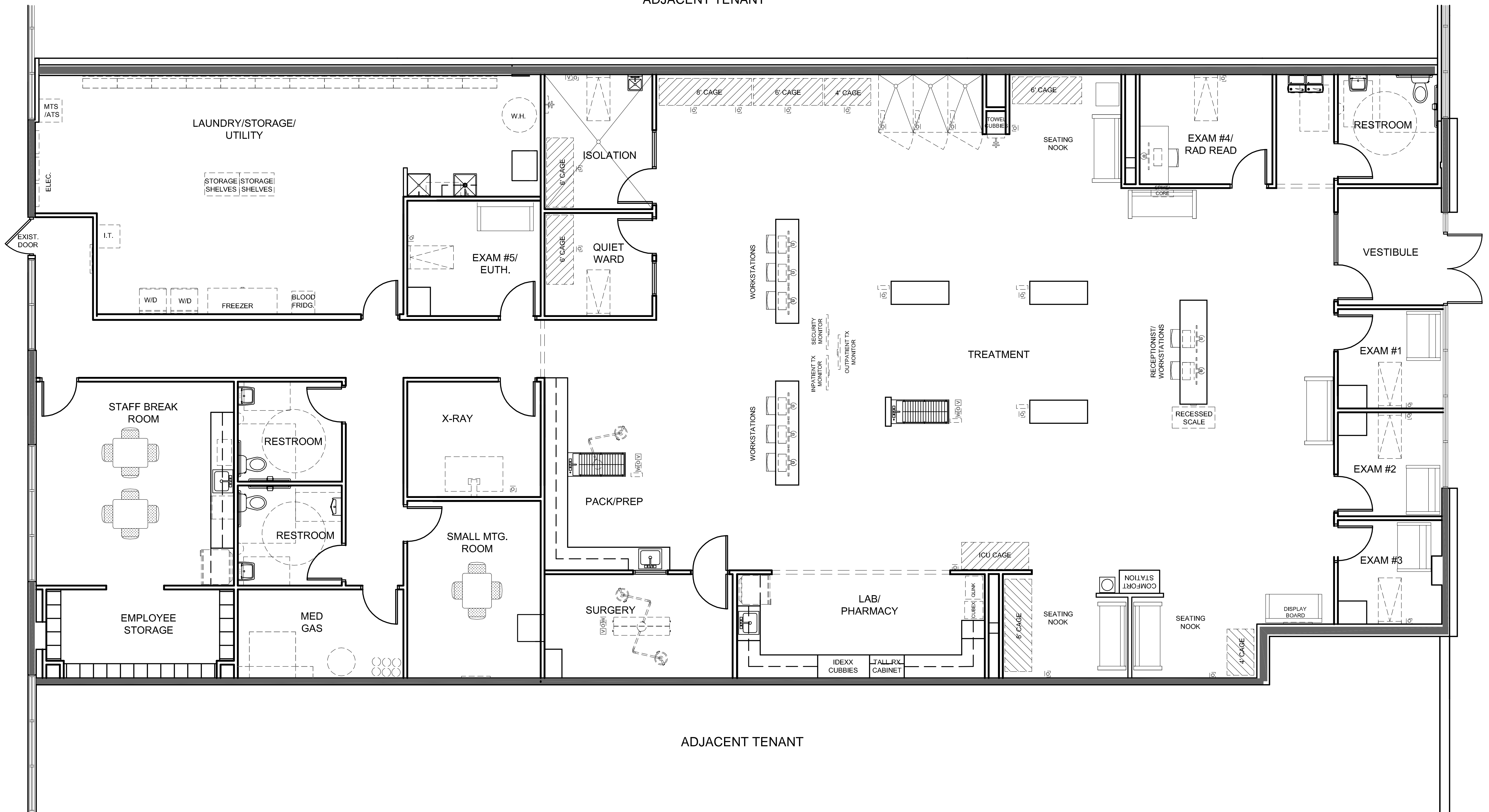
SHEET

Z3



TORRANCE

ADJACENT TENANT



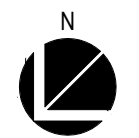
| DATE | ISSUANCE |
|------------|--------------------------|
| 11/17/2023 | INITIAL ZONING SUBMITTAL |
| 02/21/2024 | REVISED ZONING SUBMITTAL |

PROPOSED FLOOR PLAN
 VETERINARY EMERGENCY GROUP
 25210 CRENSHAW BLVD.
 TORRANCE, CA 90505

SCALE: 1/4" = 1'-0"

SEAL/STAMP:

1 FLOOR PLAN
1/4" = 1'-0"



FLOOR PLAN

SHEET

Z4

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AGENDA ITEM NO. 8E

DATE: July 24, 2024

TO: Planning Commission

FROM: Soc Angelo Yumul, Planning Associate
Leo Oorts, Planning Manager

SUBJECT: 17575 Western Avenue (APN 4096-004-014)
Modification (MOD23-00016)
Conditional Use Permit (CUP23-00037)

Consideration of a Modification of a previously approved Conditional Use Permit (CUP73-22) to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, in conjunction with a Conditional Use Permit to allow more than 15,000 square feet, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 24-039 and 24-040 for approval a Modification of a previously approved Conditional Use Permit (CUP73-22) to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, in conjunction with a Conditional Use Permit to allow more than 15,000 square feet, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15332 (In-Fill Development).

EXECUTIVE SUMMARY

The project applicant, Extra Space Storage Inc, requests approval by the Planning Commission to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014).

The development standards of the M-L Zone (Limited Manufacturing District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Modification (MOD) to allow revisions to the site and the new building; and
- Conditional Use Permit (CUP) to allow a building over 15,000 square feet.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The project is categorized as infill development, which refers to development of unused or underutilized land located in urban areas. In accordance with the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15332, infill development projects are found not to have a significant effect on the environment and are declared Categorical Exempt from further environmental review when: a) the project is consistent with the General Plan designation and zoning requirements; b) the project site measures no more than five acres and is surrounded by urban uses; c) the project site is not a habitat for endangered, rare or threatened species; d) the project would not result in significant effects relating to traffic, noise, air quality, nor water quality; and e) the project site can be adequately served by utilities and public services.

The project meets the criteria for a Categorical Exemption (Class 32) as follows:

- a) The project is consistent with the M-L Zone and the General Commercial designation, as a public self-storage facility is a compatible use in the M-L Zone and is consistent with the General Commercial land use designation.
- b) The project site measures 4.01 acres and is surrounded by urban uses that include commercial to the north, northeast, and east, residential to the west and southwest, across the Dominguez Channel, and industrial further west on Artesia Boulevard.
- c) The project site is not a habitat for endangered, rare or threatened species. The site is located within an urbanized environment and is currently developed as a self-storage facility. There are no outstanding natural features on the site, nor in the vicinity. Additionally, the General Plan does not identify any candidate, sensitive or special status species that occupy the site.
- d) The potential traffic, noise, air quality, and water quality impacts associated with the project were assessed in technical studies prepared in consultation with the Torrance Community Development Department and the Torrance Public Works Department (Attachment 5). The studies found the project would not result in significant traffic, noise, air quality, nor water quality impacts. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code.
- e) The project site is situated within an urbanized environment and is already served by all necessary utilities and public services. The project would not extend any roads or other infrastructure. Moreover, the project applicant is required to pay development impact fees to offset the incremental increase in the demand for public services.

General Plan Land Use Designation

This site has a General Plan designation of General Commercial (C-GEN) which allows a maximum Floor Area Ratio of 0.6. The General Commercial designation is intended to permit a wide range of commercial uses which serve both community and regional needs. Regional shopping centers, professional and medical office projects, corridor commercial districts, food and beverage establishments, entertainment facilities, financial institutions, and automotive sales and repair operations are all permitted or conditionally permitted uses in the General Commercial areas.

The zoning designation for this property is M-L (Limited Manufacturing District), which is inconsistent with the General Commercial land use designation. However, the use of the property for a public self-storage facility is a compatible use in the M-L Zone. The proposed new building for the existing self-storage facility is consistent with the C-GEN land use designation and the M-L Zone.

Zoning Designation and Adjacent Land Uses

The project site is designated as M-L Zone (Limited Manufacturing District) (Attachment 2). The adjacent parcel to the northeast, shares the same zoning designation and is developed as a gas station. To the north, across Artesia Boulevard, and to the east, across Western Avenue, is the City of Gardena, developed as commercial. Directly to the south and west is the Dominguez Channel.

NORTH: M-L Gas Station

City of Gardena, Commercial

SOUTH: Dominguez Channel, Los Angeles County Flood Control District

EAST: City of Gardena, Commercial

WEST: Dominguez Channel, Los Angeles County Flood Control District

Project Site

The project site is located on the southwest corner of Western Avenue and Artesia Boulevard. The subject property measures 177,669 square feet (4.08 acres) and is currently developed with an existing self-storage facility, originally constructed in 1976. There are no outstanding natural features on the subject property. Past entitlements associated with the property include a Conditional Use Permit (CUP73-22) which allowed a mini-warehouse over 15,000 square feet for the storage of household goods, and a Modification (MOD12-00001) which allowed the remodel of the self-storage facility, including the reconfiguration of the sales office and manager's unit.

The site is surrounded by commercial to the north, northeast, and east, residential to the west and southwest (across the Dominguez Channel), and industrial further west on Artesia Boulevard. Vehicular access to the site is provided via the primary driveway on Western Avenue, at the southeast corner, with a secondary, emergency-access-only driveway on Artesia Boulevard, at the northwest corner. Pedestrian access is provided along Western Avenue.

Scope of Work

The project proposes to demolish the existing two northmost buildings, totaling 16,068 square feet and 192 storage units; to be replaced by a new two-story building with a basement, totaling 58,734 square feet and 451 storage units. A new lift gate will be installed at the Artesia Boulevard driveway, attached to the west side of the proposed building. The Artesia Boulevard driveway will remain as emergency-only-access. The remainder of the site will remain as-is.

Building Height

As mentioned, the proposed building will be two stories with a basement. Each level features a plate height of 10.66'. The building is 24.33' tall; however, there are taller architectural features along Artesia Boulevard, including two 31' tall canopied towers at each building end (matching the design and style of the existing 25' tall office building at the Western Avenue driveway), as well as a 28.33' tall squared marquee at the middle. The M-L Zone does not specify a height limit. The proposed building height is consistent with the heights of other buildings in the surrounding area, including an approximately 40' tall, three-story hotel across Western Avenue, as well as several industrial buildings over 20' tall across Artesia Boulevard.

Building Setbacks

The proposed building provides an 11.5' street setback to Artesia Boulevard, and a 4.58' side setback to the east property line. The west end of the proposed building provides a separation of 27.33' (at its southwest corner) that widens to 39.4' (at its northwest corner) to the existing west building. The M-L Zone requires a minimum 10' street setback, and does not specify other setbacks, nor building separation distances.

Building Architecture

The proposed building maintains the contemporary commercial architecture implemented via MOD12-00001, and continues to include corrugated metal panels, stucco finish, painted metal canopies, and aluminum storefront glazing with faux doors behind. The new building will be aesthetically consistent and compatible with the existing buildings and site. As mentioned, the new canopied towers will match the design and style of the office building.

Floor Plan

The basement level is approximately 331’ by 65’, totaling 21,978 square feet, and features 176 units (ranging in size as small as 5’ by 5’, to as large as 10’ by 30’), stairwells at the building ends, and two elevators with mechanical rooms. The basement level is completely underground.

The first floor level is approximately 331’ by 55’, with two loading alcoves, totaling 18,378 square feet. The first floor level features 95 units (from 5’ by 15’ to 10’ by 30’), stairwells at the building ends, and two lobbies with elevators (accessed from the loading alcoves). The south facing units are drive-up units.

The second floor level is also approximately 331’ by 55’, with two alcoves over the loading areas, totaling 18,378 square feet. The second floor level features 180 units (from 5’ by 5’ to 10’ by 17’), stairwells at the building ends, two elevators, and four display areas along the north, street facing side.

Floor Area Ratio

As mentioned, the proposed building totals 58,734 square feet. However, as the basement is completely underground, the Code allows that portion of floor area to be excluded from the Floor Area Ratio. With the proposed demolition of 16,068 square feet, and the countable 36,756 square feet from the proposed first and second levels, the total proposed building area including existing buildings is 106,556 square feet. This results in a 0.6 Floor Area Ratio, which complies with the General Commercial land use designation.

Provided below is summary of the project statistics:

| 17575 Western Avenue | |
|--|------------|
| Lot Area | 177,669 sf |
| Proposed Building Height | 31 ft |
| Existing Building Area – 796 units | 85,868 sf |
| Proposed Demolished Area – 192 units | 16,068 sf |
| Proposed New Building – 457 units | 58,734 sf |
| Basement Level (Excluded from FAR) | 21,978 sf |
| First Level | 18,378 sf |
| Second Level | 18,378 sf |
| Net Proposed Additional Area | 36,756 sf |
| Total Proposed Area (Existing + Net) – 1,061 units | 106,556 sf |
| Proposed Floor Area Ratio (0.6 Allowed) | 0.6 |

Business Operation

The hours of operation would remain the same with storage gate hours 6:00am – 10:00pm daily, and office hours 9:30am – 6:00pm weekdays, 9:00am – 5:30pm Saturday, and closed Sunday. Furthermore, employee occupancy would remain the same with only one or two employees onsite at a time.

Parking Requirements

Assembly Bill (AB) 2097, effective January 2023, prohibits a public agency from imposing or enforcing any minimum automobile parking requirement on any residential, commercial, or other development, that is within one-half mile of a major transit stop (with minor exceptions). The project's AB 2097 Memorandum (within Attachment 5) concluded that under the definitions stipulated by AB 2097, the project is within one-half mile of a high-quality transit stop—specifically 0.49 mile from a Gardena Transit bus stop at Western Avenue and 166th Street that provides service at 15-minute intervals during peak hours. As such, the new building is exempt from being parked. As the project does not involve additional parkable area, no changes to parking are required.

However, the remaining existing building area is still subject to being parked. Storage buildings are parked at one space per 1,500 square feet (1:1,500) of storage area, plus one space per 250 square feet (1:250) of office area. The remaining existing building area requires 47 spaces; 24 total spaces are proposed, consisting of 10 new spaces and the existing 14 spaces within the parking lot at the Western Avenue driveway.

Past approvals for self-storage facilities have allowed for reserve parking spaces; basically, that should parking issues arise, storage units can be converted to parking spaces (referenced in the project's Parking Analysis Section in Attachment 5). This scenario was approved for the subject facility under MOD12-00001. The proposed project does not affect the ability to accommodate reserve spaces, and therefore staff is not concerned in regards to parking. Should staff determine that the use requires more parking, existing storage units can be readily converted to address the demand, and a condition of approval has been included to that effect.

Site Improvements

Staff conducted a site visit of the property and noted that the buildings, parking lot, and landscaping were generally in good repair and properly maintained. However, staff observed trash bins kept outside of enclosures, as well as a pay phone within the front planter at the site's northeast corner along Western Avenue. Staff has included conditions of approval and Code requirements to address these concerns.

In addition to the above site improvements, staff also recommends typical conditions of approval related to such facilities such as all persons associated with the use shall park onsite, no outdoor storage, and all loading and unloading shall be onsite.

