

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
OCTOBER 16, 2024
REGULAR MEETING
6:30 P.M. IN THE LEROY J. JACKSON COUNCIL CHAMBER
AT 3031 TORRANCE BL.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

2. FLAG SALUTE: Commissioner Obejas

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, October 10, 2024.

4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: None

7. ADMINISTRATIVE MATTERS

7A. Community Development – Consider Approval of EXT24-00003: CALLAND ENGINEERING, INC. (OMDD HOLDINGS, LLC)

Recommendation of the Community Development Director that Planning Commission consider approval of a Time Extension for a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard. This item is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3). (Res. No. 24-061)

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00016: SHAKE SHACK CALIFORNIA LLC (2207 LINCOLN BELL LLC)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Conditional Use Permit to allow beer and wine service for an existing restaurant, on property located in the C-5 Zone at 1875 190th Street. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-062)

8B. Community Development – Conduct a Public Hearing to Consider Approval of MOD24-00005: EUGENE YOO OF GOODNEWS FOOD CORPORATION (KL PLAZA, LLC C/O FIRST CHOICE REALTY & MANAGEMENT COMPANY INC.)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Modification of a previously approved Conditional Use Permit (CUP23-00022) to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C-3/PP Zone at 2814 Sepulveda Boulevard. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-063)

8C. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00020: SONY HONDA MOBILITY OF AMERICA INC. (TORRANCE IE PROPERTY OWNER, LP)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Conditional Use Permit to allow the operation of an automobile sales and repair facility, on property located in the M-2 Zone at 19301 Prairie Avenue. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-064)

8D. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00018: ERTIOL KOCI (DEL AMO FASHION CENTER OPERATING COMPANY, LLC)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Conditional Use Permit to allow the operation of an indoor commercial recreation facility at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-065)

8E. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00010: RICKY DE LA ROSA (TYRON JOH FABIE)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Conditional Use Permit to allow a three-unit multiple family residential development by adding two units to the existing single-family residence onsite, on property located in the C-1 Zone at 2313 Torrance Boulevard. This project is Categorically Exempt from CEQA per Guidelines Section 15303 – New Construction. (Res. No. 24-066)

8F. Community Development – Conduct a Public Hearing to Consider Approval of PRE24-00008: ERIC AND TEMMY CHEUNG TRUSTEES

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider approval of a Precise Plan of Development to allow first and second story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 23106 Carlow Road. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 24-067)

8G. Community Development – Conduct a Public Hearing to Consider Approval of LUS24-00003: CITY OF TORRANCE (SOLAR AND ELECTRIC VEHICLE SUPPLY EQUIPMENT)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing to consider proposed amendments to the Torrance Municipal Code pertaining to solar energy systems and expedited permitting process for Electric Vehicle Supply Equipment (EVSE) Citywide. This item is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15060(c)(3) and 15061(b)(3).

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, November 6, 2024, at 6:30 p.m. in the Council Chamber.

AGENDA ITEM NO. 7A

DATE: October 16, 2024

TO: Planning Commission

FROM: Brice Kennedy, Planning Assistant

SUBJECT: 812 Crenshaw Boulevard (APN 7354-011-041)
Time Extension (EXT24-00003)

Consideration of a Time Extension for a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission consider adoption of Resolution No. 24-061 for approval of a Time Extension for a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard.

EXECUTIVE SUMMARY

The project applicant, CalLand Engineering, Inc. (OMDD Holdings, LLC), requests approval by the Planning Commission to allow a one year extension of a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard.

The Subdivision Map Ordinance of the City of Torrance, in relation to the Subdivision Map Act of the State of California, are applicable to the project, and therefore require approval of the following:

- Time Extension (EXT) to allow an extension of a previously approved tentative parcel map or tentative subdivision map.

Staff has thoroughly reviewed the project and determined the project complies with the provisions of the Subdivision Map Ordinance of the City of Torrance, in relation to the Subdivision Map Act of the State of California, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The time extension request is covered by the common sense exemption that the California Environmental Quality Act (CEQA) does not apply where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment per CEQA Guidelines Section 15061(b)(3).

Background

In 2021, the Planning Commission approved a Conditional Use Permit (CUP21-00007) to allow a two-unit condominium development, in conjunction with a Division of Lot (DIV21-00003) for condominium purposes, on property located at 812 Crenshaw Boulevard. In 2023, the Planning Commission approved a Time Extension (EXT23-00007) that allowed a one year extension of DIV21-00003 originally set to expire October 6, 2024.

The subject Time Extension request was received by the Community Development Department on July 5, 2024, well before the October 6, 2024 expiration date of the previous Time Extension (EXT23-00007). The subject request was originally scheduled for the October 2, 2024 Planning Commission meeting; however, due to lack of a quorum, that meeting did not occur and the item was rescheduled for the October 16, 2024 Planning Commission.

Time Extension

In accordance with Torrance Municipal Code Section 92.29.13, the Planning Commission may grant a time extension not to exceed a two year period for a previously approved tentative parcel map or tentative subdivision map. In granting an extension, new conditions may be added and existing conditions may be revised that are specific to the approved tentative parcel map or tentative subdivision map.

As mentioned, the Planning Commission had previously approved a one year extension of DIV21-00003, which had an expiration date of October 6, 2024. Therefore, the Planning Commission may grant a one year extension of DIV21-00003 that would expire on October 6, 2025.

The applicant notes the Tentative Parcel Map No. 83443 for DIV21-00003 in the City of Torrance, California has been approved by the County of Los Angeles Public Works and is currently pending tax clearance. The map would not be recorded until after the original expiration date of DIV21-00003 on October 6, 2024; therefore, the applicant is requesting additional time in order for the map to be approved and the parcel map to be recorded.

CONCLUSION

Staff recommends approval of the subject request (EXT24-00003) to extend the approval of DIV21-00003 for a one year period to October 6, 2025.

ATTACHMENTS

- 1. Resolution No. 24-061
- 2. Letter of Request

STAFF CONTACT

Brice Kennedy, Planning Assistant
BKennedy@TorranceCA.gov

ITEM 7A
ATTACHMENT 1
RESOLUTION NO. 24-061

PLANNING COMMISSION RESOLUTION NO. 24-061

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A TIME EXTENSION FOR A PREVIOUSLY APPROVED DIVISION OF LOT (DIV21-00003) FOR CONDOMINIUM PURPOSES ON PROPERTY LOCATED WITHIN THE TORRANCE TRACT OVERLAY IN THE R-2 ZONE AT 812 CRENSHAW BOULEVARD.

EXT24-00003: CAL LAND ENGINEERING, INC. (OMDD HOLDINGS LLC)

WHEREAS, the Planning Commission of the City of Torrance at its meeting of October 16, 2024 considered an application filed by Cal Land Engineering, Inc. (OMDD Holdings LLC) to allow a Time Extension for a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard; and

WHEREAS, due to lack of a quorum, the Planning Commission of the City of Torrance did not meet on October 2, 2024. The time extension request for Tentative Parcel Map No. 83443 for DIV21-00003 filed by Cal Land Engineering, Inc. (OMDD Holdings LLC) was received by the Community Development Department prior to the expiration date of October 6, 2024 and is considered for a time extension under the Subdivision Map Act, and

WHEREAS, the time extension request is covered by the common sense exemption that the California Environmental Quality Act (CEQA) does not apply where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment per CEQA Guidelines Section 15061(b)(3); and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** EXT24-00003, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that EXT24-00003 filed by Cal Land Engineering, Inc. (OMDD Holdings LLC) to allow a Time Extension for a previously approved Division of Lot (DIV21-00003) for condominium purposes, on property located within the Torrance Tract Overlay in the R-2 Zone at 812 Crenshaw Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That this Time Extension is valid until October 6, 2025; and (Planning)
2. That all conditions of DIV21-00003 as listed in Planning Commission Resolution No. 21-053 shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October, 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 7A
ATTACHMENT 2
LETTER OF REQUEST

Cal Land Engineering, Inc.
dba Quartech Consultants
Geotechnical, Environmental, and Civil Engineering

May 29, 2024

City of Torrance
Community Development Department
Planning Division
3031 Torrance Boulevard
Torrance, CA 90503

Attention: Ms. Chui Wong

Subject: Application of Extension, 812 Crenshaw Boulevard, Parcel Map No. 83443, Torrance, California

Ladies and Gentlemen:

This letter is to apply the extension of the Tentative Parcel Map No. 83443 in the City of Torrance, California. Cal Land Engineering, Inc. prepared the parcel map. This map is approved by the County of Los Angeles Public Works and pending on the tax clearance. This extension will provide sufficient time for the map to be approved and parcel map to be recorded

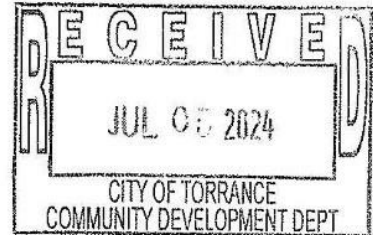
If you should have any questions, please call the undersigned.

Respectfully submitted,
CalLand Engineering, Inc. (CLE)



Jack C. Lee,
Principal Engineer

Dist: (1) Addressee



Mailing Address: 574 East Lambert Road, Brea, California 92821; Tel: 714-671-1050; Fax: 714-671-1090

AGENDA ITEM NO. 8A

DATE: October 16, 2024
TO: Planning Commission
FROM: Austin Lujan, Planning Assistant
SUBJECT: 1875 190th Street
Conditional Use Permit (CUP24-00016)

Consideration of a Conditional Use Permit to allow beer and wine service at an existing restaurant, on property located in the C-5 Zone at 1875 190th Street (APN 4090-024-035).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-062 for approval of a Conditional Use Permit to allow beer and wine service at an existing restaurant on property located in the C-5 Zone at 1875 190th Street, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Shake Shack California LLC (2207 Lincoln Bell, LLC), requests approval by the Planning Commission to allow beer and wine service for onsite consumption at an existing restaurant on property located in the C-5 Zone at 1875 190th Street.

The development standards of the C-5 Zone (Conditional Commercial District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Conditional Use Permit to allow beer and wine service for onsite consumption in the C-5 Zone.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible or no expansion of use is Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of General Commercial, which is intended to permit a wide range of commercial uses that serve both the local and regional community. Permitted uses include shopping centers, professional and medical offices, food and beverage establishments, entertainment facilities, financial institutions, automotive sales, and mixed-use developments. Solely commercial uses are limited to a 0.6 Floor Area Ratio (FAR), and mixed-use developments are limited to a 1.0 FAR. The General Commercial designation is implemented by the C-1, C-2, C-3, C-5, C-R, and

PD Zones. The proposed beer and wine service for onsite consumption at an existing restaurant is consistent with the General Commercial land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as C-5 Zone (Conditional Commercial District) and bounded by parcels to the north and east that share the same zoning designation. To the south across 190th Street, the zoning designation is M-2 (Heavy Manufacturing District). To the west across Interstate 405 on/off-ramps, the zoning designation is C-3 (Solely Commercial District).

NORTH:	C-5	Vacant Lot (Future Automatic Car Wash Building)
SOUTH:	M-2	Vacant Lot (Future Warehouse Buildings)
EAST:	C-5	Construction Site (Future Restaurant Building)
WEST:	C-3	Hotel

Project Site

The project site is developed as a commercial center with three restaurant buildings with drive-thru lanes and outdoor seating, and future development of an automatic carwash building, a retail food market, and solar canopies with additional parking areas. The commercial center provides onsite parking and internal circulation, and is accessed from several driveways and pedestrian connections along 190th Street and Western Avenue and is located near to public transit stops. There are no outstanding natural features at the project site.

The subject restaurant building is situated within the southwest quadrant of commercial center and was recently constructed in 2024. The restaurant building is accessed from onsite parking and internal circulation and a pedestrian connection to 190th Street. The restaurant building features indoor and outdoor seating areas and a double drive-thru lane that converges into a single drive-thru lane. There are no residential uses, churches, schools, hospitals or public playgrounds located near to the restaurant building.

Floor Plan

The restaurant building measures at 4,297 square feet and features a kitchen, counter service, a drive-thru window, restrooms, indoor seating, and an outdoor seating areas. The restaurant has capacity for 110 seats, which include 68 seats indoor and 42 seats outdoor. The outdoor seating area has interior access and is enclosed with low height fencing and gates. No significant alterations are proposed to the building exterior. Staff notes a condition of approval has been included that requires the outdoor seating area to be accessed only from the interior of the restaurant and that self-closing gates shall be installed for exit only.

Staff notes there is no change to the land use and there is no expansion of building floor area, therefore no additional parking is required. Sufficient parking is provided within the commercial center to accommodate the existing restaurant use.

Business Operation

The existing restaurant is described as a fast casual operation that offers quick counter service, limited table service, and a drive-thru lane. The restaurant has 40 to 60 total employees with 10 to 15 per average shift. The restaurant hours of operation are 7:00AM to 12:00AM Daily.

The restaurant offers appetizers, entrées, side items, and beverages. Beer and wine service is proposed for counter pick up and table service within the indoor and outdoor seating areas. Beer and wine will be served by trained staff during operating hours and there is no self-pour service and no sale for off-site consumption.

Considerations for Beer and Wine Service

The proposed beer and wine service for onsite consumption requires approval of a CUP to ensure adequate public review and input on the location, design, configuration, and operational impact. Any potential concerns that may arise from the proposed use, which have not already been addressed by the development standards, can be considered through a public hearing and with the discretionary review and approval of the Planning commission. The Torrance Municipal Code requires the Planning Commission make the following considerations when reviewing a CUP request for on-sale beer and wine service:

1. Distance from existing residential uses within the zone and distance from residential and non-manufacturing uses in zones adjacent to that zone in which the establishment is proposed;
2. Location of and distances to churches, schools, hospitals, and public playgrounds in relation to the proposed establishment;
3. Hours of operation of the proposed establishment;
4. The combination of uses proposed within the proposed establishment;
5. The quality of the interior and exterior construction and furnishings; and
6. Other considerations in the judgement of the Planning commission are necessary to protect the public health, safety, or welfare.

Staff has no objections to the beer and wine service, as long as the service remains in conjunction with a bona fide restaurant. The restaurant operations are limited to food and beverage service only and no change is proposed the existing hours of operation. The restaurant operator will be required to comply with regulations of the California Department of Alcoholic Beverage Control (ABC), and beer and wine will be served by trained staff and there is no self-pour service and no sale for off-site consumption. There are also no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant building. Staff conducted a site visit and observed the building and landscaping are well maintained. In addition, the CUP request was reviewed by the Torrance Police Department and no objections were received. Staff also notes the restaurant operator will be required to amend the current business license, which is subject to approval by the License Review Board.