CONCLUSION

In the judgment of staff, the proposed project, as conditioned, is compatible with the existing and surrounding uses, and will not adversely impact the orderly and harmonious development of the area, nor will it adversely affect the general welfare of the City. The new building increases capacity for an existing longstanding self-storage facility, and will not change the nature of the existing operation. The plans reflect a high quality design and the expanded facility will better serve the area. Therefore, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 11, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution Nos. 24-039 and 24-040
2. Location and Zoning Map
3. Project Narrative
4. Code Requirements
5. Class 32 Categorical Exemption Memorandum with AB 2097 Memorandum (Limited Distribution: <https://bit.ly/17575-Western-Project>)
6. Project Plans (Limited Distribution)

STAFF CONTACT

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ITEM 8E
ATTACHMENT 1

RESOLUTION NOS. 24-039 AND 24-040

PLANNING COMMISSION RESOLUTION NO. 24-039

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP73-22) AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE, TO ALLOW THE DEMOLITION OF EXISTING BUILDING AREA AND THE CONSTRUCTION OF A NEW BUILDING FOR THE EXISTING SELF-STORAGE FACILITY, IN CONJUNCTION WITH A CONDITIONAL USE PERMIT TO ALLOW MORE THAN 15,000 SQUARE FEET, ON PROPERTY LOCATED IN THE M-L ZONE AT 17575 WESTERN AVENUE (APN 4096-004-014).

MOD23-00016: EXTRA SPACE STORAGE INC

WHEREAS, the Planning Commission approved CUP73-22 on August 15, 1973 to allow the construction of a mini-warehouse over 15,000 square feet in area for the storage of household goods on the subject property; and

WHEREAS, the Planning Commission approved MOD12-00001 on March 7, 2012 to allow the remodel of an existing self-storage facility, in conjunction with the reconfiguration of the sales office and manager's unit; and

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 24, 2024, to consider an application for a Modification of a previously approved Conditional Use Permit (CUP73-22) filed by Extra Space Storage Inc to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, in conjunction with a Conditional Use Permit to allow more than 15,000 square feet, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014); and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 17575 Western Avenue (APN 4096-004-014);
- b) That the property is described as "MCDONALD TRACT SAN PEDRO RANCHO LOT COM AT INTERSECTION OF N LINE OF DOMINGUEZ CHANNEL (PER FM 11671-7) WITH W LINE OF WESTERN AVE TH W AND FOLLOWING...SEE MAPBOOK FOR MISSING PORTION...LOT 73" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the project will not have a significant effect on the environment and is declared Categorically Exempt (Class 32) from further environmental review in accordance with the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15332 – Infill Development. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code;

- d) That the self-storage facility is conditionally permitted within the M-L Zone and complies with all of the applicable provisions of the Torrance Municipal Code, including the M-L Zone and all conditions imposed on the property;
- e) That the proposed modification to the previously approved self-storage facility, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses, and is conditionally permitted within the M-L Zone;
- f) That the subject site is physically suitable for the proposed modification, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. Furthermore, the project complies with setback standards and the proposed building heights are compatible with the surrounding area;
- g) That the proposed modification, as conditioned, will be compatible with existing and proposed future land uses within the M-L Zone and the general area because the project site is surrounded by urban uses that include commercial to the north, northeast, and east, residential to the west and southwest (across the Dominguez Channel), and industrial further west on Artesia Boulevard;
- h) That the proposed project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as General Commercial, because the proposed modification does not change the existing, longstanding use;
- i) That the proposed modifications, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the site will continue to be the previously approved self-storage facility and will remain compatible with existing surrounding uses;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed modifications are not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the modified project, as conditioned, because the project maintains the driveways on Western Avenue and Artesia Boulevard, as well as pedestrian circulation;
- l) That the proposed location, size, design, and operating characteristics of the proposed modifications, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the M-L Zone and is consistent with the General Commercial land use designation; and
- m) That the proposed modifications, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** MOD23-00016, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that MOD23-00016 filed by Extra Space Storage Inc to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, in conjunction with a Conditional Use Permit to allow more than 15,000 square feet, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014), on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property as a self-storage facility shall be subject to all conditions imposed in Modification 23-00016; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if MOD23-00016 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the signed Planning Commission Resolutions shall appear on the construction plans associated the subject building, to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That a landscape plan, including onsite and offsite areas, shall be submitted to the Community Development Department for approval prior to the issuance of any Building Permits and shall be implemented prior to occupancy. The plan shall utilize drought tolerant, California friendly vegetation, shade-producing trees, and shall provide state-of-the-art water saving irrigation system and/or drip irrigation for larger shrubs and trees. The landscape plan shall incorporate landscape elements of different heights, colors, and textures in order to provide an attractive and water efficient design. Proposed landscape layout should include landscape elements of high quality and embrace a cohesive landscape design theme throughout the property. The landscape plan shall provide landscaping of sufficient height and texture to provide an effective screen of all trash enclosures, transformers, utility connections, backflow devices, and vehicle headlights positioned toward adjacent uses and street frontages. All trees planted along the site perimeter and street frontage shall not be less than 24 inch box in size, and all shrubs shall not be less than 5 gallon in size. The project shall comply with the current State Water Efficient Landscape Ordinance. Landscaping shall be maintained in good condition to the satisfaction of the Community Development Director; (Planning)

5. That the location of any electrical transformer(s), backflow preventer, double detector check assembly, etc. shall be shown on the final working drawings and landscape plan, and shall be screened from public view or undergrounded, if applicable, to the satisfaction of the Community Development Director prior to the issuance of Building Permits; (Planning)
6. That all new electrical transformers shall not be located within front or street setback areas and that applicants shall continue to work with Fire, Engineering, and Planning Staff for the siting and painting of all exterior equipment, including, but not limited to, electrical transformers and double-check detectors/backflow assembly equipment, and shall be shown on the final Building Plans; and that any equipment that is required to be sited aboveground shall be screened with enclosures that match the materials and finishes of the main building facades and/or vegetation, to the satisfaction of the Community Development Director; (Planning)
7. That the project shall provide a utility management plan that establishes the placement, design, and screening/camouflaging of all new utility and related equipment, including but not limited to: transformers, panels, meters, backflow preventers, double detector check assemblies, etc. Screening shall comply with all utility company access requirements. All related mounting or ancillary equipment such as conduits and piping, etc., shall also be screened or painted, to the satisfaction of the Community Development Director; (Planning)
8. That equipment that can be stored inside the structure, such as Fire/sprinkler risers, shall be located indoors, to the satisfaction of the Community Development Director. Furthermore, all electrical switchgear cabinets, fire risers, etc., shall be designed within the interior of the subject building, and shall be shown on the final Building Plans, and that any exterior doors/walls for this equipment shall be designed as an integral part of the façade, matching color and materials to the satisfaction of the Community Development Director; (Planning)
9. That any new rooftop equipment, such as, air conditioning units, venting, etc., shall be screened from the surrounding view and right-of-way by a parapet that is designed as an integral part of the façade, and shown on the final Building Plans, to the satisfaction of the Community Development Director, prior to Building Permit issuance; (Planning)
10. That a roof plan shall be submitted prior to issuance Building Permits. The roof plan shall identify the parapet heights and setbacks to ensure all new roof appurtenances, such as ducts and vents, all mechanical equipment, electrical boxes, meters, pipes, transformers, air conditioners and all other equipment on the roof shall be completely screened from public view and nearby taller buildings with materials compatible with the building. Such equipment or screening material shall be constructed in such a manner that noises emanating from the roof appurtenances shall not be audible beyond the property lines; (Planning)
11. That an exterior lighting design and photometric plan shall be submitted to the Community Development Department for approval prior to the issuance of any Building Permits to ensure adequate lighting for exterior doorways, parking spaces, and pedestrian walkways, and to prevent light spillage from the site, to the satisfaction of the Community Development Director; (Planning)
12. That the project shall provide for the installation and operation of the required number of Level-2 Electric Vehicle Supply Equipment units (otherwise known as EV-charger), as mandated by California Green Code Tier 1 requirements. The applicants shall work with staff in regards to the ideal placement and distribution of EV-charger stalls, to the satisfaction of the Community Development Director. The EV-charger stalls shall comply with current accessible requirements; (Planning)

13. That the applicant shall provide a site-wide signing and striping plan that demonstrates, but is not limited to: way-finding signage (for automobiles and pedestrians), pavement markings, directional arrows, stop and yield control devices, etc., to the satisfaction of the Community Development Director; (Planning)
14. That material and color samples shall be provided to the Community Development Department for approval prior to the issuance of Building Permits; (Planning)
15. That a graffiti-proof finish shall be used on walls where applicable, including building walls, fence walls, and screen walls, and that all windows shall be provided with a protective film to prevent graffiti; (Planning)
16. That a detail of any new walls and fencing shall be provided to the Community Development Department for approval prior to the issuance of Building Permits. Chain-link fencing shall not be visible at the exterior of project; (Planning)
17. That trash bins shall be stored within trash enclosures, aside from active trash pickup; (Planning)
18. That there shall be no outdoor or exterior telephones, newspaper racks/magazine stands, independent speakers/sound system, vending machines, kiosks, storage containers, unattended collection boxes, etc. permitted onsite. Outdoor storage shall be prohibited; (Planning)
19. That the payphone located within the planter at the northeast corner of the site, along Western Avenue, shall be removed; (Planning)
20. That no public address speakers, radios, paging, telephone bells, buzzers, or similar signaling devices shall be used in conjunction with the use of the proposed building; (Planning)
21. That all persons associated with the use shall be required to park onsite, including residents, visitors, employees, deliveries, etc.; (Planning)
22. That should parking, traffic, or circulation issues arise, the project shall be reevaluated, and that the applicants shall continue to work with staff on securing a resolution, to the satisfaction of the Community Development Director; (Planning)
23. That should specific parking issues arise, the applicants shall work with staff on converting ground level storage units to parking spaces to provide the required amount of parking for the business, to the satisfaction of the Community Development Director; (Planning)
24. That for those projects with a security gate, the property shall be secured via Knox-box lock with access to Police and Fire. Provide Knox-box access for secured gates and doors to property; (Police/Planning)
25. That Police and Fire shall be given key/code access to any locked vehicle/pedestrian entrances that are restricted to customers only; (Police/Planning)
26. That the business name and address shall be visible from street, and that hours of operation shall be visible at or near the business entrance; (Police/Planning)
27. That there shall be non-glare security lighting for all parking areas, common pedestrian stairways, and walkways; (Police/Planning)
28. That the construction site shall be secured to prevent theft of materials after hours; (Police/Planning)
29. That the applicants shall install alarmed doors for main access points; (Police/Planning)

30. That the applicants shall install surveillance cameras to monitor entry/exits, loading areas, cash handling areas (as applicable), offices housing store assets, and parking lot. Security cameras shall be maintained in proper working order at all times and stored video data shall be made available to Police upon request. Surveillance footage shall be stored for no less than 60 days. Should the applicants elect to share video security feed access with Police, surveillance system shall be Open Network Video Interface Forum (ONVIF) capable; (Police/Planning)
31. That prohibited signage for this use shall include: freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
32. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program. Check for and comply with sign program on file; (Environmental)
33. That the site shall provide bicycle rack(s). The applicant shall install onsite bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
34. That the applicant shall install rooftop numbers onto the new building in order to assist law enforcement and other emergency personnel locate the property. The numbers shall be 4 feet high and 2 feet wide, spaced 12 inches apart, be parallel to the street, and be a non-reflective color that contrasts the color of the roof; (Environmental)
35. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering)
36. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduced pressure backflow assemblies, shall be located above ground on private property near the public right-of-way and shall be screened from public view with approved plant material. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to Building Permit Issuance. Landscape screening shall provide access to Water and Fire Department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering)
37. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Engineering)
38. That the applicant shall contact the City of Torrance Fire Department to determine fire suppression requirements; (Engineering)
39. That the existing vault containing the fire service facilities shall be removed from the parking lot adjacent to the gate; (Engineering)
40. That the applicant shall submit proof of lot configuration by providing most current title report or grant deed. The latest record of survey (1988) shows a different lot configuration compared to most current LA County plat map; (Engineering)
41. That the project shall comply with Tier 1 Requirements in 2022 Green Code; (Building & Safety)

42. That upon completion of the project, the applicant shall hire a Certified Access Specialist (CASp) to verify that project(s) are in compliance with California Building Code. All deficiencies shall be addressed to the satisfaction of the Building Official; and (Building & Safety)
43. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

PLANNING COMMISSION RESOLUTION NO. 24-040

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW MORE THAN 15,000 SQUARE FEET, IN CONJUNCTION WITH A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP73-22) TO ALLOW THE DEMOLITION OF EXISTING BUILDING AREA AND THE CONSTRUCTION OF A NEW BUILDING FOR THE EXISTING SELF-STORAGE FACILITY, ON PROPERTY LOCATED IN THE M-L ZONE AT 17575 WESTERN AVENUE (APN 4096-004-014).

CUP23-00037: EXTRA SPACE STORAGE INC

WHEREAS, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on July 24, 2024, to consider an application filed by Extra Space Storage Inc for a Conditional Use Permit to allow more than 15,000 square feet, in conjunction with a Modification to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014); and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 17575 Western Avenue (APN 4096-004-014);
- b) That the property is described as "MCDONALD TRACT SAN PEDRO RANCHO LOT COM AT INTERSECTION OF N LINE OF DOMINGUEZ CHANNEL (PER FM 11671-7) WITH W LINE OF WESTERN AVE TH W AND FOLLOWING...SEE MAPBOOK FOR MISSING PORTION...LOT 73" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the project will not have a significant effect on the environment and is declared Categorically Exempt (Class 32) from further environmental review in accordance with the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15332 – Infill Development. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code;
- d) That the proposed building for the existing self-storage facility is conditionally permitted within M-L Zone and complies with all of the applicable provisions of the Torrance Municipal Code, including the M-L Zone and all conditions imposed on the property;
- e) That the proposed building, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses, and is conditionally permitted within the M-L Zone;

- f) That the subject site is physically suitable for the proposed building, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. Furthermore, the project complies with setback standards and the proposed building heights are compatible with the surrounding area;
- g) That the proposed building, as conditioned, will be compatible with existing and proposed future land uses within the M-L Zone and the general area because the project site is surrounded by urban uses that include commercial to the north, northeast, and east, residential to the west and southwest (across the Dominguez Channel), and industrial further west on Artesia Boulevard;
- h) That the proposed project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as General Commercial, because the proposed building is for an existing, longstanding use;
- i) That the proposed building, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the site will continue to be the previously approved self-storage facility and will remain compatible with existing surrounding uses;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed building is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the project, as conditioned, because the project maintains the driveways on Western Avenue and Artesia Boulevard, as well as pedestrian circulation;
- l) That the proposed location, size, design, and operating characteristics of the proposed building, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the M-L Zone and is consistent with the General Commercial land use designation; and
- m) That the proposed building will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** CUP23-00037, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP23-00037 filed by Extra Space Storage Inc to allow more than 15,000 square feet, in conjunction with a Modification to allow the demolition of existing building area and the construction of a new building for the existing self-storage facility, on property located in the M-L Zone at 17575 Western Avenue (APN 4096-004-014), on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property as a self-storage facility shall be subject to all conditions imposed in Conditional Use Permit 23-00037; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if CUP23-00037 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of Modification 23-00016 shall be met; and
4. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

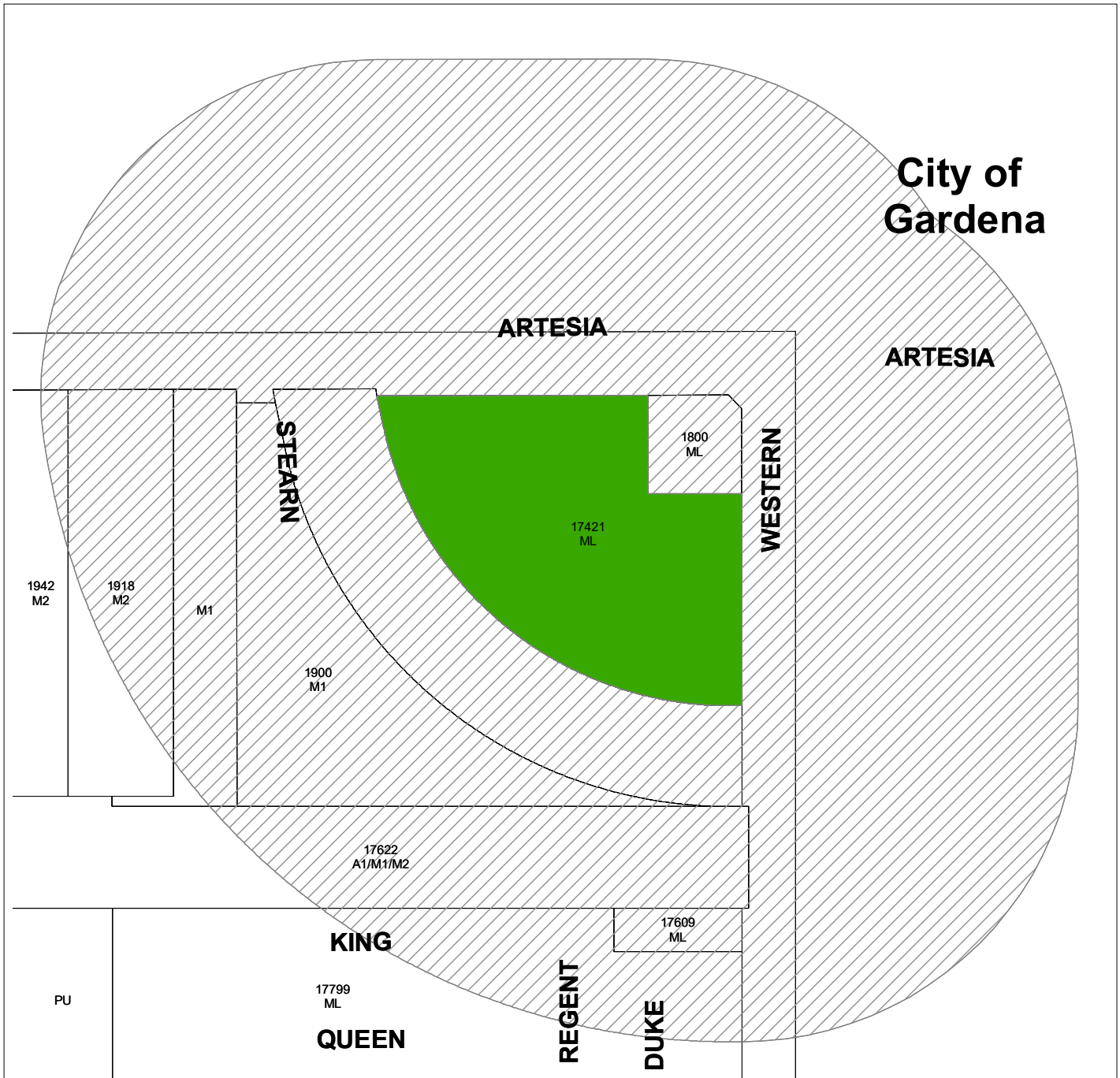
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8E
ATTACHMENT 2
LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

CUP23-00037, MOD23-00016
17575 Western Ave

LEGEND

- Notification Area
- 17575 Western Ave

0 95 190 380 Feet

ITEM 8E
ATTACHMENT 3
PROJECT NARRATIVE

Attachment A: Project Narrative
17575 S. Western Avenue

I. PROJECT OVERVIEW

Extra Space Storage Inc. (“Applicant”) is the owner of the property located at 17575 S. Western Avenue (the “Property”). The Property is located on the border of Torrance and Gardena. The Property is located within the jurisdiction of Torrance (the “City”) and consists of Assessor’s Parcel Number 4096-004-014. The Property is approximately 4 acres (175,000 square feet) and is located at the southwestern corner of the intersection of Artesia Boulevard and S. Western Avenue. The Property is currently improved with self-storage and ancillary uses.

The Applicant proposes to demolish the 7,623 square foot northwest portion of an existing self-storage building that borders Artesia Boulevard and an adjacent 8,445 square foot self-storage building (total demolition of approximately 16,068 square feet) and construct a 58,734 square-foot self-storage building bordering Artesia Boulevard (the “Project”). All other existing uses and operations on the Property would remain.

The Applicant is requesting approval of a Modification to a Conditional Use Permit, Conditional Use Permit Tier II (project over 15,000 square feet), and approval of a Class 32 Categorical Exemption.

II. EXISTING CONDITIONS

The Property consists of one parcel at the southwestern corner of Artesia Boulevard and S. Western Avenue. The Property is developed with approximately 82,722 square feet of self-storage uses (nine one-story buildings containing 796 storage units), a 2,835 square foot, two-story office building, and a surface parking lot.

The Property is zoned for Limited Manufacturing (M-L). According to the City’s General Plan, the Property has a current General Plan designation of General Commercial (C-GEN). It is surrounded by a mixture of residential and commercial uses, which is in keeping with the existing use and proposed Project. The Property is immediately bounded to the north by Artesia Boulevard, to the east by S. Western Avenue and commercial uses, and to the southwest by the Dominguez Channel. Regional access to the Property is provided by Interstate 405, located approximately 0.85 mile south of the Property, and Interstate 110, located approximately 1.4 miles east of the Property. Local access to the Property is provided by S. Western Avenue and Artesia Boulevard.

Vehicular access to the Property is provided via one full access driveway with an automatic lift gate along S. Western Avenue. Gate hours are Monday through Sunday from 6:00 a.m. to 10:00 p.m. The office is located in the southeastern corner of the Property, adjacent to the surface parking lot and full access driveway along S. Western Avenue. The office is open to the public Monday through Friday from 9:30 a.m. to 6:00 p.m., Saturday from 9:00 a.m. to 5:30 p.m., and closed on Sunday.

III. PROJECT DESCRIPTION

The Project includes total demolition of approximately 16,068 square feet, and construction of a new 58,734 square-foot self-storage building. All other existing uses on the Property, including the other self-storage buildings (approximately 66,654 square feet in total), office building (2,835 square feet), and surface parking lot, would remain.

The Project would construct a new 58,734 square-foot self-storage building (the “Proposed Building”) consisting of two stories above ground level, reaching a maximum height of approximately 30 feet, 11 inches, along with a subsurface basement level with a floor-to-floor height of 10 feet, 8 inches, which is within the permitted maximum height of 75 feet. Under post-development conditions, the total self-storage square footage on the Property (including the existing 66,654 square feet of self-storage uses and 2,835 square foot office) would be 128,223 square feet upon Project completion. The total number of self-storage units on the Property would be 1,061, with 457 of the storage units located in the Proposed Building. This represents a net increase of 265 units on the Property. The Project would not require any additional employees on the Property compared to existing operations.

The Property’s office and overall use would remain operational throughout construction. Upon completion of the Project, office hours of operation would remain the same: Monday through Friday from 9:30 a.m. to 6:00 p.m., Saturday from 9:00 a.m. to 5:30 p.m., and closed on Sunday.

The Project would construct a new automatic lift gate along Artesia Boulevard, attached to the west side of the Proposed Building, to provide fire access. Vehicular access to the Property would continue to be provided via one existing driveway and automatic lift gate along S. Western Avenue. Upon completion of the Project, gate hours would remain the same: Monday through Sunday from 6:00 a.m. to 10:00 p.m.

The Project would develop 10 new parking stalls attached to the Proposed Building. The existing surface parking lot containing 14 parking spaces, two of which are Americans with Disabilities Act-compliant, would remain. Therefore, the total parking supply at the Property after Project buildout would be 24 spaces. The proposed 24-space parking supply is within the range of demand expected for the Project and would provide adequate parking to accommodate the peak parking demand of the Project.

As part of the Project, new electricity, water, telephone, and sewer infrastructure would be constructed within the Property to connect the Proposed Building to the existing main lines. A 6-inch sewer line would be constructed to connect the Proposed Building to the existing 24-inch sewer line along Artesia Boulevard. Additionally, a 1-inch domestic water line and 6-inch fire water line would be constructed to connect the Proposed Building to the existing 8-inch water line along Artesia Boulevard. A storm drain line would be constructed on the Property and connect to existing inlets bordering the Proposed Building.

IV. REQUESTED APPROVALS

The Applicant is requesting the following Project approvals:

- Modification to an existing Conditional Use Permit, pursuant to Torrance Municipal Code Section 92.28.1;
- Conditional Use Permit Tier 2 (project over 15,000 square feet), pursuant to Torrance Municipal Code Section 95.3.31; and
- Approval of a Class 32 Categorical Exemption in compliance with the California Environmental Quality Act.

ITEM 8E
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC, and CGBC.

GRADING

2. The applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per TMC 81.2.49 (J103) and TMC 81.2.50(J104). Precise grading plan shall detail compliance paths of travel, accessible parking stalls per 2022 California Building Code (CBC) 11B-201.
3. The applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.
4. The applicant shall have a final drainage study prepared by a Registered Civil Engineer. The drainage study shall be prepared in report format and include sections addressing on-site and off-site drainage areas, existing and developed conditions hydrology, the design hydraulics for the on-site drainage system, including sizing of inlets, conduits, v-ditches, down drains and other structures, and associated calculations and conclusions. The drainage study shall demonstrate project compliance with the current Los Angeles County Public Work Department's Hydrology Manual and Hydraulic Design Manual; however the minimum design flow for sizing onsite drainage devices shall be 25 year recurrence (Q25) or 50 year storm for sump conditions. The drainage study shall be submitted to the Building and Safety and approved by the Building official prior the issuance of a grading permit Per TMC 81.2.50 (J104.9).
5. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6).
6. Drainage plans shall incorporate appropriate post-construction best management practices (BMPs) into the design of the project and must be prepared and approved prior to issuance of any grading permit per TMC 411.1.050. Please refer to the Los Angeles County Low

Impact Development (LID) Manual for applicable design requirements. The project-specific LID plans shall describe how this project design conforms to all requirements set forth in the LID manual and must include a fully executed and recorded LID covenant to provide for on-going maintenance of the BMPs that have been chosen. Stormwater quality design volume (SWQDv) shall be retained onsite per TMC 411.1.070.

7. Per TMC 410.1.070 the owner/owner's agent shall submit erosion control plan to Building and Safety review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
8. Cover sheet of construction document shall include area (acres) of disturbed soil, disturbed soil 1 acre or more required the owner to file a Notice of Intent with the Division of Water Quality of State Water Resources Control Board and prepare a SWPPP per TMC 410.1.070, if applicable.
9. All undocumented fill shall be removed, until competent native soils have reached, and recompacted from property line to property line. TMC 81.2.50(J104.5).
10. Retaining wall proposed to accommodate the cuts and fills shall obtain separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
11. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6).
12. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per TMC 81.2.52.

ENGINEERING

13. Install a street tree in the City parkway every 50' for the width of this lot on Artesia Blvd (74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
14. Replace grinded, lifted, and cracked sidewalk on Western Ave per City of Torrance standards.

ENVIRONMENTAL

15. All parking spaces, including handicap accessible spaces, must be double-lined striped and sized to meet Code (93.4.6).
16. Electrical and mechanical equipment, including all roof equipment, must be screened from view with materials that are compatible with the main structure. Staff approval of screening materials are required (92.30.2).

FIRE

17. Comply with California Fire Code.

ITEM 8E
ATTACHMENT 5

CLASS 32 CATEGORICAL EXEMPTION MEMORANDUM
WITH AB 2097 MEMORANDUM
<https://bit.ly/17575-Western-Project>

ITEM 8E
ATTACHMENT 6
PROJECT PLANS (LIMITED DISTRIBUTION)

EXTRA SPACE STORAGE #1009

17575 S WESTERN AVE.
GARDENA, CALIFORNIA 90248



SHEET INDEX

TOTAL SHEETS
20

ARCHITECTURAL

- G010 TITLE SHEET
 - A000 PROJECT DATA
 - A100 SITE PLAN
 - A101 DEMOLITION SITE PLAN
 - A120 BASEMENT FLOOR PLAN
 - A121 FIRST FLOOR PLAN
 - A122 SECOND FLOOR PLAN
 - A130 BASEMENT FLOOR - REFLECTED CEILING PLAN
 - A131 FIRST FLOOR - REFLECTED CEILING PLAN
 - A132 SECOND FLOOR - REFLECTED CEILING PLAN
 - A190 ROOF PLAN
 - A210 EXTERIOR ELEVATIONS
 - A310 BUILDING SECTIONS
 - A311 WALL SECTIONS
 - A312 WALL SECTION
 - A320 ENLARGED STAIR PLANS AND SECTIONS
 - A321 ENLARGED STAIR PLANS AND SECTIONS
 - A420 BASEMENT STORAGE UNITS PLAN
 - A421 FIRST FLOOR STORAGE UNITS PLAN
 - A422 SECOND FLOOR STORAGE UNITS PLAN
- ARCHITECTURAL SHEET COUNT: 20

STRUCTURAL

- S0.1 SHEET INDEX AND NOTES
- STRUCTURAL SHEET COUNT: 1

MECHANICAL

- M0.1 SHEET INDEX AND NOTES
- MECHANICAL SHEET COUNT: 1

PLUMBING

- P0.1 SHEET INDEX AND NOTES
- PLUMBING SHEET COUNT: 1

ELECTRICAL

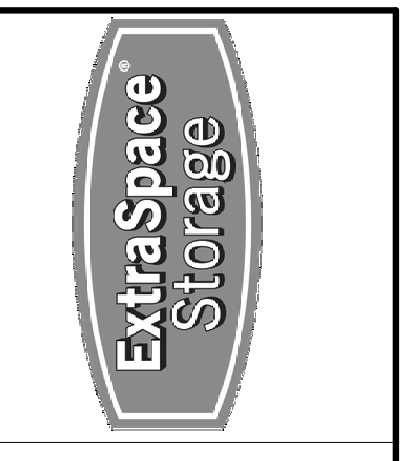
- E0.1 SHEET INDEX AND NOTES
- ELECTRICAL SHEET COUNT: 1

LANDSCAPE

- L0.1 SHEET INDEX AND NOTES
- LANDSCAPE SHEET COUNT: 1

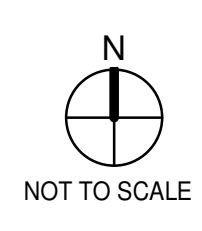
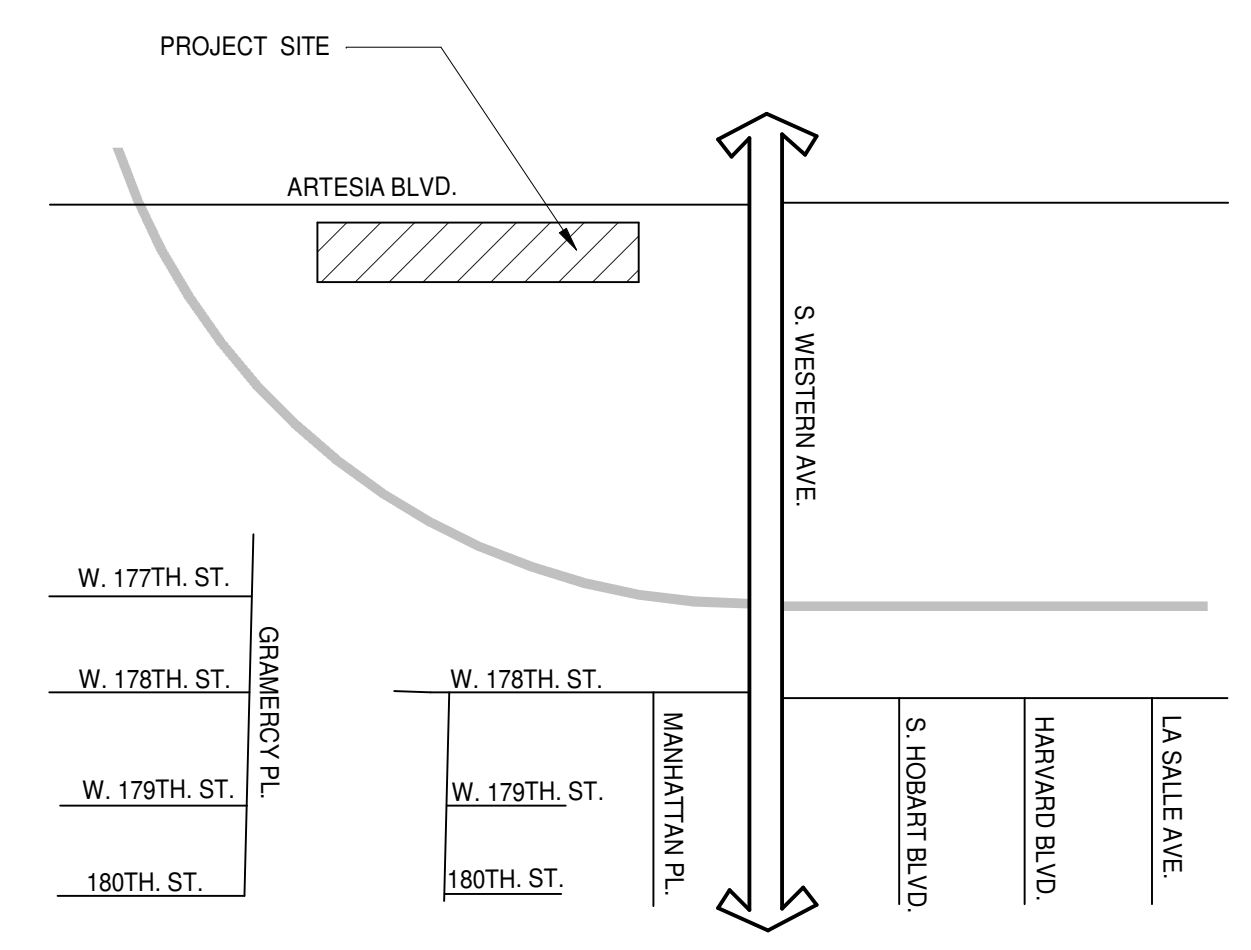
CIVIL