CONCLUSION

In the judgment of staff, the proposed request to sell on-site beer and wine for an existing restaurant, as conditioned, is compatible with the existing and surrounding uses. The request is consistent with the General Commercial land use designation, which is intended to permit a wide range of commercial uses that serve both the local and regional community including commercial centers and restaurant uses with beer and wine service. The request also complies with the development standards of the Conditional Commercial District (C-5 Zone). Therefore, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-062
2. Location and Zoning Map
3. Project Plans

STAFF CONTACT

Austin Lujan, Planning Assistant
ALujan@TorranceCA.gov

ITEM 8A
ATTACHMENT 1
RESOLUTION NO. 24-062

PLANNING COMMISSION RESOLUTION NO. 24-062

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 3 OF THE TORRANCE MUNICIPAL CODE TO ALLOW BEER AND WINE SERVICE AT AN EXISTING RESTAURANT ON PROPERTY LOCATED IN THE C-5 ZONE AT 1875 190TH STREET.

CUP24-00016: SHAKE SHACK CALIFORNIA LLC (2207 LINCOLN BELL, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on October 16, 2024, to consider an application filed by Shake Shack California LLC (2207 Lincoln Bell, LLC) for a Conditional Use Permit to allow beer and wine service at an existing restaurant, on property located in the C-5 Zone at 1875 190th Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 1875 190th Street (APN 4090-024-035);
- b) That the property is described as Lot 1 of Tract 4090 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible or no expansion of use is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed on-sale beer and wine service is conditionally permitted within the Conditional Commercial District (C-5 Zone) and complies with the provisions of the Torrance Municipal Code;
- e) That the proposed on-sale beer and wine service, as conditioned, will not impair the integrity and character of the Conditional Commercial District (C-5 Zone) because restaurants with on-sale beer and wine service are conditionally permitted and the propose use is compatible with the surrounding uses;
- f) That the subject site is physically suitable for the proposed on-sale beer and wine service, as conditioned, because the restaurant building is situated within a commercial center and already served by all necessary utilities and public services, and no net increase in parking is required;

- g) That the proposed on-sale beer and wine service, as conditioned, will be compatible with existing and proposed future land uses within the Conditional Commercial District (C-5 Zone) and the general area in which the restaurant is located because the site is surrounded by urban uses that consists a mixture of retail, restaurant, and office uses. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant building;
- h) That the proposed on-sale beer and wine service, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the proposed use is located within the General Commercial land use designation, which is intended to permit a wide range of commercial uses that serve both the local and regional community including commercial centers and restaurant uses with on-sale beer and wine service;
- i) That the proposed on-sale beer and wine service, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the proposed use furthers the goals of the General Plan, complies with all applicable development standards, and is compatible with current development trends in the surrounding vicinity;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed on-sale beer and wine service, as conditioned, is not detrimental to public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed on-sale beer and wine service, as conditioned, because the restaurant building is located within a commercial center and is accessed from onsite parking and internal circulation;
- l) That the location, size, design, and operating characteristics of the proposed on-sale beer and wine service, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the C-5 Zone and is consistent with the General Commercial land use designation. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant building;
- m) That the proposed on-sale beer and wine service, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

WHEREAS, the Planning Commission by the following roll call votes **APPROVED** CUP24-00016, subject to conditions:

AYES: COMMISSIONER:
 NOES: COMMISSIONER:
 ABSENT: COMMISSIONER:
 ABSTAIN: COMMISSIONER:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00016 filed by Shake Shack California LLC (2207 Lincoln Bell, LLC) to allow beer and wine service at an existing restaurant, on property located in the C-5 Zone at 1875 190th Street, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property shall be subject to all conditions imposed in Conditional Use Permit 24-00016 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Conditional Use Permit 24-00016 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of Planning Commission Resolution No. 24-062 shall appear on the building plans associated with the restaurant building tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That within 30 days of the final public hearing the “Public Notice” sign and stake shall be returned to the Community Development Department; and (Planning)
5. That the on-sale beer and wine service shall be granted explicitly in conjunction with the operation of a bona fide restaurant on the property described herein, and if the restaurant ceases to serve food, the Conditional Use Permit shall be reviewed by the Planning Commission to determine whether the on-sale beer and wine service shall continue; (Planning)
6. That the outdoor seating area shall be accessed only from the interior of the restaurant building and shall not be accessible to pedestrian traffic outside of the restaurant building. Self-closing gates shall be for exit only; (Planning)
7. That all open space, landscape areas, and outdoor seating areas shall be maintained, repaired, and kept free of trash, litter, debris, graffiti and vandalism; (Planning)
8. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the building; (Planning)
9. That no exterior security bars and roll-up doors applied to windows and building entrances shall be permitted outside of the building; (Planning)
10. That any use of sound amplifying equipment shall comply with the provisions for amplified sound as listed in Division 3, Chapter 3, Article 4, and Division 4, Chapter 6, Article 5 of the Torrance Municipal Code; (Planning)
11. That any form of live entertainment shall be prohibited unless approved by the Planning Commission or License Review Board in accordance with the provisions for live entertainment as listed in Division 3, Chapter 5, Article 5 of the Torrance Municipal Code, or as part of a Temporary Event Permit approved by the Community Development Director; (Planning)

- 12. That any sale or service of food or beverages for onsite consumption in outdoor areas shall comply with the provisions for outdoor restaurants as listed in Division 3, Chapter 5, Article of the Torrance Municipal Code; (Planning)
- 13. That the restaurant operator shall obtain the appropriate alcohol license for the business model and shall comply with conditions and regulation of the California Department of Alcohol Beverage Control (ABC); (Police)
- 14. That the restaurant operator shall obtain approval of a business license through the City of Torrance License Review Board prior to offering on-sale beer and wine service; (Planning)
- 15. That the applicant shall install surveillance cameras to monitor building entries/exits, cash handling areas, and parking lot. Security cameras shall be maintained in proper working order at all times and recording shall be made available to Police upon request. Surveillance footage shall be stored for no less than 30 days; and (Police)
- 16. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning commission shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

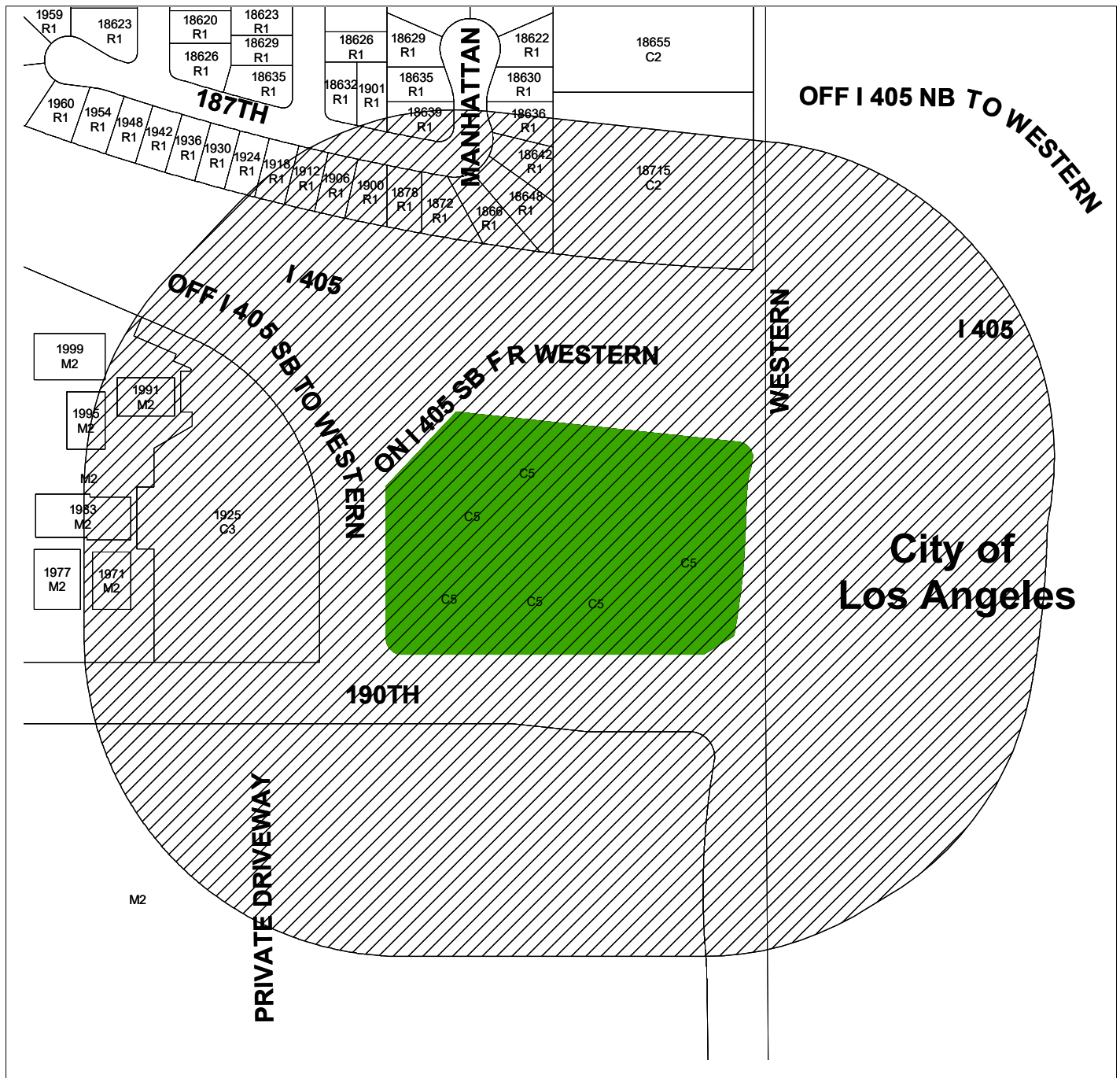
STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:
NOES: COMMISSIONERS:
ABSENT: COMMISSIONERS:
ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A
ATTACHMENT 2
LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

CUP24-00016
1875 190th St

TORRANCE
COMMUNITY DEVELOPMENT
GIS

LEGEND

- Notification Area
- 1875 190th St

0 110 220 440 Feet

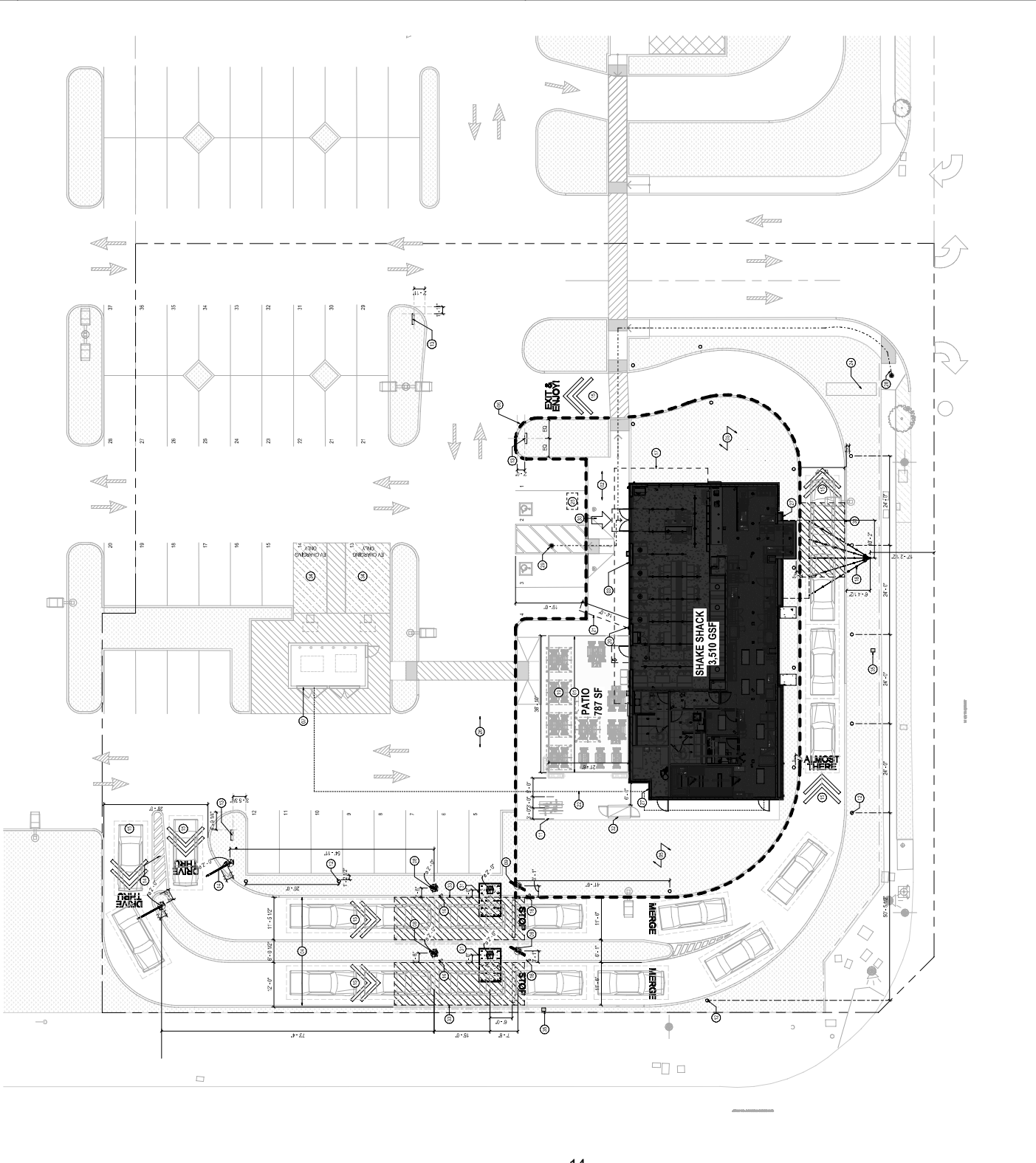
ITEM 8A
ATTACHMENT 3
PROJECT PLANS

GENERAL NOTES

- A THE PURPOSE OF THESE PLANS IS TO ILLUSTRATE THE OWNER'S CONCEPTS AND REQUIREMENTS FOR THE PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
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SHEET NOTES

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01 SITE PLAN
 SCALE: 1" = 10'-0"

AGENDA ITEM NO. 8B

DATE: October 16, 2024

TO: Planning Commission

FROM: Dominique Allen, Planning Assistant

SUBJECT: 2814 Sepulveda Boulevard (APN 7369-006-044)
Modification (MOD24-00005)

Consideration of a Modification of a previously approved Conditional Use Permit (CUP23-00022) to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C3-PP Zone at 2814 Sepulveda Boulevard.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-063 for approval of a Modification of a previously approved Conditional Use Permit (CUP23-00022) to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C3-PP Zone at 2814 Sepulveda Boulevard, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Eugene Yoo of Goodnews Food Corporation (KL Plaza, LLC c/o First Choice Realty & Management Company Inc.), requests approval by the Planning Commission to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C3-PP Zone at 2814 Sepulveda Boulevard.

The development standards of the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Modification (MOD) to allow revisions to a previously approved Conditional Use Permit to expand the use.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor alterations of an existing public or private structure or facilities involving negligible or no expansion of use beyond that previously existing are Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

This site has a General Plan designation of General Commercial (C-GEN), which allows a maximum Floor Area Ratio of 0.6 for solely commercial uses and 1.0 for mixed-use development. The designation

is intended for a wide variety of commercial, retail and service uses, such as shopping centers, entertainment facilities, office buildings, or other types of commercial, residential, and mixed-use development. The C3-PP zoning is consistent with the General Commercial land use designation and with the proposed expansion of an existing conditionally permitted restaurant use into the adjacent tenant space.

Zoning Designation and Adjacent Land Uses

The project site is designated as C3-PP Zone (Solely Commercial District, Precise Plan Overlay). The adjacent parcels to the west and east share the same zoning designation and are developed as commercial. The adjacent parcels to the south are designated as R-1 (Single-Family Residential) and developed as residences. The parcels to the north across Sepulveda Boulevard are designated as P-D (Planned Development) and developed as townhomes.

NORTH:	P-D	Townhome Development
SOUTH:	R-1	Single-Family Residences
EAST:	C3-PP	Restaurant
WEST:	C3-PP	Commercial Plaza

Project Site

The project site is located on the south side of Sepulveda Boulevard between Hickory Avenue and Maple Avenue. The subject building is situated on an approximately 100,414 square foot irregular shaped lot and is developed with a one-story commercial shopping center with the configuration of a “L” shape. The shopping center measures approximately 31,100 square feet of floor area and consists of twelve (12) commercial tenant spaces. The property was originally developed in 1978 and has operated as a commercial center. Vehicular access to the site is provided by one driveway on Sepulveda Boulevard. Pedestrian access is provided along Sepulveda Boulevard as well. There are no outstanding natural features at the site.

Background

In 1978, the Planning Commission approved a Precise Plan of Development (PP 78-25) to allow the construction of a commercial center on the subject property. Thereafter, a Minor Modification to PP78-25 allowed a faux water tank and windmill for display along Sepulveda Boulevard. In 1981, the approval of a Conditional Use Permit (CUP81-31) and Variance (V81-6) allowed a restaurant use with beer and wine service within the subject tenant space (Suite A). In 2018, the approval of CUP18-00023 allowed the re-establishment of a bakery with a café within the subject tenant space (Suite A). In 2023, the approval of CUP23-00022 allowed on-sale beer and wine service at the restaurant, in conjunction with exterior improvements to Suite A. In 2023, a building permit was issued to allow a new fence construction in front of the subject tenant space (Suite A). These past entitlements and permits associated with the property have allowed the commercial center to be developed and the restaurant use to operate in its current form.

Parking Requirements

The proposed expansion involves the conversion of a former retail tenant space into a restaurant tenant space, which increases the overall parking demand for the commercial center. As proposed, the parking demand for the commercial center would increase to 154 parking spaces based on the current mixture of commercial uses, with a total of 158 parking spaces available. Therefore, no additional parking is required for the proposed restaurant expansion.

Scope of Work

The scope of work focuses on the northeast portion of the commercial center and involves the expansion of an existing restaurant use located at Suite A into the adjacent tenant space Suite B, along with exterior improvements. The proposed expansion measures 4,100 square feet and will extend the restaurant seating into a portion of the adjacent tenant space (Suite B). The utilized portion measures 655 square

feet, as the remaining 445 square feet of Suite B will not be utilized. The proposed exterior improvements involve the installation of a new storefront for the expanded area and the construction of a new 42" tall fence along the front walkway. The new storefront and wood paneling will match the restaurant exterior.

The proposed fence will measure 15" wide and 42" tall and is positioned between the front walkway and the driveway. The front face of the fence features ceramic tile, while the side facing the restaurant will be made of redwood planks. Low-voltage LED lights will be installed at the base of the fence to illuminate the walkway.

Floor Plan

The existing restaurant space measures 3,445 square feet. After the proposed expansion, the restaurant will total 4,100 square feet. The floor plan includes indoor and outdoor seating areas, an enclosed patio area, a private dining room, kitchen and service areas, and restrooms. The outdoor seating area measures approximately 100 square feet and extends approximately 4' into the front walkway, with a remaining 6'3" clearance to the fence along the front walkway. Staff notes sufficient clearance is provided along the front walkway for pedestrian access and that accessibility requirements are met.

Business Operation

The restaurant is full service and serves beer and wine. The restaurant operates 10:00 am – 9:00 pm daily with a total of 32 employees to serve approximately 380 customers per day. The expansion of the restaurant use accommodates the growing operation and provides more space for staff members to continue the daily operations. The extra space will also provide comfort to customers and employees by adding an additional seating area and service station.

Site Improvements

Staff conducted a site visit and noted that the building is in good repair and properly maintained. However, there are several areas where the commercial center could benefit from additional attention. Staff observed faded parking stalls, bare landscape planters, a backflow preventor along Sepulveda Boulevard that does not have any screening and noted the equipment for the onsite Wireless Telecommunication Facility (Windmill) lacks screening from public view. Staff has included conditions of approval to restripe the parking spaces, replenish the landscape planters, and provide additional landscape screening for the backflow preventor as well as the telecommunications equipment along Sepulveda Boulevard to the satisfaction of the Community Development Director. Additionally, a condition of approval has been included that the applicant and property owner continue working with staff to develop a design plan for the commercial center that includes additional fencing along the storefront walkways throughout the commercial center.

CONCLUSION

In the judgment of staff, the expansion of an existing restaurant, as conditioned, is compatible with the surrounding commercial uses, and will not adversely impact the orderly and harmonious development of the area, nor will it adversely affect the general welfare of the City. The expanded restaurant will not impair the integrity and character of the C3-PP Zone and will encourage and be consistent with the orderly development of the City as provided in the General Plan. The plans reflect a high quality design and the expanded facility will better serve the area. For these reasons, Staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 4). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-063
2. Location and Zoning Map
3. Code Requirements
4. Project Plans (Limited Distribution)

STAFF CONTACT

Dominique Allen, Planning Assistant
Dallen@TorranceCA.gov

ITEM 8B
ATTACHMENT 1
RESOLUTION NO. 24-063

PLANNING COMMISSION RESOLUTION NO. 24-063

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP23-00022) TO ALLOW THE EXPANSION OF AN EXISTING RESTAURANT INTO THE ADJACENT TENANT SPACE, ON PROPERTY LOCATED IN THE C3-PP ZONE AT 2814 SEPULVEDA BOULEVARD.

**MOD24-00005: EUGENE YOO OF GOODNEWS FOOD CORPORATION
(KL PLAZA, LLC C/O FIRST CHOICE REALTY & MANAGEMENT COMPANY INC.)**

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on October 16, 2024, to consider an application filed by Eugene Yoo of Goodnews Food Corporation (KL Plaza, LLC c/o First Choice Realty & Management Company Inc.) for a Modification of a previously approved Conditional Use Permit (CUP23-00022) to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C3-PP Zone at 2814 Sepulveda Boulevard; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, minor alterations to existing facilities are Categorically Exempt by the Guidelines for implementation of the California Environmental Quality Act, Section 15301- Existing Facilities; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 2814 Sepulveda Boulevard (APN 7369-006-044);
- b) That the property is described as "TR=PARCEL MAP AS PER BK 82 P 60 OF P M LOT 1" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That expanding the existing conditionally permitted restaurant use into the adjacent tenant space is permitted in the C3-PP Zone and complies with all of the applicable provisions of this Division;
- d) That the proposed use will not impair the integrity and character of the C3-PP Zone because the proposed expansion complies with the applicable standards of the C3-PP Zone;
- e) That the subject site is physically suitable for the proposed restaurant because, as conditioned, adequate parking and accessibility is provided. Furthermore, the site exceeds the minimum parking requirement;
- f) That the proposed restaurant expansion will be compatible with existing and proposed future land uses within the C3-PP Zone and the general area in which the restaurant is located and will not conflict with the surrounding commercial and residential uses;
- g) That the restaurant expansion will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as General Commercial;

- h) That the restaurant expansion will not discourage the appropriate existing or planned future use of surrounding property because the existing restaurant furthers the goals of the General Plan, complies with all applicable development standards, and will not conflict with the surrounding commercial and residential uses, as conditioned;
- i) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the restaurant is not detrimental to public health and safety;
- j) That there will be adequate provisions for public access to serve the expanded restaurant because pedestrian access is provided along the north property line in addition to the vehicular access provided on Sepulveda Boulevard;
- k) That the location, size, design, and operating characteristics of the proposed restaurant will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the restaurant expansion provides the required off street parking and the center provides a surplus in parking; and
- l) That the proposed restaurant expansion, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** MOD24-00005, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that MOD24-00005 filed by Eugene Yoo of Goodnews Food Corporation (KL Plaza, LLC c/o First Choice Realty & Management Company Inc.) to allow the expansion of an existing restaurant into the adjacent tenant space, on property located in the C3-PP Zone at 2814 Sepulveda Boulevard; on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the expanded restaurant shall be subject to all conditions imposed in Modification 24-00005; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Modification is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period of time as provided for in Section 92.27.1;
3. That within 30 days of the final public hearing the "Public Notice" sign and stake shall be returned to the Community Development Department; and (Planning)

4. That a copy of Planning Commission Resolution No. 24-063 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That the applicant shall comply with all conditions of approval from previously entitlements such as CUP23-00022 (Resolution No. 23-077), CUP13-00030 (Resolution No. 13-056), CUP18-00023 (Resolution No.18-083), and SAT11-00009; (Planning)
6. That all bare landscape planters located throughout the commercial center shall be replenished with additional vegetation, mulch, and groundcover to the satisfaction of the Community Development Director; (Planning)
7. That all faded parking spaces located throughout the commercial center shall be restriped to the satisfaction of the Community Development Director; (Planning)
8. That all electrical transformers, backflow preventers, double detector check assemblies, and similar ground equipment located throughout the commercial center shall be screened from public view with landscaping or other screening element to the satisfaction of the Community Development Director; (Planning)
9. That all equipment located at the base of the wireless telecommunication facility along Sepulveda Boulevard shall be screened from public view with additional landscaping or other screening element to the satisfaction of the Community Development Director; (Planning)
10. That a design plan shall be prepared for the commercial center that includes new walkway fencing throughout the commercial center and that the design plan shall be submitted to the Community Development Department for review and approval prior to the final inspection of the tenant improvement building permits to the satisfaction of the Community Development Director; (Planning)
11. That a graffiti-proof finish, protective film, or similar coating shall be applied on all new storefront windows, new exterior walls, and new fences; (Planning)
12. That a detail of the new fencing shall be submitted to the Community Development Department for review and approval prior to the issuance of building permits; (Planning)
13. That a bicycle rack shall installed at the commercial center and that a detail of the bicycle rack detail and placement plan shall be submitted to the Community Development Department for review and approval prior to the issuance of building permits; (Environmental)
14. That prohibited signage for this use shall include: freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
15. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
16. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering)

- 17. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduced pressure backflow assemblies shall be located above ground on private property near the public right-of-way, shall be screened from public view with approved plant material, and shall be constructed per City of Torrance standards. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to building permit issuance. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering)
- 18. That the applicant shall obtain approval for the restaurant expansion from the Los Angeles County Health Department prior to permit issuance; and (Building & Safety)
- 19. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B
ATTACHMENT 2
LOCATION AND ZONING MAP



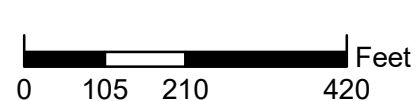
LOCATION AND ZONING MAP

MOD24-00005
 2814 SEPULVEDA BOULEVARD SUITE A



LEGEND

-  NOTIFICATION AREA
-  2814 SEPULVEDA BLVD A



ITEM 8B
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC, and CGBC.
2. Provide automatic sprinklers – Separate submittal required to Torrance Fire.
3. Provide ADA accessible path from the public right of way to the primary entrance.
4. All legal exits shall be ADA accessible.
5. That per Torrance Municipal code section 903.2.2.2, that applicant shall install an automatic sprinkler system throughout the building when one or more eating establishments exceed 4,000 square feet.

FIRE

6. 2022 CFC City of Torrance Fire Ordinance.
7. That fire sprinklers shall be installed and the applicant shall contact the City of Torrance Fire Department.

ENVIRONMENTAL

8. All parking spaces, including handicap accessible spaces, must be double-lined striped and sized to meet Code (93.4.6).
9. Electrical and mechanical equipment, including all roof equipment, must be screened from view with materials that are compatible with the main structure. Staff approval of screening materials are required (92.30.2).
10. Obtain a permit prior to adding any new signage or modifying existing signs at this location (88.3.1).
11. Lot sweeping, deliveries, and trash pick-up are prohibited between 10pm and 7am (92.30.4). Signage to be posted at trash enclosure to remind trash hauler of times.
12. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high, and located so that it is visible to traffic enforcement officials.
13. Trash enclosures shall have a metal barrier roof covering to prevent rainwater intrusion to meet current NPDES requirements.
14. The property shall be landscaped prior to Final Inspection (92.21.9).
15. Provide 5% landscaping for parking lot (93.6.2).

ITEM 8B
ATTACHMENT 4
PROJECT PLANS

JANG SU JANG KOREAN RESTAURANT

2814-B SEPULVEDA BLVD., TORRANCE, CA 90505

EroomDesign Inc.
EroomDesign Inc.