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDS
BUILDING MEASUREMENT
915 WILSHIRE BLVD. SUITE #1150
LOS ANGELES, CALIFORNIA 90017
P 310.903.4000



**EXTRA SPACE STORAGE
#1009**
17575 S WESTERN AVE.
GARDENA, CALIFORNIA 90248

VICINITY MAP



OWNER

EXTRA SPACE STORAGE
SALT LAKE CITY, UT
801.365.4626
PRIMARY CONTACT: CLINT KLEPPE
PH: 480.296.5263
EMAIL: cleppe@extraspaces.com

GENERAL CONTRACTOR

COMPANY NAME
COMPANY NAME
ADDRESS LINE 1
ADDRESS LINE 2
CITY, STATE XXXXX
(XXX) XXX-XXXX
PRIMARY CONTACT: CONTACT
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX

ARCHITECT

WARE MALCOMB
915 WILSHIRE BLVD. SUITE 2150
LOS ANGELES, CALIFORNIA 90017
P 310.903.4000
PRIMARY CONTACT: ADRIAN HELTON
PH: 310.903.4000 x1207
EMAIL: ahelton@waremalcomb.com

OWNER'S CONSULTANTS

CIVIL ENGINEER
COMPANY NAME
ADDRESS LINE 1
ADDRESS LINE 2
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(XXX) XXX-XXXX
PRIMARY CONTACT: CONTACT
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EMAIL: XXX@XXX.XXX
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GEOTECHNICAL ENGINEER
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ALTERNATE CONTACT:
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ARCHITECT'S CONSULTANTS

STRUCTURAL ENGINEER
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ADDRESS LINE 2
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PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
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EMAIL: XXX@XXX.XXX

MECHANICAL ENGINEER
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ADDRESS LINE 2
CITY, STATE XXXXX
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PRIMARY CONTACT: CONTACT
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EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX

PLUMBING ENGINEER
COMPANY NAME
ADDRESS LINE 1
ADDRESS LINE 2
CITY, STATE XXXXX
(XXX) XXX-XXXX
PRIMARY CONTACT: CONTACT
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX

ELECTRICAL ENGINEER
COMPANY NAME
ADDRESS LINE 1
ADDRESS LINE 2
CITY, STATE XXXXX
(XXX) XXX-XXXX
PRIMARY CONTACT: CONTACT
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX

LANDSCAPE ARCHITECT
COMPANY NAME
ADDRESS LINE 1
ADDRESS LINE 2
CITY, STATE XXXXX
(XXX) XXX-XXXX
PRIMARY CONTACT: CONTACT
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX
ALTERNATE CONTACT:
PH: (XXX) XXX-XXXX
EMAIL: XXX@XXX.XXX

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. STEEL STAIRS, HANDRAILS AND GUARDS.
5. EXTERIOR BUILDING SIGNAGE.
6. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
7. ROOF HATCH, RAILING AND GATE.
8. ROOF ACCESS LADDER/PLATFORM DESIGN AND SUPPORT.
9. LADDER SAFETY SYSTEM DESIGN AND SUPPORT.

| DATE | REVISIONS |
|------------|-----------|
| 10-13-2023 | SD SET |

PAPM: A. HELTON
DRAWN BY: A.R.F.
JOB NO.: LAX23-0011-00

SHEET
G010

AGENDA ITEM NO. 8F

DATE: July 24, 2024

TO: Planning Commission

FROM: Sheila Poisson, Finance Director

SUBJECT: Land Use Study (LUS24-00007) – Community Facilities District

Consideration of proposed amendments to Division 9 of the Torrance Municipal Code pertaining to the mitigation of project-related adverse impacts through the use of a Community Facilities District (“CFD”) as provided by the Mello-Roos Community Facilities Act of 1982.

RECOMMENDATION

Recommendation of the Finance Director that Planning Commission consider and recommend to the City Council to adopt an ORDINANCE amending Section 95.1.6 of Chapter 5 of Article 1 of Division 9 of the Torrance Municipal Code to include provisions regarding the mitigation of project-related adverse impacts through the use of a Community Facilities District (“CFD”) as provided by the Mello-Roos Community Facilities Act of 1982, one or more assessment districts (“Assessment District”), or other form of lawful financing district or platform which are designed, individually or collectively, to fund capital improvements and services.

EXECUTIVE SUMMARY

The City of Torrance (“City”) is currently experiencing significant development interest, with approximately 599 residential units and 604,554 square feet of industrial space proposed throughout the City. While new housing and development will help boost economic activity and housing needs in Southern California, new development will also come with increased service demand requests for the City, especially in the areas of roadway degradation, public safety and community services utilization.

Presently, the City applies a Development Impact Fee (“DIF”) to pay a portion of the costs identified for public infrastructure and facility improvements related to community and general services, library, transportation, sewer, storm drain, police, fire, and undergrounding of utilities. These DIFs are a one-time fee, intended to be used towards the acquisition, installation, and construction of public facilities identified in the City’s “Needs List”. This one-time funding for infrastructure and facility costs cannot be used for operational costs, therefore restricted for use in narrow ways. An influx of new multi-family residential developments will require an increase in public safety and park services, while the demand for industrial warehouse spaces will require a need for increased street maintenance and contribute to road degradation, creating a need for a recurring revenue source to recover the cost of providing these services. This can be achieved through the creation of a Community Facilities District (“CFD”) - a special tax intended to help fund the incremental, ongoing costs of the municipal services brought about by new development.

At the direction of the City Council, staff engaged consultants David Taussig & Associates (DTA) to develop a methodology to determine proposed rates, by apportioning service costs by land-use and also taking into consideration the increased revenues such as sales tax, property tax, utility users' tax, etc, brought about by new development. By offsetting the service costs with potential revenues, the overall impact of the proposed rates is fiscal neutrality.

On January 23, 2024, the City Council approved an item presented by the Finance and Governmental Operations Committee, recommending to move forward with the creation of a CFD. The first step in effecting this recommendation is to add provisions to the Torrance Municipal Code (“TMC”) regarding the mitigation of project-related adverse impacts through the use of a CFD or other assessment. Staff

recommends that the Planning Commission consider the proposed amendments and recommend to the City Council to adopt an ORDINANCE amending Section 95.1.6 of Chapter 5 of Article 1 of Division 9 of the Torrance Municipal Code to include provisions regarding the mitigation of project-related adverse impacts.

DISCUSSION

Environmental Determination

The proposed amendments to Division 9 of the Torrance Municipal Code are not subject to the California Environmental Quality Act (CEQA) pursuant to Sections 15378 and 15061(b)(3) of the CEQA Guidelines, California Code of Regulations, Title 14.

Analysis

The proposed special tax will be structured consistently with DIFs (land use classifications below), based on the intensity and type of development which allows the assessment to be proportional to the size of the development. Development intensity refers to the number of dwelling units constructed (per unit) for residential development and the amount of building floor area constructed (per 1,000 square feet) for commercial and industrial development, to distinguish that impacts on services vary depending on the type of land use that is developed. Though most land uses are eligible for the proposed CFD, staff recommends the following limitations, based on consultation with legal counsel Rutan & Tucker:

1. Specifically for residential property, the CFD special tax only apply to market rate units in development projects with 5 units or more. Notably, this limitation means that Accessory Dwelling Units (“ADUs”) would not be subject to the CFD special tax.
2. Affordable housing (Moderate, Low, and Very Low) be exempt from the CFD special tax.

When the proposed CFO special taxes are included as part of the General Fund revenue, the overall impact of new development to the City utilizing the proposed rates below is fiscal neutrality. At these rates, the anticipated development would generate approximately \$444,968 per year in CFO special tax revenues for the City (at full buildout).

In reality, the actual annual revenue generated by the City will increase over time as development occurs. For illustrative purposes, the table below shows how the annual revenue would grow over time if all future development were to occur over a 10-year period. These amounts represent the estimated value of development-induced operating costs that would otherwise be supported by the General Fund.

Table ES-3: Annual CFD Tax Revenue

| Year | Expected Annual CFD Special Tax Revenue |
|------|---|
| 1 | \$44,497 |
| 2 | \$88,994 |
| 3 | \$133,490 |
| 4 | \$177,987 |
| 5 | \$222,484 |
| 6 | \$266,981 |
| 7 | \$311,477 |
| 8 | \$355,974 |
| 9 | \$400,471 |
| 10 | \$444,968 |

The ability to levy special property taxes on new development projects is governed by the Mello-Roos Community Facilities Act of 1982 of Government Code Sections 53311-53368.3 (the "Act"). The Act provides that before initiating the CFD formation process, the City must adopt a statement of goals and policies concerning the CFD. Once these general goals and policies are adopted, the City will be allowed to proceed with establishing the proposed CFD. A Resolution to adopt a statement of goals and policies will be presented to City Council in August 2024. Additionally, an Ordinance is required to be adopted by City Council to include in Division 9 of the Torrance Municipal Code, the obligation for property owners of certain developments to contribute to the mitigation of costs, by way of joining the CFD, or other City-approved means. Consideration and recommendation to City Council to adopt the attached Ordinance meets this requirement.

CONCLUSION

Staff recommends that Planning Commission consider and recommend to the City Council to adopt an ORDINANCE amending Section 95.1.6 of Chapter 5 of Article 1 of Division 9 of the Torrance Municipal Code, as a requirement of the formation of a CFD.

DRAFT ORDINANCE

Staff has prepared draft amendments to Division 9 (Official Land Use Plan) of the Torrance Municipal Code for consideration by the Planning Commission that are listed in the attachment (Attachment 1). Text removals are ~~stricken through~~, and text additions are **bolded and underlined**.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were mailed and posted on the City of Torrance webpage on July 11, 2024, and notices were published in the local newspaper (The Daily Breeze) on July 12, 2024.

ATTACHMENTS

1. Ordinance – Redline Version
2. Ordinance – Clean Version
3. Ordinance Summary

STAFF CONTACT

Sheila Poisson, Finance Director
spoisson@torranceca.gov

ITEM 8F
ATTACHMENT 1

Ordinance - Redline Version

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TORRANCE, CALIFORNIA, AMENDING SECTION 95.1.6(C) ENTITLED “FINAL DETERMINATION AND FINDINGS” OF CHAPTER 5 “CONDITIONAL USE PERMITS”, OF ARTICLE 1 “GENERAL”, OF DIVISION 9 “LAND USE”, OF THE TORRANCE MUNICIPAL CODE RELATING TO THE MITIGATION OF PROJECT-RELATED ADVERSE IMPACTS

RECITALS

WHEREAS, the City of Torrance is a charter city under California law with a recognized mandate to preserve, protect, and enhance the general health and welfare of its residents; and

WHEREAS, the Mello-Roos Community Facilities Act of 1982 permits cities to establish a Community Facilities District (“CFD”) which allows for financing the construction of public infrastructure and certain services; and

WHEREAS, the CFD imposes a special tax on future property owners within the CFD boundary through the annual special tax levy collected on the property tax bill. This creates pockets of higher-taxed properties within the City’s sphere of influence; and

WHEREAS, on July 24, 2024, the Planning Commission held a duly noticed public hearing regarding the proposed amendment to Torrance Municipal Code (“TMC”) 95.1.6(c) and, at the conclusion of the public hearing, voted to recommend approval of the amendment to include provisions within TMC 95.1.6(c) regarding the mitigation of project-related adverse impacts through the use of a CFD, as provided by the Mello-Roos Community Facilities Act of 1982; and

WHEREAS, on _____, 2024, the City Council conducted a duly noticed public hearing and considered adoption of an amendment to the TMC 95.1.6(c) pertaining to the inclusion of provisions regarding the mitigation of project-related adverse impacts through the use of a CFD, as provided by the Mello-Roos Community Facilities Act of 1982; and

WHEREAS, the City Council finds that this Ordinance is not subject to the California Environmental Quality Act pursuant to the Sections 15378 and 15061(b)(3) of the CEQA Guidelines, California Code of Regulations, Title 14.

NOW, THEREFORE, the City Council of the City of Torrance does hereby ordain as follows:

SECTION 1

The City Council of the City of Torrance hereby finds and determines that all the above Recitals are true and correct and incorporates such Recitals into this Ordinance.

SECTION 2

Section 95.1.6(c), entitled “Final Determination and Findings”, of Chapter 5 of Article 1 of Division 9 of the Torrance Municipal Code is amended in its entirety to read as follows:

“95.1.6 FINAL DETERMINATION AND FINDINGS.

- c) If a Conditional Use Permit or Minor Conditional Use Permit **or other form of discretionary approval, by whatever name**, is granted, specific **monetary and non-monetary**

conditions may be imposed by the review authority that it finds are reasonable and necessary to mitigate project-related adverse impacts; to carry out the purpose and requirements of the respective land use district; and to effectuate the purposes of the Torrance General Plan, any applicable Specific Plan or Redevelopment Plan, and the best interests of the City. Such conditions may relate to both on- and off-site improvements **and other mitigation measures**, and may include, but are not limited to:

- 1) Avigation easements;
- 2) Dedication of land for access purposes;
- 3) Payment, in whole or in part, for traffic regulation devices;
- 4) Such other conditions as are deemed necessary to effectuate the proper development of the property and surrounding area and insure compliance with the Torrance General Plan.
- 5) **In addition to the broad categories of approving conditions described above, the Applicant, or the real property which is the subject of the Application and one or more of the approvals described above (the "Property") , may be required to locate or annex the Property in a Community Facilities District ("CFD") as provided by the Mello-Roos Community Facilities Act of 1982, one or more assessment districts ("Assessment District"), or other form of lawful financing district or platform which are designed, individually or collectively, to fund capital improvements and services which are determined by the review authority to be appropriate pursuant to the standards set forth in this provision of the Torrance Municipal Code and any other lawful enactment, whether by ordinance, resolution, or other lawful action of the City. The terms and conditions of the CFD, the Assessment District, or other financing district or platform shall be determined by the review authority. The Property shall be subject to any and all conditions imposed by the CFD, the Assessment District, or other financing district or platform including, without limitation, any Special Tax, any Assessment, or any other financial charge or lien."**

SECTION 3

If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason deemed or held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Torrance hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause phrase or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or other portions might subsequently be declared invalid or unconstitutional.

SECTION 4

Any inconsistent provisions of the Torrance Municipal Code, or any other inconsistent ordinances of the City, are repealed, to the extent of the inconsistencies.

SECTION 5

This ordinance was reviewed pursuant to the California Environmental Quality Act (Public Resources Code §§ 21000, et seq., "CEQA") and the regulations promulgated thereunder (14 Cal. Code of Regulations §§15000, et seq., the "CEQA Guidelines"). This ordinance is exempt

pursuant to CEQA Guidelines 15378, because the activity undertaken involves general text amendments that would not cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and does not meet the definition of a "Project" under CEQA. The proposed Ordinance is also exempt from CEQA Guidelines under Section 15061(b)(3), as these revisions, in and of themselves, do not have the potential for causing a significant effect on the environment as they do not allow for any new or expanded uses not otherwise permitted under existing federal, state and local regulations.

SECTION 6

This ordinance shall take effect 30 days after the date of its adoption. Within 15 days following adoption, this ordinance or a summary of this ordinance if authorized by the City Council, will be published at least once in the Daily Breeze, a newspaper of general circulation, published and circulated in the City of Torrance.

INTRODUCED and **APPROVED** this day of _____ , 2024.

ADOPTED and **PASSED** this _____ day of _____ , 2024.

Mayor George Chen

APPROVED AS TO FORM:
PATRICK Q. SULLIVAN, City Attorney

ATTEST:

by _____
Tatia Y. Strader, Assistant City Attorney

Rebecca Poirier, City Clerk

ITEM 8F
ATTACHMENT 2

Ordinance - Clean Version

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TORRANCE, CALIFORNIA, AMENDING SECTION 95.1.6(C) ENTITLED “FINAL DETERMINATION AND FINDINGS” OF CHAPTER 5 “CONDITIONAL USE PERMITS”, OF ARTICLE 1 “GENERAL”, OF DIVISION 9 “LAND USE”, OF THE TORRANCE MUNICIPAL CODE RELATING TO THE MITIGATION OF PROJECT-RELATED ADVERSE IMPACTS

RECITALS

WHEREAS, the City of Torrance is a charter city under California law with a recognized mandate to preserve, protect, and enhance the general health and welfare of its residents; and

WHEREAS, the Mello-Roos Community Facilities Act of 1982 permits cities to establish a Community Facilities District (“CFD”) which allows for financing the construction of public infrastructure and certain services; and

WHEREAS, the CFD imposes a special tax on future property owners within the CFD boundary through the annual special tax levy collected on the property tax bill. This creates pockets of higher-taxed properties within the City’s sphere of influence; and

WHEREAS, on July 24, 2024, the Planning Commission held a duly noticed public hearing regarding the proposed amendment to Torrance Municipal Code (“TMC”) 95.1.6(c) and, at the conclusion of the public hearing, voted to recommend approval of the amendment to include provisions within TMC 95.1.6(c) regarding the mitigation of project-related adverse impacts through the use of a CFD, as provided by the Mello-Roos Community Facilities Act of 1982; and

WHEREAS, on _____, 2024, the City Council conducted a duly noticed public hearing and considered adoption of an amendment to the TMC 95.1.6(c) pertaining to the inclusion of provisions regarding the mitigation of project-related adverse impacts through the use of a CFD, as provided by the Mello-Roos Community Facilities Act of 1982; and

WHEREAS, the City Council finds that this Ordinance is not subject to the California Environmental Quality Act pursuant to the Sections 15378 and 15061(b)(3) of the CEQA Guidelines, California Code of Regulations, Title 14.

NOW, THEREFORE, the City Council of the City of Torrance does hereby ordain as follows:

SECTION 1

The City Council of the City of Torrance hereby finds and determines that all the above Recitals are true and correct and incorporates such Recitals into this Ordinance.

SECTION 2

Section 95.1.6(c), entitled “Final Determination and Findings”, of Chapter 5 of Article 1 of Division 9 of the Torrance Municipal Code is amended in its entirety to read as follows:

“95.1.6 FINAL DETERMINATION AND FINDINGS.

- c) If a Conditional Use Permit or Minor Conditional Use Permit or other form of discretionary approval, by whatever name, is granted, specific monetary and non-monetary conditions

may be imposed by the review authority that it finds are reasonable and necessary to mitigate project-related adverse impacts; to carry out the purpose and requirements of the respective land use district; and to effectuate the purposes of the Torrance General Plan, any applicable Specific Plan or Redevelopment Plan, and the best interests of the City. Such conditions may relate to both on- and off-site improvements and other mitigation measures, and may include, but are not limited to:

- 1) Avigation easements;
- 2) Dedication of land for access purposes;
- 3) Payment, in whole or in part, for traffic regulation devices;
- 4) Such other conditions as are deemed necessary to effectuate the proper development of the property and surrounding area and insure compliance with the Torrance General Plan.
- 5) In addition to the broad categories of approving conditions described above, the Applicant, or the real property which is the subject of the Application and one or more of the approvals described above (the "Property") , may be required to locate or annex the Property in a Community Facilities District ("CFD") as provided by the Mello-Roos Community Facilities Act of 1982, one or more assessment districts ("Assessment District"), or other form of lawful financing district or platform which are designed, individually or collectively, to fund capital improvements and services which are determined by the review authority to be appropriate pursuant to the standards set forth in this provision of the Torrance Municipal Code and any other lawful enactment, whether by ordinance, resolution, or other lawful action of the City. The terms and conditions of the CFD, the Assessment District, or other financing district or platform shall be determined by the review authority. The Property shall be subject to any and all conditions imposed by the CFD, the Assessment District, or other financing district or platform including, without limitation, any Special Tax, any Assessment, or any other financial charge or lien."

SECTION 3

If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason deemed or held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Torrance hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause phrase or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or other portions might subsequently be declared invalid or unconstitutional.

SECTION 4

Any inconsistent provisions of the Torrance Municipal Code, or any other inconsistent ordinances of the City, are repealed, to the extent of the inconsistencies.

SECTION 5

This ordinance was reviewed pursuant to the California Environmental Quality Act (Public Resources Code §§ 21000, et seq., "CEQA") and the regulations promulgated thereunder (14 Cal. Code of Regulations §§15000, et seq., the "CEQA Guidelines"). This ordinance is exempt pursuant to CEQA Guidelines 15378, because the activity undertaken involves general text

amendments that would not cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and does not meet the definition of a "Project" under CEQA. The proposed Ordinance is also exempt from CEQA Guidelines under Section 15061(b)(3), as these revisions, in and of themselves, do not have the potential for causing a significant effect on the environment as they do not allow for any new or expanded uses not otherwise permitted under existing federal, state and local regulations.

SECTION 6

This ordinance shall take effect 30 days after the date of its adoption. Within 15 days following adoption, this ordinance or a summary of this ordinance if authorized by the City Council, will be published at least once in the Daily Breeze, a newspaper of general circulation, published and circulated in the City of Torrance.

INTRODUCED and **APPROVED** this day of _____, 2024.

ADOPTED and **PASSED** this _____ day of _____, 2024.

Mayor George Chen

APPROVED AS TO FORM:
PATRICK Q. SULLIVAN, City Attorney

ATTEST:

by _____
Tatia Y. Strader, Assistant City Attorney

Rebecca Poirier, City Clerk

ITEM 8F
ATTACHMENT 3

Ordinance Summary

ORDINANCE SUMMARY

On August 20, 2024, the City Council of the City of Torrance adopted Ordinance No. ____ "An Ordinance of the City Council of the City of Torrance, California, Amending Section 95.1.6(C) entitled "Final Determination and Findings" of Chapter 5 "Conditional Use Permits", of Article 1 "General", of Division 9 "Land Use", of the Torrance Municipal Code relating to the mitigation of project related adverse impacts. This ordinance adds language to the Torrance Municipal Code that allows for monetary and non-monetary conditions such as annexing into a community facilities district, assessment district, or lawful financing district, to be imposed on conditional use permits, in order to mitigate project-related adverse impacts.

AGENDA ITEM NO. 8G

DATE: July 24, 2024
TO: Planning Commission
FROM: Michelle G. Ramirez, Community Development Director
SUBJECT: 22501 Hawthorne Boulevard
Modification (MOD24-00004) / Development Agreement

Consideration of Resolution No. 24-041 recommending that the City Council approve a Development Agreement with Gable House Development LLC, in conjunction with a Modification (MOD24-00004) to a previously approved Conditional Use Permit (CUP22-00001), on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard (APN 7368-001-015).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-041, which would recommend that the City Council approve a Development Agreement by and between the City and Gable House Development LLC, in conjunction with a Modification of the previously approved Conditional Use Permit (CUP22-00001) to add a condition of approval related to the aforesaid Development Agreement, for a previously approved mixed-use development with density bonus comprised of 218 apartment units and 12,000 square feet of commercial floor area, referred as the Gable House Development, on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard herein referred to as the “Project”.

EXECUTIVE SUMMARY

The Project applicant, Gable House Development LLC, has applied to the City to enter into a Development Agreement for the purpose of adjusting the Development Impact Fees (DIF) of the Project, as related to the inclusion of a covenant deed restriction to provide affordable housing for 17 very low-income households as well as for performing extra underground work along 226th Street and deferring the installation of electric vehicle (EV) spaces and electric vehicle supply equipment (EVSE), and approve a modification to their previously approved CUP22-00001 related to the aforesaid Development Agreement.

DISCUSSION

Environmental Determination

All impacts on the environment that may result from the Development Agreement and MOD24-00004 were already considered during the approval of the Project (which is not being modified by the Development Agreement), and thus the Development Agreement and MOD24-0004 are also Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15332 (In-Fill Development), and no further CEQA review is required.

Analysis

On August 17, 2022, the Planning Commission adopted Resolution No. 22-046 approving the Project, subject to the terms and conditions set forth in the Resolution. As part of this approval, the City determined that the Project, which is located on less than 5 acres and is consistent with its existing General Plan land use designation and zoning, was categorically exempt from review under the CEQA pursuant to the Class 32 (Infill) categorical exemption (14 Cal. Code Regs. (“CEQA Guidelines”) § 15332).

As a brief overview, the approved Project consists of a new mixed-use development comprised of 218 apartment units and 12,000 square feet of commercial floor area, on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard. The Project included a density bonus with related incentives and waivers, as provided for in the State Density Bonus Law (Government Code Section 65915 – 65918). The density bonus allowed for an increase to the maximum allowed residential units from 165 (base units) to 218 (53 density bonus units). In exchange for the increased density, as required under the State Density Bonus Law, a certain number of units must be reserved as affordable units with below market rate rents. Of the 218 units, 17 must be reserved as affordable units (10% of 165 base density units) reserved for very low income.

As part of the Project approval, the Project applicant is required to pay applicable development impact fees (DIFs) and school district fees to offset the incremental increase in the demand for public services. The City's DIF ordinance (Torrance Municipal Code (TMC) Division 2, Chapter 9) allows for certain reductions and credits for category related improvements being completed to be credited against the otherwise required project DIF obligations. Based on the 218 residential units and 12,000 square feet of commercial space, the Project would have a total DIF obligation of \$1,575,224.48. As the Project includes an affordable housing component, the Community Development Department has identified an "Affordable Unit" DIF reduction, which will reduce the total City DIF fees to \$1,462,636.58 (deducting the 17-deed restricted very low-income affordable units). Additionally, the Community Development Department has identified a potential credit against the Underground Utility Impact Fee Category that could be applied if the project spends at least \$397,600.54 for undergrounding along the 226th Street frontage. Per TMC 29.2.4(b), this Underground Utility Category credit is subject to approval of a Development Agreement by the Torrance City Council following Planning Commission review of said Development Agreement.

Additionally, as part of the approval, a minimum 10% of total parking spaces must be reserved for electric vehicle charging (EV), with no less than 28 EV spaces (26 residential use, 2 commercial use) fully operable at the time of occupancy and maintained for the duration of the Project. The placement and installation of EV spaces, electric vehicle supply equipment (EVSE), and electric vehicle charging stations (EVCS) must comply with the California Green Code and be identified on the building plan set for review prior to permit issuance.

The Project owner, Gable House Development LLC, has applied to the City to enter into a Development Agreement for the purpose of adjusting the DIF fees, taking into consideration the 17-deed restricted very low-income units, and to defer the mandatory installation of the EV spaces and EVSE. Section 65864 et seq. of the California Government Code authorizes cities to enter into Development Agreements with any person having a legal or equitable interest in real property for the development of such property.

City staff along with the City Attorney's Office have reviewed the proposed Development Agreement and find that it complies with all applicable City and State regulations governing Development Agreements including the objectives, policies and programs specified in the General Plan, the related existing entitlements, applicable zoning, and all other applicable plans, rules, regulations and official policies of City.

CONCLUSION

Staff recommends that Planning Commission consider and recommend to the City Council to adopt a Development Agreement with Gable House LLC for the purpose of adjusting the DIF (as related to the inclusion of a covenant deed restriction to provide affordable housing for 17 very low income households and for performing additional underground work along 226th Street), defer the installation of the EV spaces and EVSE, and approve a Modification to CUP22-00001 to add a condition of approval related to the aforesaid Development Agreement.

If approved, pursuant to TMC Section 29.2.4(a)(2), after adjusting for the inclusion of a covenant deed restriction to provide affordable housing for 17 very low-income households, the Project's total DIF Fees would be reduced to \$1,462,636.58. Additionally, the Project would receive a credit for the extra undergrounding work performed, which would further reduce the Project's total DIF Fee obligation to \$1,065,036.04 provided that, prior to the issuance of the certificate of occupancy for the Project's first occupied residential unit, Gable House LLC provides evidence to the City that it has expended no less than \$397,600.54 toward the extra undergrounding work. All DIF fee payments would be required, in a lump sum payment, on the date the first dwelling in the development or development phase receives its final building inspection, or certificate of occupancy, whichever occurs first.

Lastly, as related to the EV spaces and EVCS, a deferral of up to 12 months from the issuance of the final certificate of occupancy would be granted for the installation of the EV spaces. Regarding the installation of the EVSE, it must comply with the California Green Building Code. The 2019 California Green Building Code requires EV readiness to facilitate future installation of EVSE and the Project would be required to be designed to comply with the subject code before issuance of any certificate of occupancy.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the Project site and were mailed on July 11, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the Project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

ATTACHMENTS

1. Resolution No. 24-041
2. Notification Map

STAFF CONTACT

Michelle G. Ramirez, Community Development Director
MRamirez@TorranceCA.gov

ITEM 8G
ATTACHMENT 1
RESOLUTION NO. 24-041

PLANNING COMMISSION RESOLUTION NO. 24-041

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE A DEVELOPMENT AGREEMENT BETWEEN THE CITY OF TORRANCE AND GABLE HOUSE DEVELOPMENT LLC, IN CONJUNCTION WITH THE APPROVAL OF A MODIFICATION TO A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP22-00001), AS RELATED TO A MIXED-USE DEVELOPMENT WITH DENSITY BONUS COMPRISED OF 218 APARTMENT UNITS AND 12,000 SQUARE FEET OF COMMERCIAL FLOOR AREA, REFERRED AS THE GABLE HOUSE DEVELOPMENT, ON PROPERTY LOCATED IN THE H-DA2 ZONE AT 22501 HAWTHORNE BOULEVARD (APN 7368-001-015).