ARCHITECTURE INTERIOR & SPACE DESIGN

1143 S HARVARD BLVD.
LOS ANGELES, CA 90006

TELEPHONE 323-544-7688

GENERAL NOTES

These drawings and specifications copies thereof are instruments of service of use by the Owner and authorized representatives on the designated property only.
All dimensions and conditions shall be checked and verified on the job site by each subcontractor before that subcontractor begins work. Any errors, omissions, or discrepancies shall be brought to the attention of the Designers and construction manager before construction begins.
All dimensions take precedence over scale. Note that dimensions are to center line, unless obviously shown, or marked face of concrete (FOC) or face of stud (FOS) or face of masonry (FOM), or face of finish (FOF).
Typical details shall apply where no specific details or section are given.
Provide pedestrian and property protection barricades and/or canopies as required by local authorities, or as necessary for pedestrian safety.
The contractor shall be responsible for continuous clean up of the site, and of all debris, whether created by this work, or by the failure of his sub-contractors to clean up after their work.
It shall be the responsibility of the contractor to supervise all cutting and patching of finished work already installed, if made necessary by errors, changes or other reasons. All replacement work shall match additional surface.
Contractor shall provide galvanic insulation between dissimilar metals.
Provide area for combustible rubbish storage.
All survey data is based on an original survey by City of Los Angeles.
There shall be no exposed pipe conduits, ducts, vents, etc. in designated finish spaces, unless noted as exposed construction.
The contractor shall be responsible to construct all fire rated spaces, to the requirements of the applicable codes and standards. Provide fire dampers and access panels for ducts and A.C. fixture when passing through these spaces.
Provide appropriate fire enclosure behind recessed light fixture, where required.
Provide fire extinguisher as required by Fire Dept. Field Inspector.
Exit door shall swing in the direction of exit travel when serving more than 50 persons.
Every exit door shall be operable from the inside without the use of a key or any special knowledge or effort. Special locking devices shall be of approved type.
Exit lighting and signs shall be 8" X 3/4" min. on a contrasting background.
Exit path lighting shall be provided giving a value of one foot candle at floor level.
Aisle shall be 44" min. clear width to a public way.
No sharp or abrasive surface under lavatories. Grab bars, fasteners and mounting devices shall be designed for 250 lbs. per linear ft. load.
Provide lever type hardware to provide passage without requiring the ability to grasp the opening hardware.
Every required exit doorway shall not be less than 3 feet wide by not less than 6' 8" high capable of opening 90 degrees and mounted so that the clear width of the exit way is a minimum 32".
The floor adjacent to a doorway shall be level and clear for a minimum depth of 60" in the direction the doorway swings and 44" if swinging away. The floor shall extend beyond the strike edge 24" for exterior doors and 18" for interior doors.
Storage is prohibited in exit passageway for service to the tenants.
Such exit passageways shall be posted with conspicuous signs stating so.
Contractor shall be responsible for compliance with the California Construction safety orders.
Contractor shall coordinate all mechanical and electrical equipment as to weight and locations with structural supports. In the event that the purchased equipment deviates are different in weight and location from those indicated on the plans, the structural engineer must be notified.
All toilet rooms without required operable windows shall be mechanically ventilated to provide 5 minute minimum air change. Fan shall be considered as part of work.
In the event there are discrepancies, ambiguities or omissions from the specifications or drawings, or should there be doubt as to their meaning or intent, the designer shall be notified, in order to provide a written clarification.
Where factory prime items occur, such as grills, diffusers, metal trim and accessories, etc., point to match the adjacent surface as directed by the Designer. Refer to specifications for all other items not included on the finish schedules.
It shall be the responsibility of the contractor to obtain approval by the local Building Inspector for all concealed work before closing up.
Provide 2 X solid backing for all cabinets, towel bars, etc.
Provide outside gas shut-off valve, conspicuously marked.
Provide waterproof membrane over all exterior building walls below grade. Carry waterproof membrane 4" above finish grade where applicable.
Tow inches minimum sand is to be placed over vapor barrier (6 mil. minimum), where applicable.
Provide fire damper at all duct openings.
Interior wall and ceiling finish shall have at least flame spread rating of class _____ and smoke density of _____.
Floors shall have surface that is slip resistant.
Interior and exterior thresholds should be a maximum 1/2" above the adjoining floor.
Insulate hot water and drain pipe.
Faucet controls shall be operable with one hand and not require grasping, pinching or twisting.
Locate all manually operated switches and controls between 36" and 38".
Locate convenience outlets a minimum 12" from the floor.
Door openings into required 1 Hr. fire resistive corridors shall be protected with a smoke or draft stop fire assembly having a 20 minute rating, and is self closing.
Any decorations used shall be non-combustible or flameproofed in an approved manner.

- NOTE:
- MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ARE UNDER A SEPARATE PERMIT AND A SEPARATE SUBMITTAL.
 - RETURN AIR PLENUMS REQUIRE NON-COMBUSTIBLE CONSTRUCTION.
 - EXTERIOR SIGNAGE REQUIRES SEPARATE APPROVAL AND A SEPARATE PERMIT.
 - MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM MUST BE APPROVED BY THE FIRE PREVENTION DIVISION AND WILL REQUIRE A SEPARATE PERMIT.
 - ALL FLUORESCENT FIXTURES WITH DOUBLE-ENDED LAMPS SHALL BE EQUIPPED WITH DISCONNECT MEANS PER 410.73(G) [SCEC '19]
 - GFCCI PROTECTION MUST BE PROVIDED FOR ALL FOOD PREPARATION AREAS [S210.8 (B) (2) CEC '19]

FIRE DEPT. NOTES

- Fire Department inspections are required. Schedule all inspections 2 days in advance.
- A detailed letter clearly identifying all intended use(s) and operation(s) of the structure(s) shall be provided to the fire department along with the submittals for review.
- When the project involves the construction of a new structure or an addition to an existing structure, plans and documents for fire department access, fire hydrant locations, water availability, and fire lane markings shall be submitted to the fire department prior to the approval of architectural plans.
- This plan review or approval encompasses the building T.I. plans only. Fire sprinkler system(s), alarm system(s), underground fire lines or any other fire protection system or required fire department permit(s), requires a separate plan submittal and are not encompassed in this plan review or approval.
- Provide 6 inch address numerals on each suite(s) or unit(s) front and rear doors. Numerals shall be a color contrasting to the background.
- Plans of new or modifications to existing fire protection, detection, alarm or monitoring system(s) shall be approved by the City of Torrance Fire Department prior to installation or modification a separate plan submittal is required for each element of protection prior to the commencement of any work, as this project was conditioned, only Mail approved contractors shall be permitted to add to or modify these systems.
- If additions of walls and/or other tenant improvements obstruct or effect coverage or performance of the fire sprinkler system is necessary, fire sprinkler tenant improvement plans shall be submitted to the City of Torrance Fire Department for approval prior to installation or alteration(s).
- Assembly occupancies shall post a, "MAXIMUM OCCUPANT LOAD OF PERSONS", sign near the main exit from each room. sprinkler system is necessary, fire sprinkler tenant improvement.
- Signage above main exit doors with one-inch letter is to read, "This door to remain unlocked when occupied."
- All exit doors shall be operable from inside without the use of a key or special knowledge or effort. All "A" Occupancy classifications shall be provided with panic hardware for the exit doors.
- Provide fire-rated hardware in all rated assemblies.
- Location(s) and classification(s) of fire extinguishers shall be in accordance with the California Code of Regulations (CCR), Title 19 and the California Fire Code Standard 10-1 and placement is subject to the fire inspection prior to Fire Clearance for the certificate of occupancy to be issued by the building department.
- Storage, dispensing or use of any flammable or combustible liquids, flammable or compressed gases, or any other hazardous materials shall comply with California Fire Code Regulations. The storage and use of hazardous materials shall be approved by the City of Torrance Fire Department prior to any material being stored, or used on site. A separate plan submittal is required prior to the storage and use of hazardous materials.
- All building(s) shall be approved for high-piled storage (material in closely packed piles or on pallets, or in racks where the top of storage exceeds 12 in. height, 6 feet for Group A plastics and certain other hazardous commodities) or aerosols products. High-piled and aerosol stock shall be approved by the City of Torrance Fire Dept. prior to material being stored on site. A separate plan submittal is required for Articles 81 and 88.
- An automatic extinguishing system(s) shall be provided to protect commercial-type food heating and processing equipment that produces grease laden vapors. A separate plan submittal is required for installation of the system and shall be in accordance with CFC, Art.10, NFPA 17A, AND 96.
- All gas and electrical power under cooking hood(s) shall shut down upon actuation of the hood fire suppression system.
- All HMC Unit or System (regardless of CFM, as required by the mall smoke control analysis report) shall have automatic smoke duct-detectors installed and connected to the building fire alarm system.
- Provide velocity calculations for each duct detector location installed. The calculation is to include the duct size at point of installation, CFM of the air-handler, and velocity for all modes of operation including economizer mode.
- Provide remote LED annunciator(s) and remote test station for each duct detector located above the ceiling and below the roof.
- The maximum width of storefront opening shall not exceed 12 feet. In addition the maximum opening, a transom/soffit is required at the storefront opening having a minimum 18-inch depth for the length of the transom/soffit as required by the mall smoke control analysis report.
- Spot-type fire alarm system smoke detector(s) shall be installed at each tenant space opening (entrance and/or display) to the mall area(s) as required by the mall smoke control analysis report.
- Building/Tenant access requires keys to each tenant space be placed into the building master KNX Box located inside of the fire Control Room. Contact the City of Torrance Fire Prevention Bureau for placement of keys into the box.
- Provide Signage on Electrical equipment "No Storage within 36 inches by Order of the Fire Marshal"
- Provide Black/Yellow hatch stripes on floor 36" in front of Electrical equipment and stencil "No Storage" minimum of 4 inch letters on the floor inside the hatched stripes.
- Provide Fire Extinguishers; contact CCFD for size, type and location.
- Fire Alarm/smoke control system shall be installed per the 2007 California Building Code Chapter 4, 402.14 and 404.4 and as approved by the City of Torrance Fire Department.
- Provide mail approve numbers on upper left side of window for the suite.
- Remove all hasps and other locking devices from rear doors. Door exiting hardware shall comply with 2007 California Building Code, Chapter 4 and Chapter 10.
- Include notes in regards to top of actual storage, commodity classification and clearance to fire sprinklers per NFPA 13
- Include notes that the fire sprinkler system shall be modified to adjust for interior improvements.
- Exterior Rear Door shall be marked with business name and suite number.
- Final inspection required by City of Torrance Fire Department prior to occupancy.
- Business owner shall be notified that rear exit that opens to the service corridor/emergency secondary exit shall be kept free of combustible materials and other storage at all times.

APPLICABLE CODES

- 2022 CITY OF TORRANCE BUILDING CODE
- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART I, TITLE 24 C.C.R.
- 2022 CALIFORNIA BUILDING CODE (C.B.C.), PART 2, TITLE 24 C.C.R. (2006 INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
- 2022 CALIFORNIA ELECTRICAL CODE (C.E.C.), PART 3, TITLE 24 C.C.R. (2005 NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA MECHANICAL CODE (C.M.C.), PART 4, TITLE 24 C.C.R. (2006 UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24 C.C.R. (2006 UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA FIRE CODE (C.F.C.), PART 9, TITLE 24 C.C.R. (2006 INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS)

PROJECT DATA

PROJECT DESCRIPTION : 1. EXPANSION OF EXISTING RESTAURANT
2. CHANGE OF USE FROM BEAUTY SALON TO RESTAURANT - 655 SQ.FT.
3. NEW FENCE - EXTERIO (H: 42")

PROJECT LOCATION : 2814-B SEPULVEDA BLVD.
TORRANCE, CA 90505

ZONING : C2-1
EXISTING USE : BEAUTY SALON
PROPOSED USE : RESTAURANT
PROJECT AREA : 655 SQ.FT.

OCCUPANT LOAD: 37
DINING : 545.00 SQ.FT. / 15 = 36.3
SERVICE : 107.00 SQ.FT. / 200 = 1

TOTAL RESTAURANT FLOOR AREA:

EXISTING RESTAURANT (UNIT A) : 3,342 SQ. FT.
NEW RESTAURANT (UNIT B) : 655 SQ. FT.
TOTAL FLOOR AREA : 3,997 SQ. FT.

OCCUPANCY : B (ASSEMBLY W/ < 50 OCCUPANTS)

CONSTRUCTION TYPE : TYPE V-B

PARKING SPACES: (E) BEAUTY SALON : 1/250 sq.ft. = 4 SPACES
(N) RESTAURANT : 1/100 sq.ft. = 11 SPACES
(* ADD 7 SPACES FOR RESTAURANT