**DEVELOPMENT AGREEMENT / MOD24-00004:
GABLE HOUSE DEVELOPMENT LLC**

WHEREAS, the City of Torrance (City) is a charter city under California law with a recognized mandate to preserve, protect, and enhance the general health and welfare of its residents; and

WHEREAS, Section 65864 et seq. of the California Government Code authorizes cities to enter into Development Agreements with any person having a legal or equitable interest in real property for the development of such property; and

WHEREAS, Gable House Development LLC, a Delaware limited liability company (the Applicant), has applied to the City to enter into a Development Agreement, in conjunction with a Modification (MOD) 24-00004 of a previously approved Conditional Use Permit (CUP22-00001) to add a condition of approval related to the aforesaid Development Agreement, pertaining to a previously approved mixed-use development with density bonus comprised of 218 apartment units and 12,000 square feet of commercial floor area, on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard, Torrance, California herein referred to as the "Project"; and

WHEREAS, the Applicant is the owner of 22501 Hawthorne Boulevard, Torrance, California; and

WHEREAS, the Planning Commission, at a duly noticed public hearing, on August 17, 2022, approved CUP22-00001 and a Development Permit (DVP) 22-00001 in conjunction with the Project (Res. Nos. 22-046, 22-047) (the "Project"); and

WHEREAS, the Planning Commission, as part of the approval of CUP22-00001 and DVP22-00001 determined the Project was Categorically Exempt from CEQA per Guidelines Section 15332 – Infill Development; and

WHEREAS, the Development Agreement will not result in any impacts on the environment other than the impacts that would already result from the 2022 approval of the Project; and

WHEREAS, the Planning Commission of the City of Torrance, conducted a public hearing on July 24, 2024, to consider a recommendation that the City Council approve a Development Agreement by and between the City and the Applicant, which is attached hereto as "Exhibit A", in conjunction with an application for a Modification of the previously approved CUP22-00001 to add a condition of approval related to the aforesaid Development Agreement,

related to a previously approved mixed-use development with density bonus comprised of 218 apartment units and 12,000 square feet of commercial floor area, referred as the Gable House Development, on property located in the H-DA2 Zone at 22501 Hawthorne Boulevard.; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) State Government Code Section 65864 et seq. authorizes cities to enter into Development Agreements with any person having a legal or equitable interest in real property for the development of such property.
- b) Applicant has requested that the City consider entering into a Development Agreement. The Applicant initiated the development agreement process and all proceedings have been taken in accordance with the City and State's adopted procedures.
- c) The proposed Development Agreement complies with all applicable City and State regulations governing Development Agreements.
- d) Pursuant to Section 65867.5 of the Government Code, the proposed Development Agreement is consistent with the objectives, policies and programs specified in the General Plan, the related Existing Entitlements, applicable zoning, and all other applicable plans, rules, regulations and official policies of City.
- e) The proposed Development Agreement encourages investment in and commitment to comprehensive planning, efficiently utilizing resources at the least economic cost to the public.
- f) The proposed Development Agreement provides public benefits beyond those necessary to mitigate Project development, such as:
 - additional revenues to the City, through the generation of additional property tax revenue and processing fees to fund public schools and City infrastructures;
 - assistance in undergrounding of utilities along the 226th Street frontage of the Project;
 - the redevelopment of an aging commercial property with a mixture of new commercial and residential uses, wrapped around a seven-level parking structure, in a site plan and design that promotes, encourages and attracts new consumers, including those from outside the City; and
 - continuing the redevelopment of uses along the Hawthorne Boulevard Corridor that promote the viability of commercial and residential uses along the most prominent arterial in the City consistent with the goals and objectives of the Hawthorne Boulevard Corridor Specific Plan.
- g) The proposed Development Agreement will not be detrimental to the public health, safety and general welfare, or adversely affect the surrounding properties.
- h) The proposed Development Agreement strengthens the public planning process, encourages private participation in comprehensive planning, and reduces costs of development and government.
- i) The proposed Development Agreement is consistent with the conditions of previous and concurrent discretionary approvals for the subject development, including but not limited to the existing entitlements.

- j) The proposed Development Agreement contains all of the provisions, terms and conditions, which, in addition to those required by Government Code Section 65865.2, are deemed to be necessary and/or desirable to implement the City' s General Plan.
- k) The terms and conditions of the Development Agreement have undergone extensive review by the City and have been found to be fair, just and reasonable.
- l) Based upon the above findings, the proposed Development Agreement is consistent with public necessity, convenience, general welfare and good zoning practice .

WHEREAS, the Planning Commission of the City of Torrance by the following roll call vote APPROVED Planning Commission Resolution No. 24-041, subject to conditions:

| | |
|----------|----------------|
| AYES: | COMMISSIONERS: |
| NOES: | COMMISSIONERS: |
| ABSENT: | COMMISSIONERS: |
| ABSTAIN: | COMMISSIONERS: |

NOW, THEREFORE, the Planning Commission of the City of Torrance does hereby ordain as follows:

SECTION 1

The Planning Commission finds that the above recitals are true and correct and are incorporated herein by reference.

SECTION 2

The Planning Commission of the City of Torrance recommends that the City Council APPROVE and ADOPT the proposed Development Agreement between the City of Torrance and Gable House Development LLC.

SECTION 3

The Planning Commission of the City of Torrance finds, in its independent judgement, that all impacts on the environment that may result from the approval of the proposed Development Agreement were already considered during the approval of the Project (which is not being modified by this Agreement), and thus the approval of the proposed Development Agreement is also exempt from CEQA review pursuant to the Class 32 categorical exemption (CEQA Guidelines § 15332) and no further CEQA review is required. The Planning Commission further finds, in its independent judgement, that no unusual circumstances that create a reasonable possibility that the Project would result in a significant effect on the environment, and otherwise finds that no exceptions to the Class 32 exemption exist. No new or increased significant impacts would result from the approval of the Development Agreement when compared to the 2022 project approval.

SECTION 4

The Planning Commission of the City of Torrance hereby APPROVES MOD24-0004, filed by Gable House Development LLC, subject to one additional condition added to the previously approved CUP22-00001, as follows:

That the applicant or developer, the owner(s) of the project, or their successor(s) in interest, shall enter into a Development Agreement with the City of Torrance for the purpose of adjusting the Development Impact Fee (DIF) related to the inclusion of a covenant deed restriction to provide affordable housing for 17 very low income households, and for performing Extra Underground Work along 226th Street, and for

deferring the installation of Elective Vehicle Supply Equipment (EVSE), all to the satisfaction of the Community Development Director.

SECTION 5

The Secretary shall certify to the adoption of this resolution and shall transmit copies of same to the Applicant and the Torrance City Clerk.

Introduced, and adopted this 24th day of July 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 24th day of July 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

EXHIBIT A
DEVELOPMENT AGREEMENT
(Attached)

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

Clerk of the Council
City of Torrance
20 Civic Center Plaza M-30
P.O. Box 1988
Torrance, California 92702

SPACE ABOVE FOR RECORDER'S USE

[This Development Agreement is recorded at the request and for the benefit of the City of Torrance and is exempt from the payment of a recording fee pursuant to Government Code Sections 6103 and 27383.]

DEVELOPMENT AGREEMENT

by and between

THE CITY OF TORRANCE, A CALIFORNIA MUNICIPAL CORPORATION

and

GABLE HOUSE DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY

Dated: _____, 2024

**DEVELOPMENT AGREEMENT BETWEEN
THE CITY OF TORRANCE, A CALIFORNIA MUNICIPAL CORPORATION
AND
GABLE HOUSE DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY**

This Development Agreement (the “Agreement”) is entered into as of _____, 2024, by and between the CITY OF TORRANCE, a California municipal corporation (“City”), and GABLE HOUSE DEVELOPMENT LLC, a Delaware limited liability company (“Owner”). City and Owner shall be referred to within this Agreement together as the “Parties” and individually as a “Party.”

RECITALS

- A. The Parties intend that these Recitals are a substantive part of this Agreement and that all exhibits noted as being attached to this Agreement are incorporated within this Agreement.
- B. To strengthen the public planning process, encourage private participation in comprehensive planning, and reduce the economic risk of development, the Legislature of the State of California adopted the “Development Agreement Statute,” Sections 65864 et seq., of the California Government Code.
- C. The Development Agreement Statute authorizes the City to enter into development agreements with persons or entities having legal or equitable interests in real property to establish predictability for both City and the property owner in the development process.
- D. Owner owns that certain real property located at 22501 Hawthorne Boulevard in the City of Torrance (“Property”). The Property is more particularly described in the legal description attached to this Agreement as Exhibit A and depicted on the site plan attached to this Agreement as Exhibit B.
- E. Owner intends to develop on the Property:
 - A rental housing development to be known as Gable House Apartments of two hundred eighteen (218) rental housing units (“Housing Development”); and
 - A retail development with up to 12,000 square feet of commercial floor area (“Retail Development”).

Together, the Housing Development and the Retail Development, as implemented through the terms of this Agreement, will be referred to as the “Project.”

- F. Intracorp SW, LLC, applied to the City for approval of a Conditional Use Permit (“CUP”), a Development Permit (the “Development Permit”), and a Density Bonus with two incentives to implement the Project.

- G. On August 17, 2022 (the “Approval Date”), the City’s Planning Commission adopted Resolution No. 22-046 (the “Resolution”) approving the Project, subject to the terms and conditions set forth in the Resolution. As part of this approval, the City determined that the Project, which is located on less than 5 acres and is consistent with its existing General Plan land use designation and zoning, is categorically exempt from review under the California Environmental Quality Act (“CEQA”) pursuant to the Class 32 (Infill) categorical exemption (14 Cal. Code Regs. (“CEQA Guidelines”) § 15332).
- H. Owner is a successor to the interest of Intracorp SW, LLC, in the Property.
- I. This Agreement is intended to provide (i) certainty for Owner with respect to the applicable City laws, policies, and regulations that will govern the Project and (ii) the public benefit set forth in Section 4 below.
- J. This Agreement constitutes a current exercise of City’s police powers and provides predictability to Owner by vesting the permitted uses, density, intensity of use, and timing and phasing of development consistent with the “Applicable Rules,” as defined in Section 1.1b of this Agreement.
- K. Prior to the approval of this Agreement by the City Council, the City conducted those proceedings necessary to approve this Agreement to the extent required by the Development Agreement Statute, California Planning Law, CEQA, and the City’s Municipal Code.
- L. The City Council finds, in its independent judgement, that all impacts on the environment that may result from the approval of this Agreement were already considered during the approval of the Project (which is not being modified by this Agreement), and thus the approval of this Agreement is also exempt from CEQA review pursuant to the Class 32 categorical exemption (CEQA Guidelines § 15332) and no further CEQA review is required. The City Council further finds, in its independent judgement, that no unusual circumstances that create a reasonable possibility that the Project would result in a significant effect on the environment, and otherwise finds that no exceptions to the Class 32 exemption exist.
- M. In approving and entering into this Agreement, the City Council has determined that, as of the Effective Date (see Section 1.1n below), this Agreement and the Project are consistent with the Torrance General Plan and the applicable zoning for the Property.
- N. In approving and entering into this Agreement, the City Council has determined that this Agreement is in the best interests of the City and its residents and that the public health, safety, and welfare will be served by entering into this Agreement.

AGREEMENT

The Parties agree as follows:

1. DEFINITIONS AND EXHIBITS.

1.1. Definitions. The following definitions shall apply to this Agreement:

- a. **“Agreement”** means this Development Agreement, including any amendment approved pursuant to Government Code Section 65868.
- b. **“Applicable Rules”** means the Existing Land Use Regulations, Subsequent Land Use Regulations to which Owner has consented in writing, the Existing Development Approvals, and all Subsequent Development Approvals, as those terms are defined within this Agreement.
- c. **“Approval Date”** means the date on which the City Council adopted the Resolution approving the Project. That date is August 17, 2022.
- d. **“Assignee”** means a third party that acquires the Property from Owner through a Conveyance, as addressed in Section 2.7 below.
- e. **“Assignment and Assumption Agreement”** means the agreement described in Section 2.7b below which is provided by Owner to the City when notifying City that the Property has been conveyed to an Assignee. An Assignment and Assumption Agreement form is attached as Exhibit C.
- f. **“City”** means the City of Torrance, a California municipal corporation.
- g. **“City Council”** means the duly elected city council of the City of Torrance.
- h. **“City’s Reserved Powers”** means those regulations which the City may apply to the development of the Property and to which Owner’s Vested Right is subject, as listed in Section 3.3 of this Agreement.
- i. **“Conveyance”** means the sale, transfer, or assignment of a legal or equitable interest in some or all of the Property by Owner to a third party.
- j. **“CUP”** means the Conditional Use Permit for the Property approved by the City’s Planning Commission on August 17, 2022.
- k. **“Development Approvals”** means all non-legislative permits, entitlements, and other approvals requested or applied for by Owner and granted or issued by the City for the use of, construction upon, environmental review pursuant to local regulations, and/or development of the Property. “Development Approvals” can

be either “Existing Development Approvals” or “Subsequent Development Approvals,” both of which are defined below. “Development Approvals” include the following actions, including revisions, addenda, amendments, and modifications to these actions:

- Conditional use permits;
- Approvals under the Subdivision Map Act and/or the City’s subdivision code, such as tentative and final tract maps, certificates of compliance, lot line adjustments, and boundary adjustments;
- Conceptual site plan, site plan, landscape, and architectural/design review;
- Sewer, water, and other municipal connection permits and agreements;
- Grading, demolition, stockpiling, encroachment, and building permits;
- Street, drainage, utility, stormwater, landscape and other improvement permits and agreements;
- Building and occupancy permits; and
- Site plan and/or architectural review.

For purposes of this Agreement, the limited scope of “Development Approvals” *does not include* any City ordinance, resolution, code, rule, regulation, or official policy governing:

- The conduct of businesses, professions, and occupations;
- Special and general taxes and assessments;
- The control and abatement of nuisances;
- The granting of encroachment permits and the conveyance of rights and interests that provide for the use of or the entry upon public property; and
- The exercise of the power of eminent domain.

I. **“Development Exaction”** means any requirement of City imposed upon Owner with respect to the Project, including:

- The payment of fees, including Development Impact Fees, and/or the performance of other acts in order to lessen, offset, mitigate, or compensate for the impacts of development on the environment or other public interests;

- The dedication, reservation, or other conveyance of land, facilities, or property to the City, any other agency, or any third party; and
 - Any other obligation to pay money, construct facilities, provide land, or perform any other act in connection with or as a condition to the completion of the Project.
- m. **“Development Impact Fees”** means all taxes, fees, or other Development Exactions imposed by the City in connection with the development of land, including the application, processing, approval, and/or issuance of Development Approvals or Land Use Regulations. Development Impact Fees include Development Exactions subject to California’s Mitigation Fee Act. Other examples of Development Impact Fees include inspection, plan check, utility capacity, service, connection, library, cultural enrichment, park, flood control, stormwater management, mitigation, and public facilities fees.
- n. **“Development Permit”** means the Development Permit for the Property approved by the City’s Planning Commission on August 17, 2022.
- o. **“Effective Date”** means the date the ordinance approving this Agreement becomes effective pursuant to Government Code Section 36937.
- p. **“Existing Development Approvals”** means those Development Approvals which were approved by the City on or before the Approval Date, including the CUP and the Development Permit.
- q. **“Existing Land Use Regulations”** means all Land Use Regulations of the City in effect on the Approval Date. Changes to Land Use Regulations becoming effective on or after the Approval Date are not included within Existing Land Use Regulations unless the Parties agree to their inclusion in writing.
- r. **“Including”** and all variations of “include” are, in all instances, qualified by the phrase “but not limited to.”
- s. **“Land Use Regulations”** means all legislative actions (such as adopting or amending the City’s general plan, zoning, and/or specific plans) of the City governing the development and use of land, including the permitted use of land, the density or intensity of use, subdivision requirements, the maximum height and size of proposed buildings, the provisions for reservation or dedication of land for public purposes, and the design, improvement, and construction standards and specifications applicable to the development of the Property. “Land Use Regulations” can be either “Existing Land Use Regulations” or “Subsequent Land Use Regulations.”

For purposes of this Agreement, the limited scope of “Land Use Regulations” does not include any City ordinance, resolution, code, rule, regulation, or official policy governing:

- The conduct of businesses, professions, and occupations;
 - Special and general taxes and assessments;
 - The control and abatement of nuisances;
 - The granting of encroachment permits and the conveyance of rights and interests that provide for the use of or the entry upon public property; and
 - The exercise of the power of eminent domain.
- t. **“Mortgagee”** means a mortgagee of a mortgage, a beneficiary under a deed of trust or any other security-device lender.
- u. **“Notice”** means any notice required to be given pursuant to this Agreement. Addresses for Notices are set forth in Section 2.10 below.
- v. **“Notice of Conveyance”** means the Notice described in Section 2.7c below sent by Owner to the City notifying City that the Property has been conveyed to an Assignee. A Notice of Conveyance form is attached as Exhibit D.
- w. **“Owner”** means Gable House Development, LLC, a Delaware limited liability company, and its successors in interest to all or any part of the Property.
- x. **“Owner’s Vested Right”** means Owner’s guaranteed right to develop the Property as set forth in this Agreement, as more particularly provided in Section 3.1 below.
- y. **“Parties”** means the City and Owner. A “Party” means either the City or Owner.
- z. **“Periodic Review”** means the City’s review of Owner’s good faith compliance with the terms of this Agreement , as set forth in Section 5 below.
- aa. **“Project”** means the development of the Property with the Housing Development and the Retail Development, as implemented pursuant to this Agreement and Owner’s Vested Right.
- bb. **“Property”** means the real property described on Exhibit A and shown on Exhibit B to this Agreement.

- cc. **“Subsequent Development Approvals”** means those Development Approvals which were approved by the City after the Approval Date.
- dd. **“Subsequent Land Use Regulations”** means those Land Use Regulations which are both adopted and effective after the Approval Date and which are not incorporated within the definition of Existing Land Use Regulations.
- ee. **“Term”** means the time during which this Agreement is in effect as set forth in Section 2.4 below.

1.2. **Exhibits.** The following documents are attached to this Agreement:

Exhibit A – Legal Description of the Property.

Exhibit B – Map showing Property and its Location.

Exhibit C – Form Assignment and Assumption Agreement

Exhibit D - Form Notice of Conveyance.

Exhibit E – Description of 226th Street Frontage Utility Undergrounding

2. GENERAL PROVISIONS.

2.1. **Ownership of Property.** Owner represents and covenants that it owns fee simple title to, or has an equitable interest in, the Property.

2.2. **Agreement Runs with the Land / Recordation.** This Agreement shall be recorded with the Los Angeles County Recorder by the City Clerk within ten (10) days after it is approved by the City Council and shall run with the land. Except where released pursuant to the terms of this Agreement, any successor to some or all of Owner’s interest in the Property shall be subject to the benefits and burdens of this Agreement.

2.3. **City Council Findings.** The City Council finds that this Agreement:

- Is consistent with the City’s General Plan.
- Encourages investment in and commitment to comprehensive planning, efficiently utilizing resources at the least economic cost to the public.
- Provides assurance to Owner that upon approval of the Project, Owner may proceed with the Project in accordance with the Applicable Rules and will strengthen the public planning process, encourage private participation in comprehensive planning, and reduce the economic costs of development.

- Provides public benefits beyond those necessary to mitigate Project development.
- Strengthens the public planning process, encourages private participation in comprehensive planning, and reduces costs of development and government.
- Serves the best interests of the citizens of the City and the public health, safety, and welfare.

2.4. Term. The term of this Agreement (the “Term”) shall begin on the Effective Date and remain in effect for seven (7) years. The Term may be further modified by mutual written agreement of the City and Owner consistent with Government Code 65868. All references in this Agreement to the “Term” include any extensions of the Term.

2.5. Expiration. This Agreement shall automatically terminate and be of no further force or effect upon the occurrence of any of the following events:

- The expiration of the Term;
- The mutual written agreement of the Parties to terminate; or
- Completion of the Project in accordance with the terms of this Agreement, including the issuance of all occupancy permits and the satisfaction of Owner’s obligations under Section 4 below.

2.6. Effect of Termination.

- Specific Obligations.** Termination of this Agreement shall not relieve either Party of (i) any unperformed obligation that was required to have been performed prior to termination or (ii) any obligations specifically set forth as surviving this Agreement.
- Land Use Regulations and Development Approvals.** Termination of this Agreement shall not invalidate any Land Use Regulations then in effect or terminate any Development Approvals obtained prior to the date of termination.
- Status of Vested Rights.** Upon any termination, the extent of Owner’s vested rights, if any, with respect to the Property and the Project shall be determined not by this Agreement, but rather by applicable state, federal, and common laws based upon the circumstances existing on the date of termination.

2.7. Conveyance and Assignment.

- Right to Convey the Property.** Owner shall have the right to sell, transfer, or assign a legal or equitable interest in some or all of the Property (provided that no such partial transfer shall violate the Subdivision Map Act, Government Code

Section 66410, et seq.) to any third party (an "Assignee") at any time during the Term (a "Conveyance"). The City's consent to a Conveyance is not required and the City may not enjoin a Conveyance.

- b. Assumption of Obligations.** Pursuant to Section 2.2 above, Owner's obligations under this Agreement run with the land and shall be deemed automatically assumed by any Assignee upon completion of a Conveyance that includes a signed Assignment and Assumption Agreement either substantially in the form of Exhibit C or in another form mutually agreed upon by the City and Owner. If the Assignee has not signed an Assignment and Assumption Agreement approved by the City, both the Owner and the Assignee shall be jointly and severally liable for all the obligations set forth in this Agreement.
 - c. Notice of Conveyance.** Owner shall provide City with written Notice of any Conveyance no later than ten (10) business days after the Conveyance is complete (a "Notice of Conveyance"). The Notice shall be substantially in the form attached as Exhibit D, with modifications appropriate to the context of the specific Conveyance.
 - d. Release of Transferring Owner.** Upon receipt by the City of the Notice of a Conveyance and executed Assignment and Assumption Agreement, Owner automatically shall have no further obligations under this Agreement.
 - e. Subsequent Assignment.** Any subsequent Conveyance after an initial Conveyance shall be subject to the terms and conditions of this Section 2.7.
- 2.8. Utilities.** The Project shall be connected to all utilities necessary to provide adequate water, sewer, gas, electric, and other utility service to the Project, prior to the issuance of a certificate of occupancy for any portion of the Project.
- 2.9. Amendment or Cancellation of Agreement.** This Agreement may be amended or canceled in whole or in part only by written consent of the Parties in the manner provided for in Government Code Section 65868.
- 2.10. Notices.** As used in this Agreement, "Notice" includes the communication of notice, request, demand, approval, statement, report, acceptance, consent, waiver, appointment, or other communication required or permitted under this Agreement.

All Notices shall be in writing and shall be considered given either: (i) when delivered in person to the recipient named below, or (ii) on the date of delivery shown on the return receipt, after deposit in the United States mail in a sealed envelope as either registered or certified mail with return receipt requested, and postage and postal charges prepaid, and addressed to the recipient named below. All notices shall be addressed as follows:

City, Owner, or the Parties' attorneys may change their respective address for Notice by giving Notice in writing to each of the other names and addresses listed above. Thereafter, Notices, demands, and correspondence shall be addressed and transmitted to the new address.

If to Owner: Gable House Development LLC
895 Dove Street, Suite 400
Newport Beach, CA 92660
Attention: Joe Francis

With a copy to: Tim Paone
Cox, Castle & Nicholson, LLP
3121 Michelson Drive
Suite 200
Irvine, California 92612

If to City: City of Torrance
3031 Torrance Boulevard
Torrance, California 90503
Attention: Director of Community Development

With a copy to: Office of the City Attorney
City of Torrance
3031 Torrance Boulevard
Torrance, California 90503

3. DEVELOPMENT OF THE PROPERTY.

3.1. Owner's Vested Right. During the Term, Owner shall have a vested right ("Owner's Vested Right") to complete development of the Project to the full extent and in the manner provided by the Existing Land Use Regulations, Subsequent Land Use Regulations to which Owner has consented in writing, the Existing Development Approvals, and all Subsequent Development Approvals (the "Applicable Rules"). The permitted uses of the Property, the density and intensity of use, the maximum height and size of proposed buildings, and provisions for reservation and dedication of land for public purposes shall be those set forth in the Applicable Rules. Owner's Vested Right is subject to City's Reserved Powers (Section 3.3 below) and the Project remains subject to all requirements of CEQA.

3.2. Effect of Agreement on Subsequent Development Approvals. Except as otherwise set forth in this Agreement, the City shall process any Subsequent Development Approval requested by Owner in accordance with the Applicable Rules and this Agreement. In acting upon Subsequent Development Approvals, City may exercise its

discretion in accordance with the Applicable Rules, provided it does not use its discretion to limit Owner's Vested Right. The City is not obligated to approve any Subsequent Development Approval that modifies the density and intensity of use, the maximum height and size of proposed buildings, and provisions for reservation and dedication of land for public purposes set forth in the Existing Development Approvals. Except where the Reserved Powers or this Agreement expressly permit otherwise, or where a proposed Subsequent Development Approval would modify the density and intensity of use, the maximum height and size of proposed buildings, and provisions for reservation and dedication of land for public purposes set forth in the Existing Development Approvals, neither the Project nor the Property shall be subject to any changes in the Applicable Rules, including those related to the imposition of any additional conditions, exactions, dedications, fees, or regulations. Except where the Reserved Powers or this Agreement expressly permit otherwise, or where a proposed Subsequent Development Approval would modify the density and intensity of use, the maximum height and size of proposed buildings, and provisions for reservation and dedication of land for public purposes set forth in the Existing Development Approvals, Development Impact Fees and Development Exactions imposed by the City with respect to the Project shall be limited to those in effect as of the Approval Date at the rate in effect as of the Approval Date.

- a. *Division of the Property.* City recognizes that Owner's business interests may cause Owner at some time in the future to seek a division of the Property, including a division of the Property to allow the Retail Development to occupy a separate legal lot/parcel from the Housing Development. Without limiting the generality of this Section 3.2, nothing in this Agreement, the CUP, or the Development Permit shall be interpreted and/or applied to limit Owner's ability to apply for and receive approval of a division of the Property in any manner permitted by law, including the Subdivision Map Act and the City's zoning and subdivision ordinances.

3.3. City's Reserved Powers. Notwithstanding any other provision of this Agreement, Owner's Vested Right and the development of the Property shall be subject to the following regulations ("City's Reserved Powers"):

- a. **Processing Fees and Charges.** All processing fees and charges required by City and applied uniformly in connection with new construction citywide, including Development Approval application fees, building permit fees, plan-check and inspection fees, and fees for monitoring compliance with any Development Approval. Processing fees and charges do not include Development Impact Fees and Development Exactions.
- b. **Procedural Regulations.** Procedural regulations relating to hearing bodies, petitions, applications, notices, findings, records, hearings, reports, recommendations, appeals, and any other matter of procedure.

- c. **Building Codes and Standards.** Regulations, policies, and rules governing engineering and construction standards and specifications applicable to public and private improvements, including, , all uniform codes adopted by the City and any local amendments to those codes adopted by the City, including, , the City's Building Code, Plumbing Code, Mechanical Code, Electrical Code, and Grading Ordinance.
- d. **Health and Safety Regulations.** Regulations reasonably necessary to protect persons from conditions dangerous to their health and/or safety, provided that the regulation constitutes a valid exercise of the City's police power, is based upon findings of necessity established by a preponderance of evidence, and is applied and enforced in a uniform, consistent, and nondiscriminatory manner so as not to primarily or disproportionately impact the Project. To the extent possible, any such regulations shall be applied and construed so as to provide Owner with the rights and assurances provided under this Agreement.
- e. **No Conflict.** Regulations that are not in material conflict with this Agreement or the Applicable Rules and do not limit or hinder Owner's ability to complete development of the Project to the full extent and in the manner provided by the Applicable Rules. Any law or regulation, whether adopted by administrative action, legislative action, initiative, or otherwise, which adversely impacts the timing of development of the Property shall be deemed to materially conflict with the Applicable Rules and shall not be applicable to the development of the Property.
- f. **End Users.** Laws of the City that impose, levy, alter, or amend fees, charges, or Land Use Regulations relating solely to the activities of consumers or end users of the Property after completion of the Project, including trash can placement, service charges, and limitations on vehicle parking, so long as those later enactments are applied and enforced in a uniform, consistent, and non-discriminatory manner and do not impair Owner's Vested Right.
- g. **Regulations by Other Public Agencies.** Regulations of other public agencies not within the control of the City, but which possess authority to regulate aspects of the Project separately from the City. Such regulations include the lawful imposition of Development Impact Fees by other public agencies which are collected by the City.

3.4. Modification or Suspension by State or Federal Law. The Property and/or the Project may be subject to state or federal laws enacted after the Approval Date which prevent or preclude compliance with one or more provisions of this Agreement. Upon discovery of such a subsequently enacted federal or state law, City or Owner shall provide the other Party with written Notice containing a copy of the state or federal law or regulation and a written explanation of the legal or regulatory conflict created.

Within ten (10) business days after receipt of that Notice, City and Owner shall meet and confer in good faith in a reasonable attempt to modify this Agreement, as necessary, to comply with such federal or state law or regulation. In such negotiations, City and Owner agree to preserve the terms of this Agreement and Owner's Vested Right to the maximum feasible extent while resolving the conflict. City agrees to cooperate with Owner in resolving the conflict in a manner which minimizes any financial impact to Owner. At Owner's sole option, the term of this Agreement may be extended for the duration of the period during which such new law precludes compliance with the provisions of this Agreement.

- 3.5. Timing of Development.** Because the California Supreme Court held in *Pardee Construction Co. v. City of Camarillo*, 37 Cal. 3d 465 (1984), that the failure of the parties in that case to provide for the timing of development resulted in a later-adopted initiative restricting the timing of development to prevail over the parties' agreement, it is the specific intent of the Parties to provide for the timing of the Project in this Agreement. To do so, the Parties provide that Owner shall have the right, but not the obligation, to complete the Project in such time as Owner deems appropriate in its sole subjective business judgment.
- 4. PUBLIC BENEFIT.** The payment of development impact fees ("DIF Fees") by development projects in the City is governed by Chapter 9 of Division 2 of the Torrance Municipal Code ("Chapter 9"). The public benefit to be provided to the City by this Agreement is Owner's expending of a minimum of \$397,600.54 toward the undergrounding of utilities along the 226th Street Frontage, as that work is described more particularly in Exhibit E (the "Extra Undergrounding Work"). The Extra Undergrounding Work is not otherwise required by the City. As a result, and consistent with Chapter 9, the Project's total DIF Fees have been calculated as follows:

 - 4.1. Initial DIF Fees.** It is the City's position that before calculating for adjustments pursuant to Chapter 9 and for Extra Undergrounding Work, the Project's total DIF Fees are \$1,575,224.28.
 - 4.2. Adjustment for Affordable Units.** Pursuant to Section 29.2.4(a)(2) of Chapter 9, after adjusting for the inclusion of a covenant deed restriction to provide affordable housing for 17 very low income households, the Project's total DIF Fees are reduced to \$1,462,636.58.
 - 4.3. Adjustment for the Extra Undergrounding Work.** The Project will receive a credit for the Extra Undergrounding Work performed by Owner that will further reduce the Project's total DIF Fee obligation to \$1,065,036.04 provided that, prior to the issuance of the certificate of occupancy for the Project's first occupied residential unit, Owner provides evidence to the City that it has expended no less than \$397,600.54 toward the Extra Undergrounding Work.