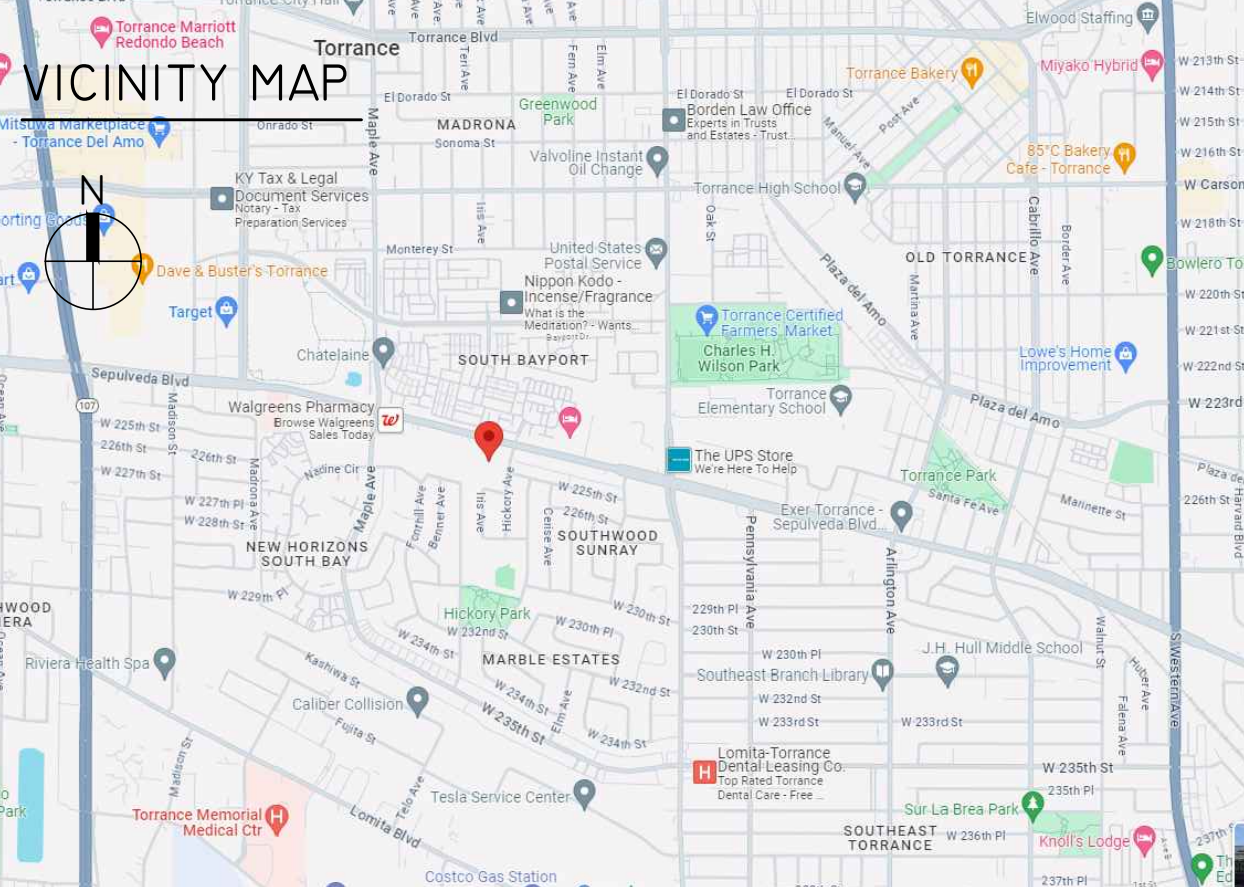
CARPENTER CENTER PARKING ANALYSIS

PARKING SPACES AVAILABLE = 158

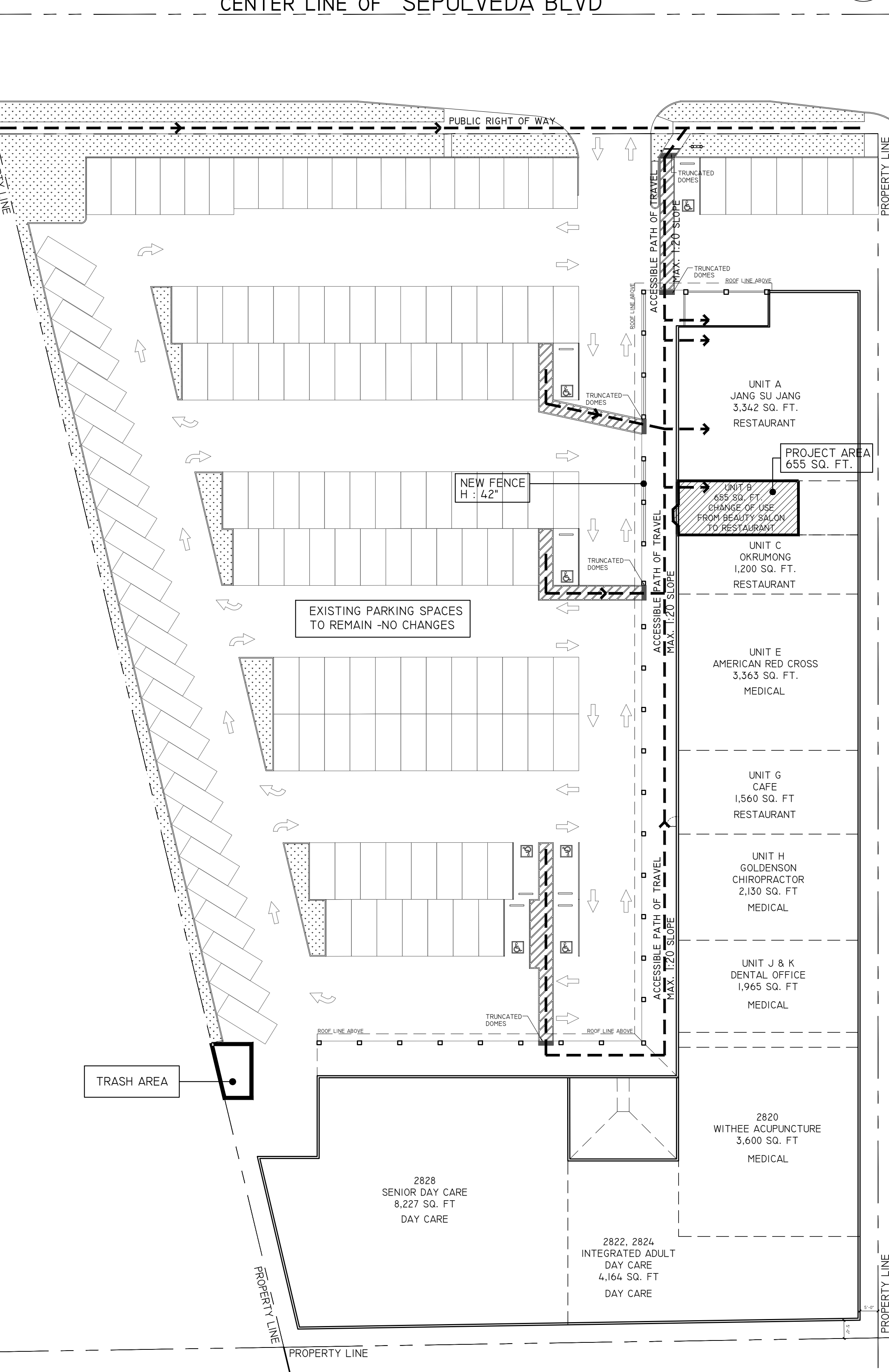
SUITE	TENANT	USE	GROSS AREA	MODIFIED GROSS FLOOR AREA (AS SUBMITTED IN 2024)	PARKING RATIO (SPACE/SQFT)	PARKING REQUIRED (W/ 2024 MOD. GROSS)
A	JANG SU JANG	RESTAURANT	3,445	3,250.00	100	32.30
B	QUEEN'S HAIR DAY	SERVICE COMMERCIAL	1,095	1,025.00	250	4.10
C	OKRUMONG	RESTAURANT	1,200	1,151.00	100	11.51
E	AMERICAN RED CROSS	MEDICAL	3,363	3,140.00	250	12.56
G	DA MAAT	RESTAURANT	1,620	1,592.00	100	15.92
H	CHIROPRACTOR	MEDICAL	2,150	2,054.00	250	8.22
J & K	DENTAL OFFICE	MEDICAL	1,965	1,822.00	250	7.29
2820	WITHEE ACUPUNCTURE	MEDICAL	3,600	3,307.00	250	13.23
2822	INTEGRATED ADULT DAY CARE	DAY CARE	4,164	3,647.00	CUP 15-00028	14.00
2824	SENIOR DAY CARE	DAY CARE	8,227	7,510.00	CUP 22-00009	33.00
	TOTAL		30,809	28,388.00		151.22

SHEET INDEX

- A-001.1 TITLE, GENERAL NOTES
- A-001.2 ACCESSIBLE NOTES
- A-002 PROPOSED FLOOR PLAN
- A-003 PROPOSED REFLECTED CEILING PLAN
- A-004 PROPOSED EXTERIOR ELEVATION
- A-005 EQUIPMENT PLAN & SCHEDULE
- A-006.1 DETAIL-1
- A-006.2 DETAIL-2
- A-006.3 DETAIL-3



SITE PLAN



NOTE :

No.	DATE	REVISION DESCRIPTION	CHKD.

ISSUES & REVISIONS

CONSULTANT :

PROJECT :

PROJECT ADDRESS: 2814 SEPULVEDA BLVD. UNIT B
TORRANCE, CA 90505

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED

TITLE

TITLE

SCALE NONE

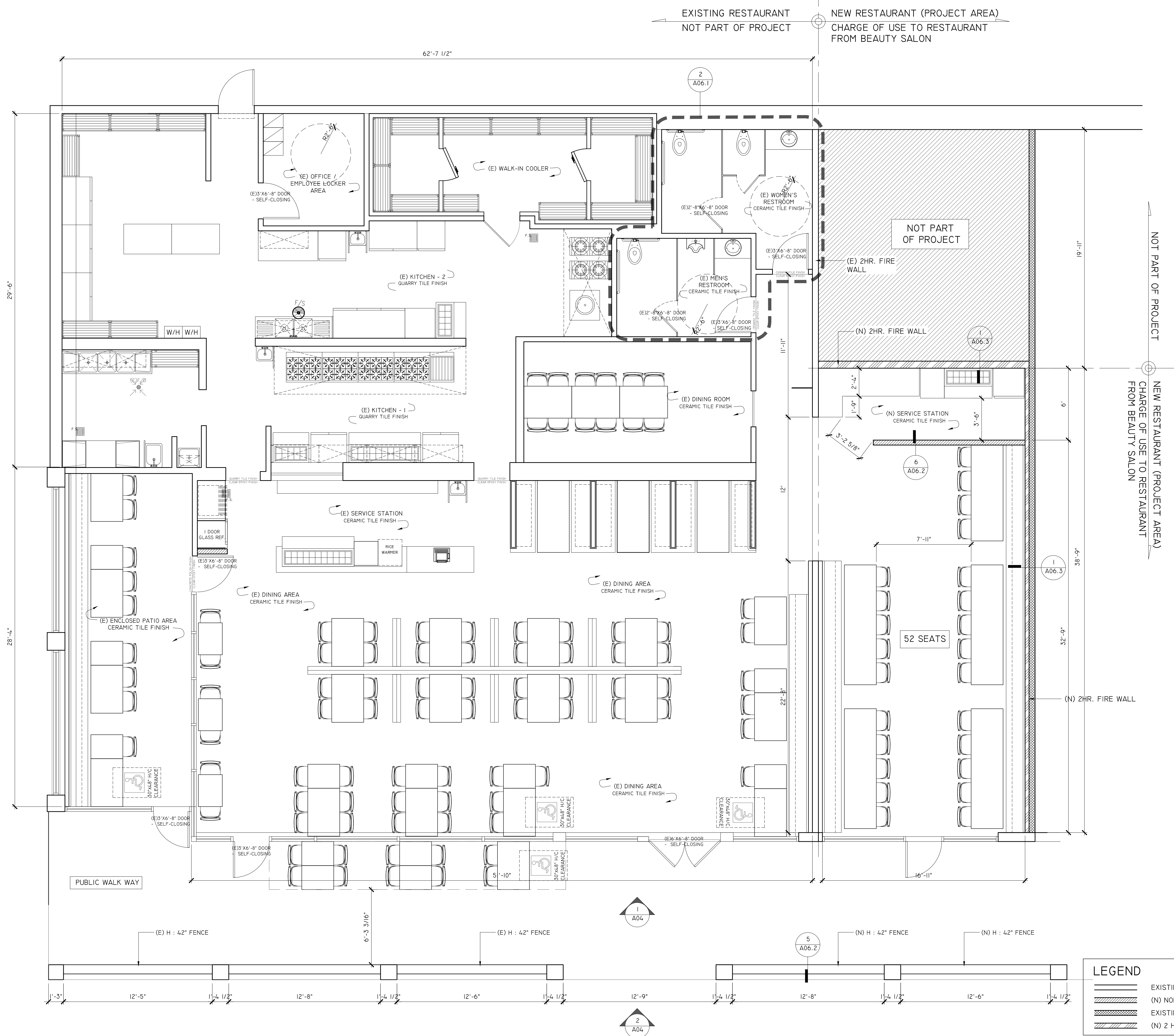
PROJECT NO.

DATE 08 .2024

DRAWING NO.

SHEET NO. A-001.1

Rev. No.



EroomDesign Inc.
 EroomDesign Inc.
 ARCHITECTURE INTERIOR & SPACE DESIGN

1143 S HARVARD BLVD.
 LOS ANGELES, CA 90006
 TELEPHONE 323-544-7688

NOTE :

NO.	DATE	REVISION DESCRIPTION

ISSUES & REVISIONS

CONSULTANT :

PROJECT :

PROJECT: T.I. FOR JANG SU JANG
 PROJECT ADDRESS: 2814 SEPULVEDA BLVD. UNIT B
 TORRANCE, CA 90505

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED

TITLE

PROPOSED FLOOR PLAN

SCALE

PROJECT NO.

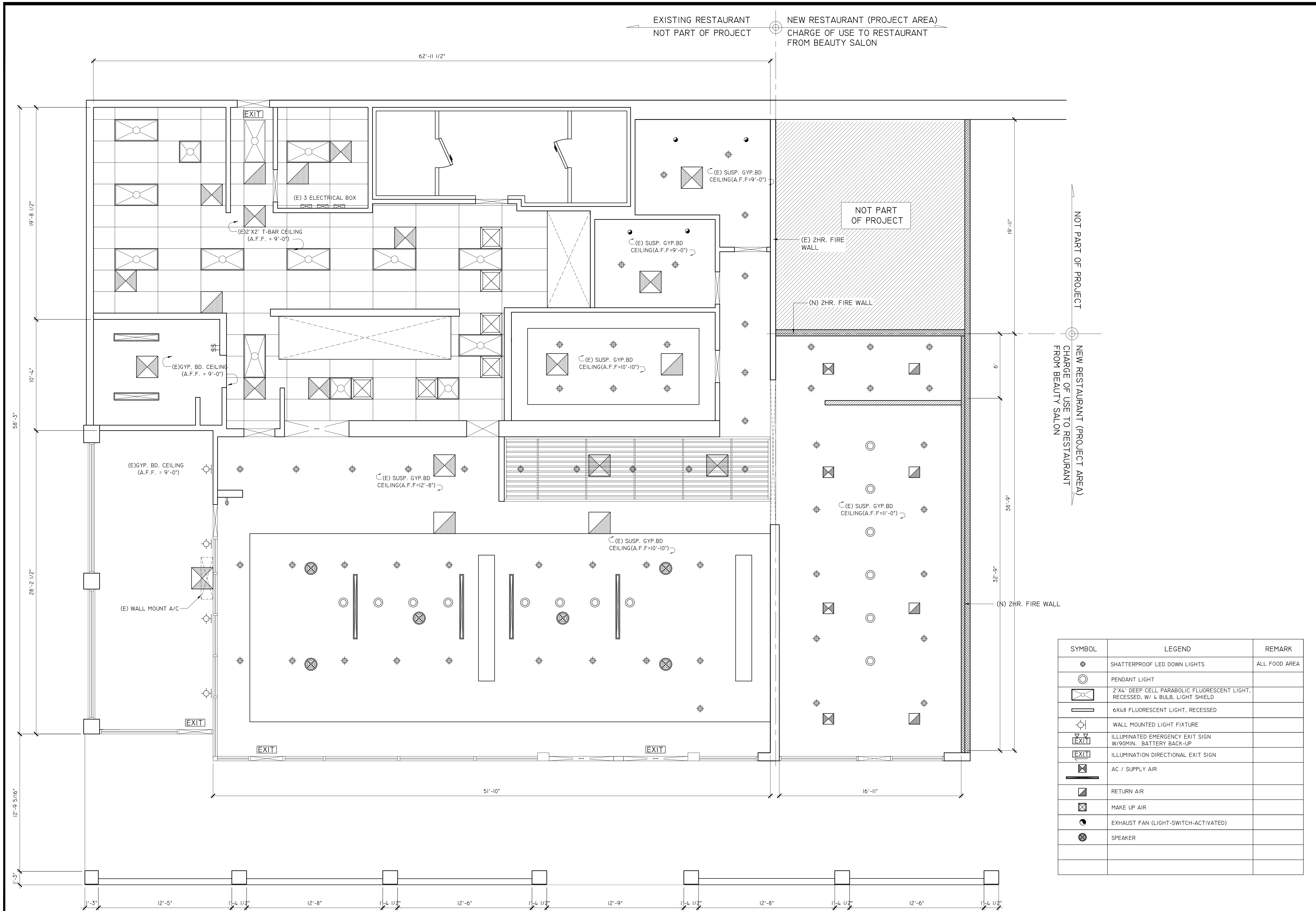
DATE 08. 2024

DRAWING NO.