- 4.4. Final DIF Fee.** The Project’s final and total DIF Fee shall be \$1,065,036.04, unless Owner does not expend at least \$397,600.54 toward the Extra Undergrounding Work. If Owner does not make that expenditure, then the Project’s final and total DIF Fee shall be \$1,462,636.58.
- 4.5. Owner’s Option.** The choice between (i) performing the Extra Underground Work and receiving the credit described in Section 4.3 above or (ii) paying a final DIF Fee of \$1,462,636.58 as described in Section 4.4 shall be Owner’s. Either way, Owner shall be deemed in compliance with this Agreement.
- 4.6. Timing of DIF Fee Payment.** All DIF Fee payments must be paid, in a lump sum payment, on the date the first dwelling in the development or development phase receives its final building inspection, or certificate of occupancy, whichever occurs first.
- 4.7. Timing of Installation of Electric Vehicle Supply Equipment.** Condition of Approval No. 16 of the Resolution uses the phrase “at the time of occupancy,” which could be interpreted in different ways. For purposes of clarification of Condition of Approval No. 16, “at the time of occupancy” shall be deemed to mean that the electric vehicle charging (EV) spaces, with no less than 28 EV spaces (26 residential use, 2 commercial use) must be fully operable within 12 months from issuance of final certificate of occupancy for the Project, irrespective of the status of the overall occupancy of the Project at that time. As related to the installation of the electric vehicle supply equipment (EVSE), per Condition of Approval No. 16, the EVSE must comply with the California Green Building Code. The 2019 California Green Building Code requires EV readiness to facilitate future installation of EVSE and the Project will need to be designed to comply with the subject code before issuance of any certificate of occupancy.
- 5. REVIEW FOR COMPLIANCE.** Pursuant to Government Code Section 65865.1, the City shall review this Agreement annually in order to ascertain the good faith compliance of Owner with the terms of this Agreement (“Periodic Review”). Once Owner has met its obligations under Section 4 above, Owner’s good faith compliance with this Agreement shall be fully satisfied. Because of the minimal reporting required for the Periodic Review, an administrative fee will not be charged to Owner for the conduct of the Periodic Review.
- 6. DEFAULT AND REMEDIES.** Should either Party fail to meet its material obligations under this Agreement, the other Party shall be entitled to seek mandatory injunctive relief from a court of competent jurisdiction ordering the City to fulfill its obligations under this Agreement.
- 6.1. No Monetary Damages.** Neither Owner nor the City would have entered into this Agreement if it were to be liable in monetary damages with respect to this Agreement and, therefore, covenant not to sue each other for monetary damages.

7. LITIGATION.

7.1. Third Party Litigation Concerning Agreement. If a third party brings a claim, lawsuit, action, or any other proceeding (collectively, a “Claim”) against the City challenging the approval of, or otherwise arising under, this Agreement, then:

- If Owner is a party to the Claim proceeding, Owner may participate in that proceeding on its own behalf, at its own expense, and with counsel of its own choosing.
- In addition, Owner shall, at its own expense, fully defend, indemnify, and hold harmless City, its agents, officers and employees from that Claim. City shall have the option to retain its own counsel, of its own choosing, to represent the City against the Claim and the City’s reasonable defense costs for its separate counsel shall be included in Owner’s indemnity obligation. City shall promptly notify Owner of any Claim. City shall cooperate in the defense of the Claim and, in its discretion, may choose to actively participate in that defense. This section 7.1 shall survive termination of this Agreement.

8. MORTGAGEE PROTECTION. Owner may encumber in favor of a Mortgagee (Section 1.1s) some or all of the Property or improvements on the Property with a mortgage, deed of trust, or other security device (collectively, a “Mortgage”) securing financing. A Mortgagee shall be entitled to the following:

- This Agreement shall not, in any manner, defeat, render invalid, diminish or impair the lien of any Mortgage on the Property made in good faith and for value, unless otherwise required by law.
- If City receives a request from a Mortgagee for a copy of any notice of default given to Owner under this Agreement, City shall provide a copy of that notice to the Mortgagee within ten (10) days of sending the notice of default to Owner. The Mortgagee shall have the right, but not the obligation, to cure the default during any remaining cure period.
- A Mortgagee who comes into possession of some or all of the Property through foreclosure or deed in lieu of foreclosure shall do so subject to the terms of this Agreement.

9. COMPLIANCE WITH LAWS. Owner shall carry out the design, construction and operation of the Project and all offsite improvements required by this Agreement or otherwise in conformity with all applicable laws, regulations, and rules of the governmental agencies having jurisdiction, including without limitation City zoning and development standards, building, plumbing, mechanical and electrical codes, and all other provisions of the Municipal Code, and all applicable disabled and handicapped access requirements, including without limitation the Americans With Disabilities Act, 42 U.S.C. Section 12101, et seq., Government

Code Section 4450, et seq., Government Code Section 11135, et seq., the Unruh Civil Rights Act, Civil Code Section 51, et seq., and the California Building Standards Code, Health and Safety Code Section 18900, et seq., and all federal, state, and local labor laws and regulations, including, without limitation, if applicable, the requirements to pay prevailing wages under federal law (the Davis Bacon Act, 40 U.S.C. Section 3141, et seq., and the regulations promulgated thereunder set forth at 29 CFR Part 1 (collectively, "Davis Bacon")) and California law (Labor Code Section 1720, et seq.).

Owner shall be solely responsible, expressly or impliedly, and legally and financially, for determining and effectuating compliance with all applicable federal, state and local public works requirements, prevailing wage laws, and labor laws and standards, and City makes no representation, either legally and/or financially, as to the applicability or non-applicability of any federal, state and local laws to the Project, either onsite or offsite. Owner expressly, knowingly and voluntarily acknowledges and agrees that City has not previously represented to Owner or to any representative, agent or affiliate of Owner, or its contractor or any subcontractor(s) for the construction or development of the Project or any Project Component, in writing or otherwise, that the work and construction undertaken pursuant to this Agreement is (or is not) a "public work," as defined in Section 1720 of the Labor Code or under Davis Bacon.

In addition to any other Owner indemnifications of City set forth in Section 7 this Agreement, Owner shall indemnify, protect, pay for, defend) and hold harmless City from and against any and all loss, liability, damage, claim, cost, expense results or arises in any way from any of the following: (i) the noncompliance by Owner with any applicable local, state and/or federal law or regulation, including, without limitation, any applicable federal and/or state labor laws or regulations (including, without limitation, if applicable, the requirement to pay state and/or federal prevailing wages); (ii) the implementation of Section 1781 of the Labor Code and/or of Davis Bacon, as the same may be amended from time to time, or any other similar law or regulation; and/or (iii) failure by Owner to provide any required disclosure or identification as required by Labor Code Section 1781 and/or by Davis Bacon, as the same may be amended from time to time, or any other similar law or regulation. Owner shall bear all risks of payment or non-payment of prevailing wages for the Project under applicable federal, state and local law or regulation and/or the implementation of Labor Code Section 1781 and/or by Davis Bacon, as the same may be amended from time to time, and/or any other similar law or regulation. City shall have the option to retain its own counsel, of its own choosing, to represent the City, and the City's reasonable defense costs for its separate counsel shall be included in Owner's indemnity obligation under this Section 9.

10. MISCELLANEOUS PROVISIONS.

10.1. Entire Agreement. With respect to the subject matter of this Agreement, this Agreement represents the entire agreement between the Parties and supersedes all prior agreements and understandings, whether oral or written, between the Parties.

- 10.2. Severability.** If any part of this Agreement is declared invalid for any reason, that invalidity shall not affect the validity of the rest of this Agreement, provided that the Owner's Vested Right is not materially diminished.
- 10.3. Interpretation and Governing Law.** Any dispute pertaining to this Agreement shall be governed and interpreted in accordance with the laws of the State of California. This Agreement shall be construed as a whole according to its fair language and common meaning to achieve the objectives and purposes of the Parties. The Parties have been represented by counsel in the negotiation and preparation of this Agreement. Therefore, the rule of construction that ambiguities are to be resolved against the drafting party shall not be employed in interpreting this Agreement.
- 10.4. Time of Essence.** Time is of the essence in the performance of the provisions of this Agreement as to which time is an element.
- 10.5. Waiver.** There are no implied waivers. All waivers of performance must be in a writing signed by the Party granting the waiver. Failure by a Party to insist upon the strict performance of any provision of this Agreement, irrespective of the length of time for which such failure continues, shall not be a waiver of the right to demand strict compliance with the same or any other provision of this Agreement in the future.
- 10.6. Force Majeure.** Neither Party shall be deemed to be in default where failure or delay in performance of any of its obligations under this Agreement is beyond the Party's control. Examples of such events include acts of nature (such as fire, mud, rain, floods, earthquakes, pandemics), enactment of new conflicting federal or state laws or regulations (such as the listing of a species as threatened or endangered), judicial actions (such as the issuance of restraining orders and injunctions), or damage to work in process by reason of riots, strikes, significant vandalism, or other similar occurrences. If any such events shall occur, both the time for performance by the delayed Party and the Term shall be extended for a period equal to the time of the delay, provided that the Term shall not be extended for more than three (3) years.
- 10.7. Counterparts.** This Agreement may be signed by the Parties in counterparts, which shall be considered together as if the Parties had signed the same document.
- 10.8. Jurisdiction and Venue.** Any action at law or in equity arising under this Agreement shall be filed and tried in the Superior Court of the County of Los Angeles, State of California. The Parties waive all right to a change of venue to any other court.
- 10.9. Project as a Private Undertaking.** The Project is a private development. No agency, partnership, joint venture, or other relationship of any kind is formed by this Agreement. The only relationship between the Parties is that of a government entity regulating the development of private property and the owner of such property.

10.10. Further Actions and Instruments. The Parties shall cooperate with and provide reasonable assistance to each other to implement the terms of this Agreement, including through the signing and filing of documents, applications, and other actions as needed.

10.11. Authority to Execute. The person or persons executing this Agreement on behalf of each Party warrants and represents that he/she has the authority to execute this Agreement on behalf of that Party and to bind that Party to the terms of this Agreement.

The Parties have executed this Agreement on the dates indicated below their respective signatures.

OWNER:
GABLE HOUSE DEVELOPMENT LLC,
a Delaware limited liability company

By: _____

Name: _____

Title: _____

CITY:
CITY OF TORRANCE,
a municipal corporation of the State of
California

Mayor George Chen

APPROVED AS TO FORM:
PATRICK Q. SULLIVAN, City Attorney

ATTEST:

By: _____
Tatia Y. Strader, Assistant City Attorney

Rebecca Poirier, City Clerk

NOTARIZATIONS

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of _____

On _____, 2024 before me, _____, Notary Public (here insert name and title of officer), personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature _____

(Seal)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of _____

On _____, 2024 before me, _____, Notary Public (here insert name and title of officer), personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.

Signature _____

(Seal)

EXHIBIT A
(Legal Description of the Property)

EXHIBIT B
(Map of the Property)

EXHIBIT C

(Form Assignment and Assumption Agreement)

**ASSIGNMENT AND ASSUMPTION AGREEMENT
PURSUANT TO DEVELOPMENT AGREEMENT BETWEEN
THE CITY OF TORRANCE AND GABLE HOUSE DEVELOPMENT, LLC
WITH RESPECT TO THE GABLE HOUSE DEVELOPMENT**

This Assignment and Assumption Agreement (the "Agreement") is entered into as of _____, 20__, by Gable House Development, LLC ("Gable House"), a California limited liability company, and _____ ("Assignee").

RECITALS

- A. This Agreement pertains to the Development Agreement (the "Development Agreement") entered into by and between the City of Torrance (the "City") and Gable House on or about _____, 2024, with respect to the housing development located at 22501 Hawthorne Boulevard in the City (the "Property").
- B. This Agreement is entered into pursuant to Section 2.7b of the Development Agreement.
- C. Gable House intends to convey (the "Assignment") to _____ ("Assignee") that portion of the Property (the "Transferred Property").
- D. In connection with the Assignment, Assignee has agreed to assume all remaining rights and obligations of "Owner" set forth within the Development Agreement.
- E. This Agreement is intended to fulfill the requirements of Section 2.7b of the Development Agreement.

AGREEMENT

Gable House and Assignee agree as follows:

1. Legal Description. The legal description of the Transferred Property is as follows (or, alternatively, "is set forth in Exhibit A to this Agreement"):

[Insert description of Transferred Property by tract, parcel, and/or lot number or attach Exhibit A]

2. Assignment of Rights and Delegation of Obligations. By this Agreement and effective upon the date upon which the Assignment is complete, Gable House assigns to Assignee all of its rights under the Development Agreement and delegates to Assignee all duties and obligations under the Development Agreement.

3. Assumption of Obligations. By this Agreement and effective upon the date upon which the Assignment is complete, Gable House conveys to Assignee and Assignee expressly and unconditionally assumes all duties and obligations of Gable House under the Development Agreement remaining to be performed with respect to the Transferred Property.
4. Execution. Gable House and Assignee have signed this Agreement on the dates indicated below next to their respective signatures.

GABLE HOUSE:

Gable House Development, LLC,
a California Limited Liability Company

By: _____
Name: _____
Its: _____
Date: _____

Assignee:

By: _____
Name: _____
Its: _____
Date: _____

EXHIBIT D

(Form Notice of Conveyance)

**NOTICE OF CONVEYANCE OF PROPERTY
SUBJECT TO THE DEVELOPMENT AGREEMENT BETWEEN THE
CITY OF TORRANCE, A CALIFORNIA MUNICIPAL CORPORATION
and**

GABLE HOUSE DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY

This Notice of Conveyance (“Notice”) is provided to the City of Torrance, a California municipal corporation (the “City”) by Gable House Development, LLC, a Delaware limited liability company (“Owner”) as of the date indicated above Owner’s signature at the end of this Notice.

Owner and the City entered into a Development Agreement dated _____, 2024 (the “Development Agreement”) for real property located at 22501 Hawthorne Boulevard in the City of Torrance (“Property”). The Property is more particularly described in Exhibit A and depicted on Exhibit B.

This Notice is intended to serve as the notice to the City required by Section 2.7c of the Development Agreement. Owner is providing notice to the City that:

1. Owner has conveyed the Property (*alternatively, “a portion of the Property, as described below”*) (the “Conveyance”) to _____ (“Assignee”). The Conveyance was completed and title to the (*alternatively, “conveyed portion of the”*) Property was transferred on _____, 20__.
2. In connection with the Conveyance and pursuant to Section 2.7 of the Development Agreement, Owner’s obligations under the Development Agreement have been assumed by the Assignee without further action by Owner, the Assignee, or the City.

Pursuant to Section 2.7d of the Development Agreement, upon completion of the Conveyance, Owner is relieved of all further obligations under the Development Agreement (*alternatively, “as to the conveyed portion of the Property”*).

OWNER:

Gable House Development, LLC,
a Delaware limited liability company

Date: _____

By: _____

Name: _____

Authorized Signatory

EXHIBIT E

(Description of 226th Street Frontage Utility Undergrounding)

ITEM 8G
ATTACHMENT 2

NOTIFICATION MAP