SHEET NO. A-002

PROPOSED FLOOR PLAN

SCALE : 1/4" = 1'-0"



EXISTING RESTAURANT
NOT PART OF PROJECT

NEW RESTAURANT (PROJECT AREA)
CHARGE OF USE TO RESTAURANT
FROM BEAUTY SALON

NOT PART
OF PROJECT

NOT PART OF PROJECT
CHARGE OF USE TO RESTAURANT
FROM BEAUTY SALON

SYMBOL	LEGEND	REMARK
⊕	SHATTERPROOF LED DOWN LIGHTS	ALL FOOD AREA
○	PENDANT LIGHT	
⊞	2'X4' DEEP CELL PARABOLIC FLUORESCENT LIGHT, RECESSED, W/ 4 BULB, LIGHT SHIELD	
—	6X48 FLUORESCENT LIGHT, RECESSED	
⊕	WALL MOUNTED LIGHT FIXTURE	
EXIT	ILLUMINATED EMERGENCY EXIT SIGN W/90MIN. BATTERY BACK-UP	
EXIT	ILLUMINATION DIRECTIONAL EXIT SIGN	
⊞	AC / SUPPLY AIR	
⊞	RETURN AIR	
⊞	MAKE UP AIR	
⊕	EXHAUST FAN (LIGHT-SWITCH-ACTIVATED)	
⊗	SPEAKER	

EroomDesign Inc.
EroomDesign Inc.
ARCHITECTURE INTERIOR & SPACE DESIGN

1143 S HARVARD BLVD.
LOS ANGELES, CA 90006

TELEPHONE 323-544-7688

NOTE :

△			
△			
△			

NO.	DATE	REVISION	DESCRIPTION

ISSUES & REVISIONS

CONSULTANT :

PROJECT :

PROJECT: T.I. FOR JANG SU JANG
PROJECT ADDRESS: 2814 SEPULVEDA BLVD. UNIT B
TORRANCE, CA 90505

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED

TITLE

PROPOSED
REFLECTED CEILING PLAN

SCALE

PROJECT NO.

DATE 08. 2024

DRAWING NO.

SHEET NO. A-003

PROPOSED REFLECTED CEILING PLAN

SCALE : 1/4" = 1'-0"

NOTE :

△		
△		
△		

NO.	DATE	REVISION DESCRIPTION
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ISSUES & REVISIONS

CONSULTANT :

PROJECT :

PROJECT: T.I. FOR JANG SU JANG
PROJECT ADDRESS: 2814 SEPULVEDA BLVD. UNIT B
TORRANCE, CA 90505

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED

TITLE

PROPOSED
EXTERIOR ELEVATION

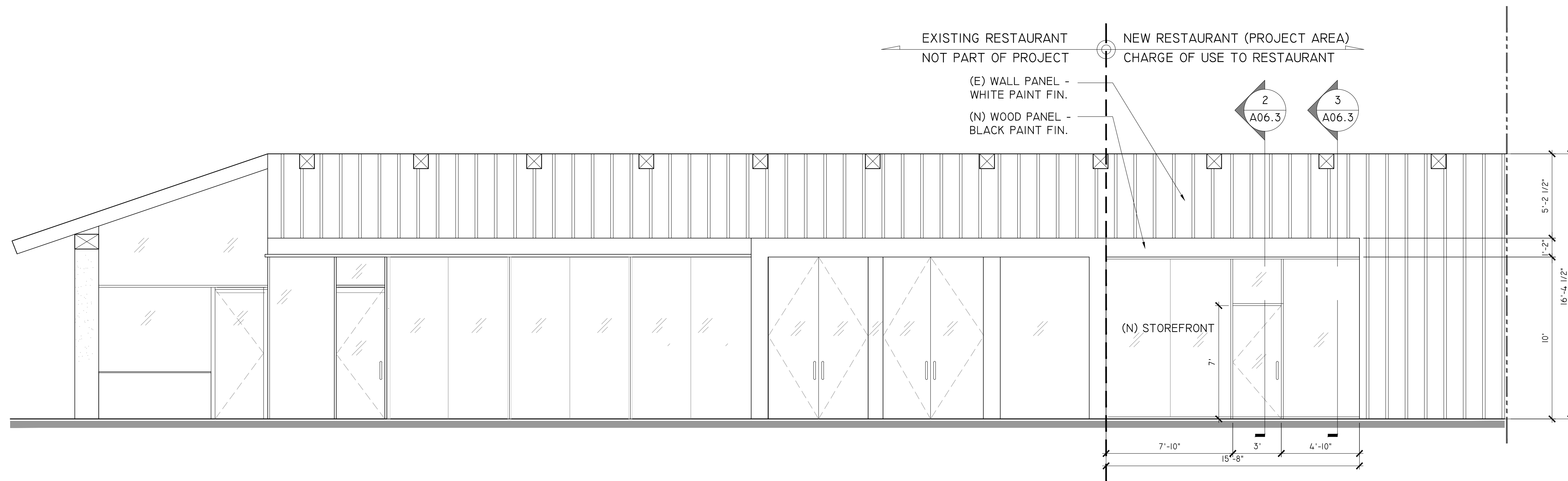
SCALE N.T.S.

PROJECT NO.

DATE

DRAWING NO.
08. 2024

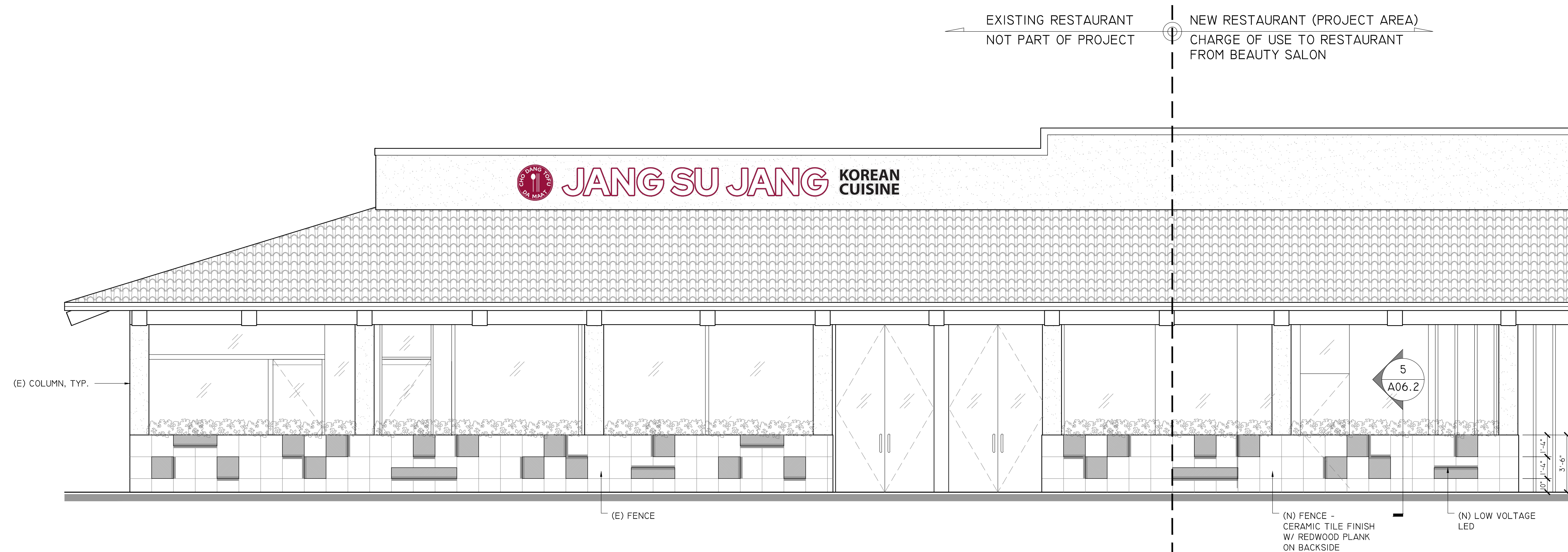
SHEET NO. A-004



PROPOSED EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

1



PROPOSED EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

2

AGENDA ITEM NO. 8C

DATE: October 16, 2024

TO: Planning Commission

FROM: Natalie Niemeyer, Planning Associate

SUBJECT: 19301 Prairie Avenue
Conditional Use Permit (CUP24-00020)

Consideration of a Conditional Use Permit to allow the operation of an automobile sales and repair facility on property located in the M-2 Zone at 19301 Prairie Avenue (APN 7352-001-042).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-064 for approval of a Conditional Use Permit to allow the operation of an automobile sales and repair facility on property located in the M-2 Zone at 19301 Prairie Avenue, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Sony Honda Mobility of America Inc. (Torrance IE Property Owner, LP), requests approval by the Planning Commission to allow the operation of an automobile sales and repair facility within an existing warehouse building on property located in the M-2 Zone at 19301 Prairie Avenue.

The development standards of the M-2 Zone (Heavy Manufacturing District) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Conditional Use Permit (CUP) to allow operation of an automobile sales and repair facility in the M-2 Zone.

Staff has thoroughly reviewed the project and determined the project is consistent with the Light Industrial (I-LT) land use designation and complies with the objective development standards of the Torrance Municipal Code, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible or no expansion of use is Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of Light Industrial (I-LT), which allows a wide range of industrial uses where manufacturing or assembly is primarily limited to enclosed buildings, professional and medical office, research and development, warehouse, and wholesale uses. Industrial development is limited to a 0.6 Floor Area Ratio (FAR). The proposed operation of an automobile sales and repair facility is consistent with the Light Industrial land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as M-2 Zone (Heavy Manufacturing District) and is surrounded by parcels that share the same zoning designation to the north, south, east, and west.

NORTH: M-2 Warehouse Use
SOUTH: M-2 Warehouse Use
EAST: M-2 Petroleum Refinery
WEST: M-2 Manufacturing Use

Project Site

The project site is located within an industrial area south of 190th Street and west of Prairie Avenue and bounded by industrial uses. The site features an irregular shape lot measuring 5.66 acres and is developed with a 107,452 square foot light industrial warehouse building with associated parking and loading areas. The light industrial warehouse building features 18 loading docks, 147 parking spaces for employee and customer use, and a 10,040 square foot mezzanine for office use. Access to the site is provided via shared driveways and pedestrian connections along Prairie Avenue. Staff conducted a site visit and noted the building, parking, and landscaping were generally in good repair and properly maintained. There are no outstanding natural features on the site nor in the vicinity.

Tenant Improvements

The project involves tenant improvements to the warehouse building to accommodate the operation of an automobile sales and repair facility. The proposed improvements include minor exterior changes to the storefront, new entry doors, new vehicle and pedestrian ramps, new rooftop equipment, new transformer replacement, new signage, and miscellaneous site improvements. The proposed improvements also include interior changes to the building floor plan that include storage rooms, vehicle inspection rooms, customer vehicle delivery rooms, breakrooms, restrooms, battery chargers, and build-out of the interior 15,000 square foot office space. No new or additional building floor area is proposed. Staff notes that any proposed signs are subject to review by the Environmental Division to ensure compliance with the Torrance Municipal Code.

Business Operation

The project involves the operation of an automobile sales and repair facility with a delivery center for new vehicle inspection, preparation, and customer delivery. Additionally, the project will serve as the corporate office for the business with an estimated 100 employees onsite. The business will operate seven days a week between the hours of 8:00am to 8:00pm. Additional information is available in the Business Narrative (Attachment 4). Staff notes the business hours are compatible with the surrounding industrial uses and does not have concerns with the operating hours as proposed.

Parking Requirements

The parking requirement for an automobile sales facility is 1 parking space per 2,000 square feet of building area used for the display or storage of vehicles, plus 1 parking space per 2 employees during the time of maximum employment. The proposed automobile sales facility requires 109 parking spaces and the site provides 147 parking spaces. Therefore, no additional parking is required.

CONCLUSION

In the judgment of staff, the proposed automobile sales and repair facility with a delivery center and corporate office is compatible with the Light Industrial land use designation and consistent with the surrounding area which includes warehouses, manufacturing and office uses. The project meets the development standards of the Torrance Municipal Code, provides sufficient onsite parking, and will not conflict or interfere with the adjacent industrial businesses. The project also introduces a new business with corporate office and a new line of vehicle sales, as well as additional employment opportunities for the Torrance community. Therefore, staff recommends approval of the subject request, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-064
2. Location and Zoning Map
3. Code Requirements
4. Business Narrative
5. Project Plans

STAFF CONTACT

Natalie Niemeyer, Planning Associate
NNiemeyer@TorranceCA.gov

ITEM 8C
ATTACHMENT 1

Resolution No. 24-064

PLANNING COMMISSION RESOLUTION NO. 24-064

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF AN AUTOMOBILE SALES AND REPAIR FACILITY ON PROPERTY LOCATED IN THE M-2 ZONE AT 19301 PRAIRIE AVENUE.

**CUP24-00020: SONY HONDA MOBILITY OF AMERICA INC.
(TORRANCE IE PROPERTY OWNER, L.P.)**

WHEREAS, the, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on October 16, 2024 to consider an application filed by Sony Honda Mobility of America Inc. (Torrance IE Property Owner, L.P.) for a Conditional Use Permit (CUP24-00020) to allow the operation of an automobile sales and repair facility on property located in the M-2 Zone at 19301 Prairie Avenue; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 19301 Prairie Avenue (APN 7352-001-042);
- b) That the property is described as PM 418-15-23 LOT 2 as per the map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible or no expansion of use is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the operation of an automobile sales and repair facility is conditionally permitted in the M-2 Zone (Heavy Manufacturing District) and is consistent with consistent with the Light Industrial (I-LT) land use designation;
- e) That the proposed operation of an automobile sales and repair facility, as conditioned, will not impair the integrity and character of the M-2 Zone because the automobile sales and repair facility is compatible with the surrounding area which includes warehouses, manufacturing and office uses;
- f) That the subject site is physically suitable for the proposed operation of an automobile sales and repair facility, as conditioned, because the automobile sales and repair facility will occupy an existing warehouse building and sufficient parking is provided onsite;
- g) That the proposed operation of an automobile sales and repair facility, as conditioned, will be compatible with existing and proposed future land uses within the M-2 Zone and the general area in which it is located because the surrounding uses are a mixture of warehouse, manufacturing, and office;

- h) That the proposed operation of an automobile sales and repair facility, as conditioned, will encourage and be consistent with the orderly development of the City as provided in the General Plan as the automobile sales and repair facility, as conditioned, is a compatible use within the existing warehouse building;
- i) That the proposed operation of an automobile sales and repair facility, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the automobile sales and repair facility is compatible with current uses in the surrounding vicinity;
- j) That there are adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed operation of an automobile sales and repair facility will not be detrimental to public health and safety;
- k) That there are adequate provisions for public access to serve the proposed operation of an automobile sales and repair facility because vehicular and pedestrian access are provided along Prairie Avenue;
- l) That the proposed location, size, design and operating characteristics of the proposed operation of an automobile sales and repair facility, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area; and
- m) That the proposed use, as conditioned, will not produce any or all the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** CUP24-00020, subject to conditions:

AYES: COMMISSIONERS:
 NOES: COMMISSIONERS:
 ABSENT: COMMISSIONERS:
 ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00020 filed by Sony Honda Mobility of America Inc. (Torrance IE Property Owner, L.P.) to allow the operation of an automobile sales and repair facility on property located in the M-2 Zone at 19301 Prairie Avenue, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for the operation of an automobile sales and repair facility shall be subject to all conditions imposed in Conditional Use Permit 24-00020; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if Conditional Use Permit 24-00020 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of Planning Commission Resolution No. 24-064 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That within 30 days of the final public hearing the "Public Notice" sign and stake shall be returned to the Community Development Department; and (Planning)
5. That all persons associated with the business operation shall be required to park onsite, including customers, clients, employees, deliveries, etc.; (Planning)
6. That all loading and unloading of vehicles and inventory shall be performed onsite; (Planning)
7. That all service and repair of vehicles shall be conducted inside the building or within the designated truck courts and shall not obstruct access to employee and customer parking spaces; (Planning)
8. That all product inventory, cargo pallets, delivery trucks, and shipping containers shall be stored inside the building or within the designated truck courts and shall not obstruct access to employee and customer parking spaces; (Planning)
9. That no stacking of shipping containers, cargo pallets, or similar items shall be permitted outside of the building; (Planning)
10. That no vending machines, publication racks, telephones, kiosks, donation bins or similar items shall be permitted outside of the building; (Planning)
11. That no public address speakers, radios, paging, telephone bells, buzzers, or similar signaling devices shall be permitted outside of the building; (Planning)
12. That the new transformer replacement shall be effectively screened with landscaping to the satisfaction of the Community Development Director; (Planning)
13. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
14. That no temporary signs shall be displayed outside of the building including freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs; and (Environmental)
15. That the business name and address shall be visible from the street; (Police)
16. That Knox box locks shall be provided for all secured vehicle gates and main entrance doorways to allow emergency access for the Torrance Police Department and the Torrance Fire Department; (Police)

17. That the applicants shall install surveillance cameras to monitor entry/exits, loading areas, cash handling areas (as applicable), offices housing store assets, vehicle storage floor, and parking lot. Security cameras shall be maintained in proper working order at all times and stored video data shall be made available to Police upon request. Surveillance footage shall be stored for no less than 60 days. Should the applicants elect to share video security feed access with Police, surveillance system shall be Open Network Video Interface Forum (ONVIF) capable; (Police)
18. That the applicants shall install rooftop numbers in order to assist law enforcement and other emergency personnel locate the property. The numbers shall be 4' high and 2' wide, spaced 12" apart, be parallel to the street, and be a non-reflective color that contrasts the color of the roof; (Police)
19. That within 30 days of the final public hearing a Trip Generation Analysis shall be prepared by the applicant and submitted to the Public Works Department for review and based on its findings or determinations the applicant may be required to perform further analysis and/or provide for the installation of circulation enhancements to offset any potentially identified negative effect to traffic circulation and/or traffic safety to the satisfaction of the Public Works Director; (Public Works)
20. That a one-time payment in the amount of \$10,000.00 shall be made to the City of Torrance for the purchase and installation of eight (8) new contactless pedestrian push buttons for the signalized intersection of Prairie Avenue and 190th Street to the satisfaction of the Public Works Director; and (Public Works)
21. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

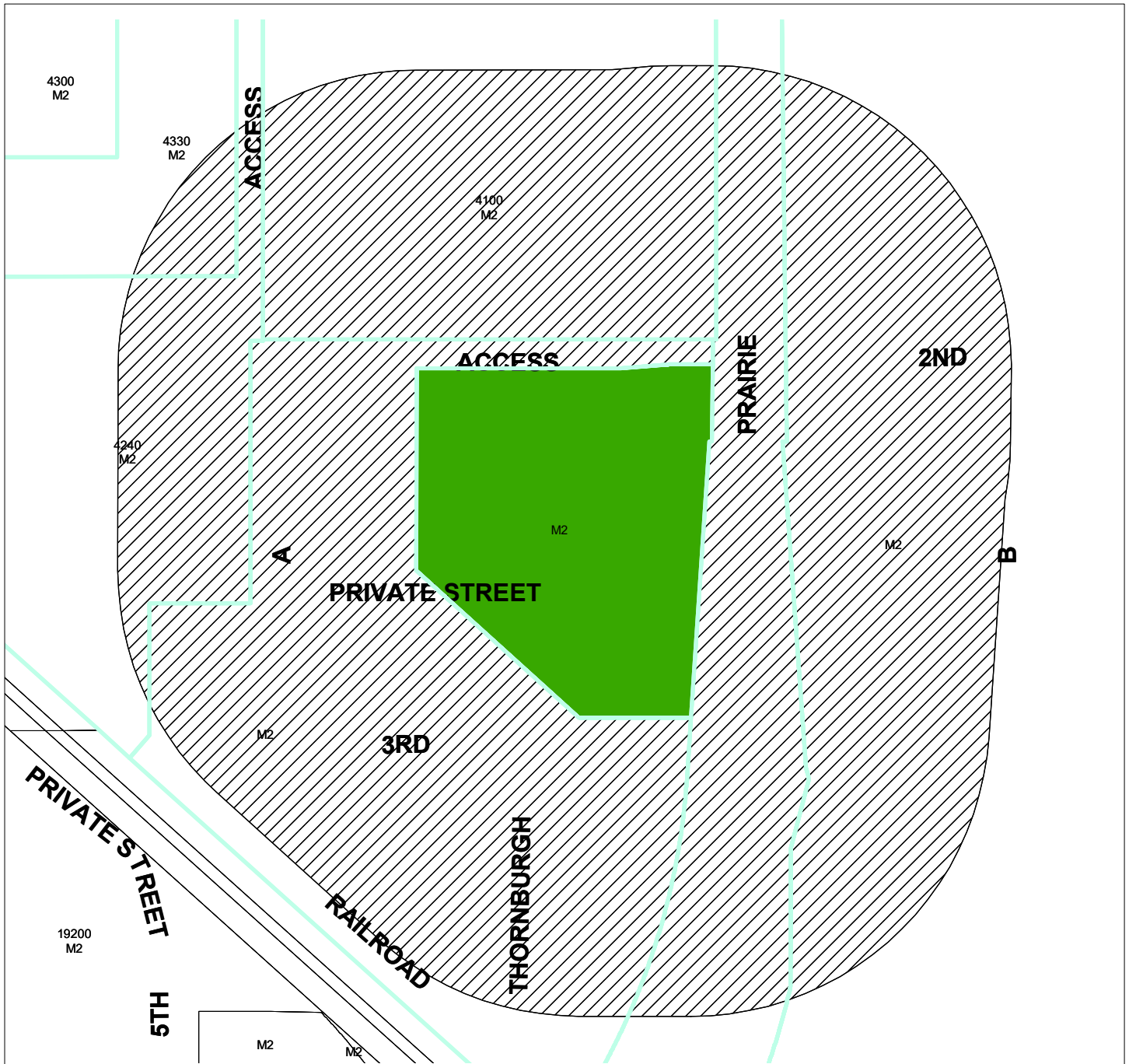
ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8C
ATTACHMENT 2

Location and Zoning Map



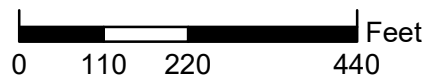
LOCATION AND ZONING MAP

CUP24-00020
19301 Prairie Ave.



LEGEND

-  Notification Area
-  19301 Praire Ave



ITEM 8C
ATTACHMENT 3
Code Requirements

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC, AND CGBC.
2. Provide area analysis to comply with Table 506.2 based on the correct occupancy group.
3. Comply with occupancy separation per Table 508.4.

ENVIRONMENTAL

4. Screen all new roof equipment from public view per Torrance code (92.30.2).
5. No freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable.

FIRE

6. Indoor EV charging subject to additional review, and must comply with California Fire Code and Torrance Fire Ordinances. Submittal of manufacturer specifications on EV charging units to be cleared with Fire prior to issuance of permits. If determined that EV charging cannot be allowed indoors, EV charging units to be placed outdoors.
7. Storage of EV batteries to comply with California Fire Code and Torrance Fire Ordinances. Formal plan submittal of storage and quantity, with manufacturer specifications and Safety Data Sheets on batteries, to be cleared with Fire prior to issuance of permits.

ITEM 8C
ATTACHMENT 4

Business Narrative



Project Narrative

Sony Honda Mobility (SHM) is a new electric vehicle company that will sell its AFEELA brand of vehicles in California from 2026. SHM intends to renovate the building at 19301 Prairie Avenue to make it the company's Southern California delivery center for new vehicles. Newly built vehicles will be shipped from the factory to this facility, inspected and prepared for customer delivery, and customers will take delivery of their vehicles from this location. This building will also serve as SHM's corporate offices and include office working space for approximately 70 white collar staff. The warehouse delivery center is expected to employ an additional 30 employees. The Torrance delivery center intends to be open 7 days a week between the hours of 8 AM and 8 PM. Renovations to the building include new vehicle battery chargers; new storage rooms, vehicle inspection rooms, breakrooms, restrooms, customer vehicle delivery rooms; upgrades to the building utilities; installation of vehicle inspection equipment such as lifts; build-out of the interior 15,000 SF office space; and some building signage and façade improvements. SHM's Torrance delivery center will add dozens of skilled jobs to the city, and attract the public to Torrance as the region's only AFEELA showroom.

ITEM 8C
ATTACHMENT 5

Project Plans

SHM DELIVERY CENTER - CONDITIONAL USE PERMIT

19301 PRAIRIE AVE., TORRANCE, CA 90503

INITIAL SUBMITTAL

08/30/24



SHM DELIVERY CENTER - CONDITIONAL USE PERMIT
SONY HONDA MOBILITY OF AMERICA INC.
19301 PRAIRIE AVE., TORRANCE, CA 90503

JOB NO.	2351SHM-D
PM	MC
DATE	08/30/24

COVER SHEET
G01

DIRECTORY

SHEET INDEX (6 SHEETS)

VICINITY MAP

OWNER

KP TORRANCE PRAIRIE OWNER, LLC
ADDRESS: 1875 CENTURY PARK EAST, SUITE 380
LOS ANGELES, CA 90067
TEL: (310) 203-1840
CONTACT: HOONIE S. KANG
E-MAIL: hkang@kearny.com

TENANT

SONY HONDA MOBILITY AMERICA, INC.
ADDRESS: 10202 WASHINGTON BLVD., AUTRY 3RD FLOOR
CULVER CITY, CA 90232
TEL: (650) 219-9446
CONTACT: SHUGO YAMAGUCHI
E-MAIL: shugoyam03@sony-honda-mobility.com

ARCHITECT

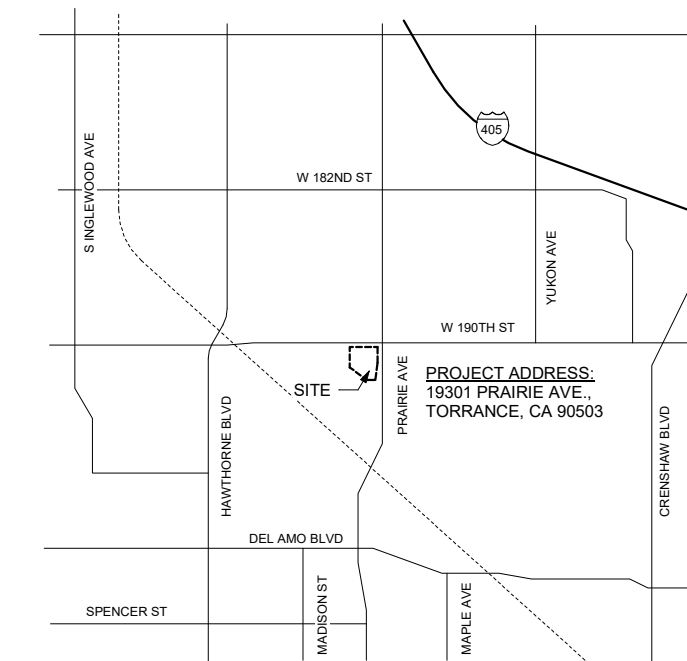
SATOH BROTHERS INTERNATIONAL, INC
ADDRESS: 19750 S. VERMONT AVE, SUITE 100,
TORRANCE, CA 90502
TEL: (310) 768-2700
CONTACT: MELISSA CEDARHOLM
E-MAIL: mcedarholm@satohbrothers.com

GENERAL

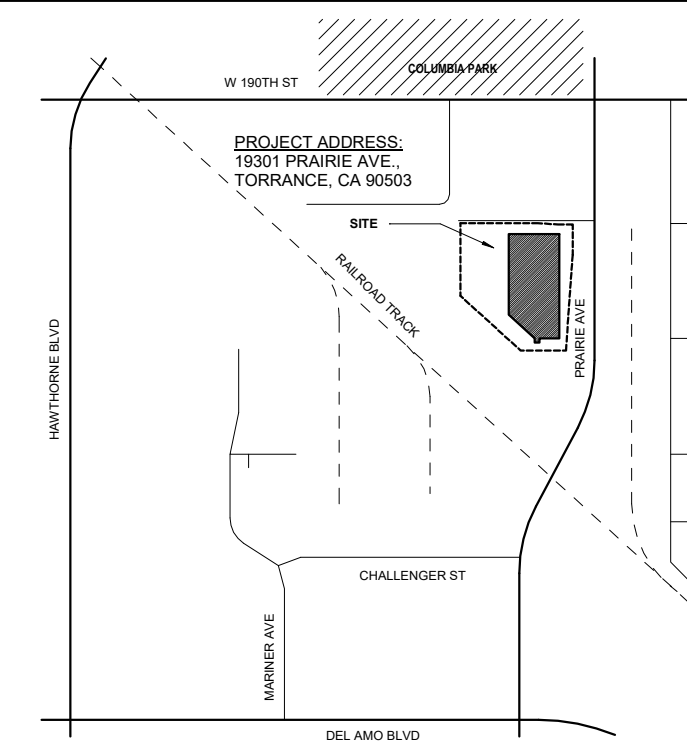
G01 COVER SHEET

ARCHITECTURAL

A01 PROJECT INFORMATION AND SITE PLAN
A10 FIRST FLOOR PLAN
A11 MEZZANINE FLOOR PLAN
A20 EXTERIOR ELEVATIONS
A21 EXTERIOR ELEVATIONS



LOCATION MAP



PROJECT DATA

BUILDING DATA

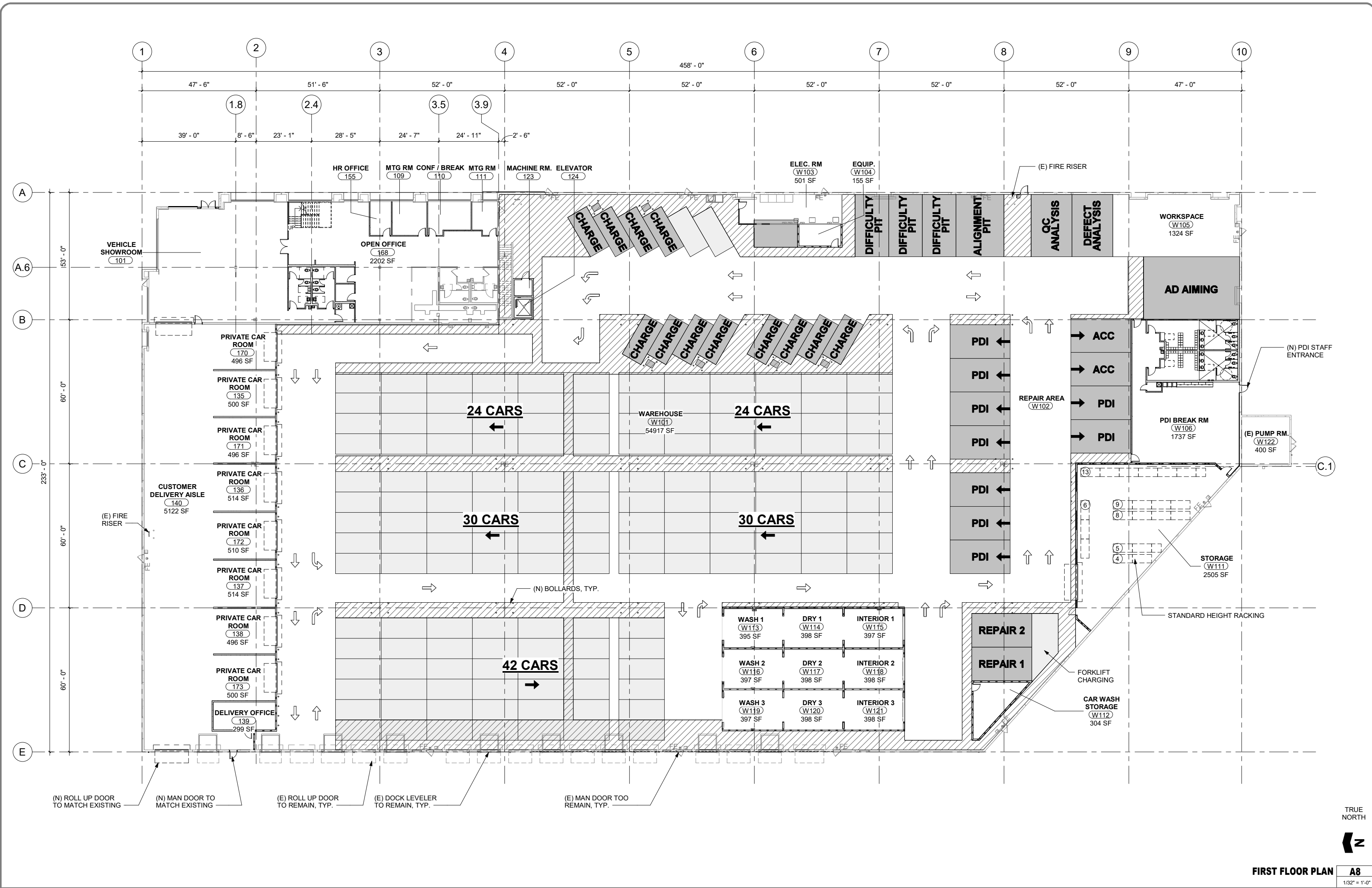
PROJECT SUMMARY

EXISTING 107,452 SQ.FT. 1-STORY CONCRETE TILT UP WAREHOUSE BUILDING WITH AN OFFICE AND MEZZANINE TO RECEIVE TENANT IMPROVEMENT FOR NEW VEHICLE DELIVERY CENTER INCLUDING SALES, SERVICE, AND REPAIR. NO NEW OR ADDITIONAL SQ.FT. PROPOSED

SCOPE OF WORK

- SITE**
 - MODIFY CONCRETE ENTRANCE STAIR, ACCESSIBLE RAMPS & ASSOCIATED RAILS
 - EXPAND CONCRETE ENTRANCE LANDING FOR DISPLAY VEHICLE
 - NEW CONCRETE VEHICLE RAMP AT LOADING DOCK
 - NEW CONCRETE PEDESTRIAN RAMP & STAIR AT LOADING DOCK
 - NEW CLARIFIER ADJACENT TO LOADING DOCK
 - NEW CONCRETE LANDINGS AT TWO (2) NEW MAN DOORS
 - NEW ILLUMINATED MONUMENT SIGN
 - REPLACE EXISTING TRANSFORMER WITH NEW TRANSFORMER
- INTERIOR**
 - NEW LAYOUT IN OFFICE, MEZZANINE AND WAREHOUSE
 - NEW ELECTRICAL, MECHANICAL & PLUMBING
 - NEW FINISHES THROUGHOUT
- EXTERIOR**
 - REPLACE STOREFRONT ENTRANCE WITH NEW BIFOLD GARAGE DOOR AND STOREFRONT ENTRANCE
 - NEW TENANT PLACARD
 - NEW ILLUMINATED TENANT SIGNAGE
 - THREE (3) NEW MAN DOORS
 - REPLACE (1) LOADING DOCK ROLL UP DOOR WITH (1) MAN DOOR
 - NEW ROLL UP DOOR AT LOADING DOCK
 - RELOCATE VENT
 - NEW ROOFTOP HVAC

LOT:	5.66 ACRES
LEGAL DESCRIPTION:	PM 418-15-23 LOT 2
APN:	7352-001-042
ZONE:	M2
OCCUPANCY TYPE: (NO CHANGE)	(S-1) WAREHOUSE, (B) OFFICE
BLDG AREA: (NO CHANGE)	107,452 SQ.FT.
BUILDING HEIGHT: (NO CHANGE)	(E) 1- STORY , 50' - 0" W/ MEZZANINE
SPRINKLER: (NO CHANGE)	(E) YES, FULLY SPRINKLERED
FIRE ALARM: (NO CHANGE)	(E) YES
CONSTRUCTION TYPE: (NO CHANGE)	III - B, FULLY SPRINKLERED



FIRST FLOOR PLAN A8
1/32" = 1'-0"

LEGEND

	VEHICLE STOCK PARKING
	PEDESTRIAN CIRCULATION
	VEHICLE PREPARATION BAY (CHARGER, PDI, ACC, REPAIR)
	(E) WALL
	(N) WALL
	FIRE EXTINGUISHER
	EXIT

PLUMBING FIXTURE CALC.

1ST FLOOR
[PER CPC 2022 TABLE 4-1 & CPC 2022 TABLE 422.1]

A-2-OCCUPANCY (ASSEMBLY: LOUNGE)
SHOWROOM: 2,891 SF / 15 OLF = 192.7 OCC

REQUIRED:	PROVIDED:
MEN: WC: 2	WC: 2
URINAL: 1	URINAL: 1
LAV: 1	LAV: 1
WOMEN: WC: 3	WC: 3
LAV: 1	LAV: 1
DF: 1	DF: 1
SERVICE SINK: 1	SERVICE SINK: 1

B-OCCUPANCY (OFFICE)
3,224 SF / 150 OLF = 21.5 OCC

REQUIRED:	PROVIDED:
MEN: WC: 1	WC: 1
URINAL: 1	URINAL: 1
LAV: 1	LAV: 1
WOMEN: WC: 2	WC: 2
LAV: 1	LAV: 1
DF: 1	DF: 1
SERVICE SINK: 1	SERVICE SINK: 1

S-1-OCCUPANCY (MOD. HAZ. STORAGE)
91,200 SF / 500 OLF = 182.4 OCC

REQUIRED:	PROVIDED:
WC: 1	WC: 4
URINAL: N/A	URINAL: N/A
LAV: 1	LAV: 4
WOMEN: WC: 1	WC: 4
LAV: 1	LAV: 4
DF: 1	DF: 1
SERVICE SINK: 1	SERVICE SINK: 1

EGRESS CALCULATION

MIN. NUMBER OF EXITS:
[1008.3.3]
S-1: 183 OCC + A-2: 193 OCC + B: 22 OCC = 398 OCC TOTAL
1-500 OCC. (2) EXITS REQ'D < (17) EXITS PROVIDED

DISTANCE BETWEEN EXITS:
ALTERNATE MEANS TO SPACING FIRE ACCESS DOORS @ 125' ON CENTER PER CFC 3206.7

MAX. EXIT ACCESS TRAVEL DISTANCE:
[TABLE 1017.2] 250'-0" MAX ALLOWED > 145'-9" PROVIDED
:OK

EGRESS WIDTH:
[1005.3.2]
398 OCC. X 0.2 = 79.6" MIN REQ'D
(17) 36" DOORS
:OK

INCIDENTAL USES:
ELECTRICAL INSTALLATION AND TRANSFORMERS:
CONFORM TO 110.26 - 110.34 & 450.8 - 450.48 OF CEC 2022 FOR PROTECTION AND SEPARATION REQUIREMENTS

BUILDING INFORMATION

TOTAL BUILDING AREA:
[1008.3.1]
1ST FLOOR: 99,610 GSF + MEZZANINE: 10,040 GSF = 109,650 SF

OCCUPANCY CLASSIFICATION AND USE:
S-1: MODERATE HAZARD STORAGE
VEHICLES, LIMITED VEHICLE PARTS, VEHICLE FLUIDS, CAR WASH
B: BUSINESS
VEHICLE SHOWROOM, OFFICE

H-1: HIGH HAZARD - VEHICLE BATTERIES COMBUSTIBLE STORAGE:
COMMODITY CLASSIFICATION CFC 2022 TABLE 3203.8
PRODUCT: BATTERIES; VEHICLES; ANY SIZE
CLASSIFICATION: HIGH HAZARD (GROUP A UNEXPANDED)

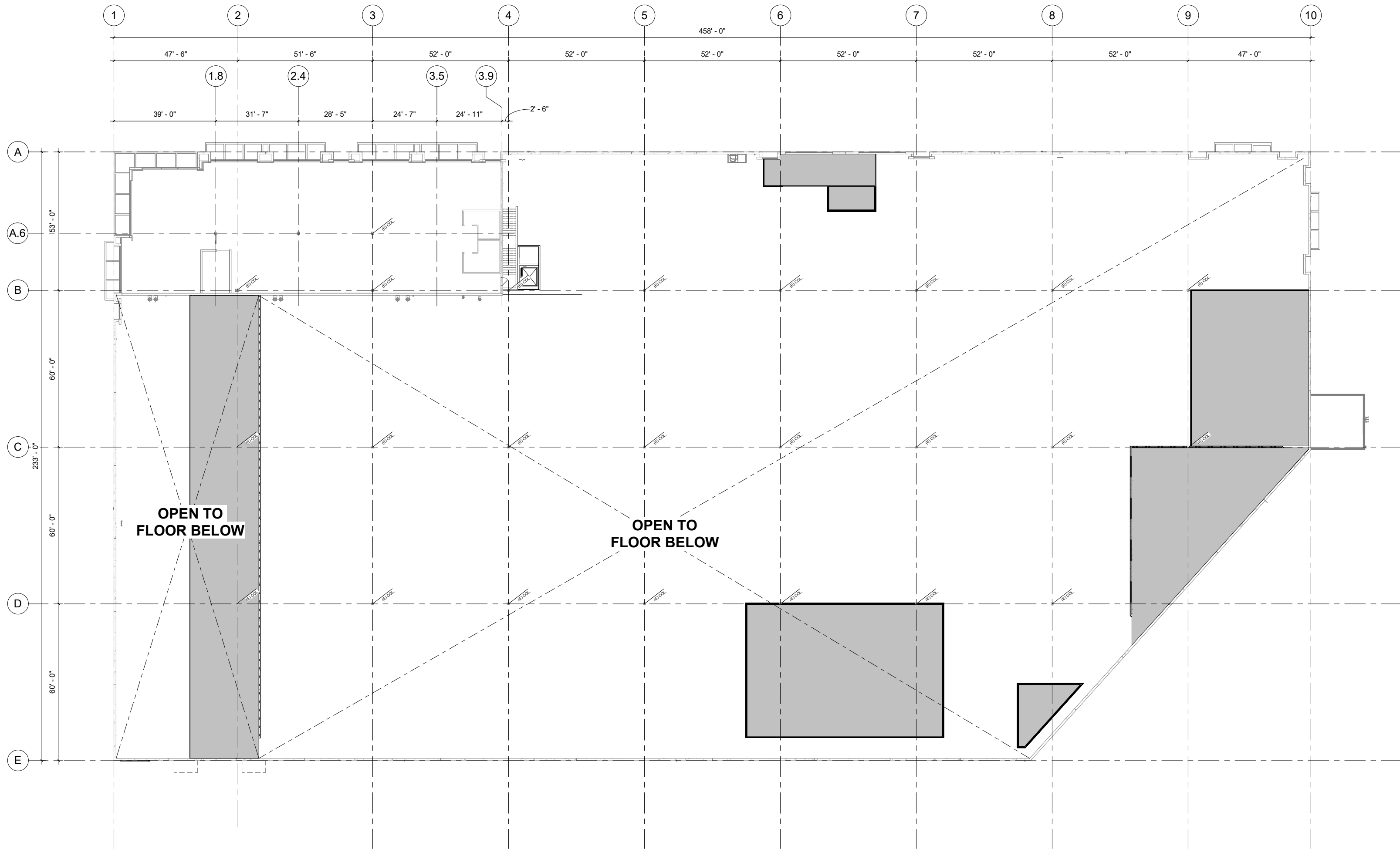
CFC 2022 TABLE 3206.2
501-2,500 SF NOT OPEN TO PUBLIC (OPTION 2)

AUTOMATIC FIRE EXTINGUISHING SYSTEM: NOT REQ'D
FIRE DETECTION SYSTEM: REQ'D
FIRE DEPARTMENT ACCESS DOORS: REQ'D
SMOKE AND HEAT REMOVAL: REQ'D
MAX. PILE DIMENSION: 60 FEET
MAX. PERMISSIBLE STORAGE HEIGHT: 20 FEET
MAX. PILE VOLUME: 50,000 CUBIC FEET

JOB NO.	2351SHM-D
PM	MC
DATE	08/30/24
FIRST FLOOR PLAN	



SHM DELIVERY CENTER - CONDITIONAL USE PERMIT
SONY HONDA MOBILITY OF AMERICA INC.
19301 PRAIRIE AVE., TORRANCE, CA 90503



FLOOR PLAN - MEZZANINE A8
1/32" = 1'-0"

LEGEND

- (E) WALL
- (N) WALL
- INDICATES CEILING OF ROOM BELOW
- ⊘ (E) COLUMN

PLUMBING FIXTURE CALC.

MEZZANINE
[PER CPC 2022 TABLE 4-1 & CPC 2022 TABLE 422.1]

B-OCCUPANCY (BUSINESS)
OFFICE: 7,140 SF / 150 OLF = 47.6 OCC
TOTAL 48 OCC

MEN:	REQUIRED:	PROVIDED:
	WC: 1	WC: 2
	URINAL: 1	URINAL: 1
	LAV: 1	LAV: 2
	WC: 2	WC: 3
	LAV: 1	LAV: 2
WOMEN:		
	DF: 1	DF: 1
	SERVICE SINK: 1	SERVICE SINK: 1

EGRESS CALCULATION

MIN. NUMBER OF EXITS:
[1006.3.3]
B: 188 OCC
1-500 OCC. (2) EXITS REQ'D < (2) EXITS PROVIDED

MAX. EXIT ACCESS TRAVEL DISTANCE:
(SPRINKLERED, F-1)
[TABLE 1017.2] 250'-0" MAX ALLOWED > 154'-2" PROVIDED
:OK

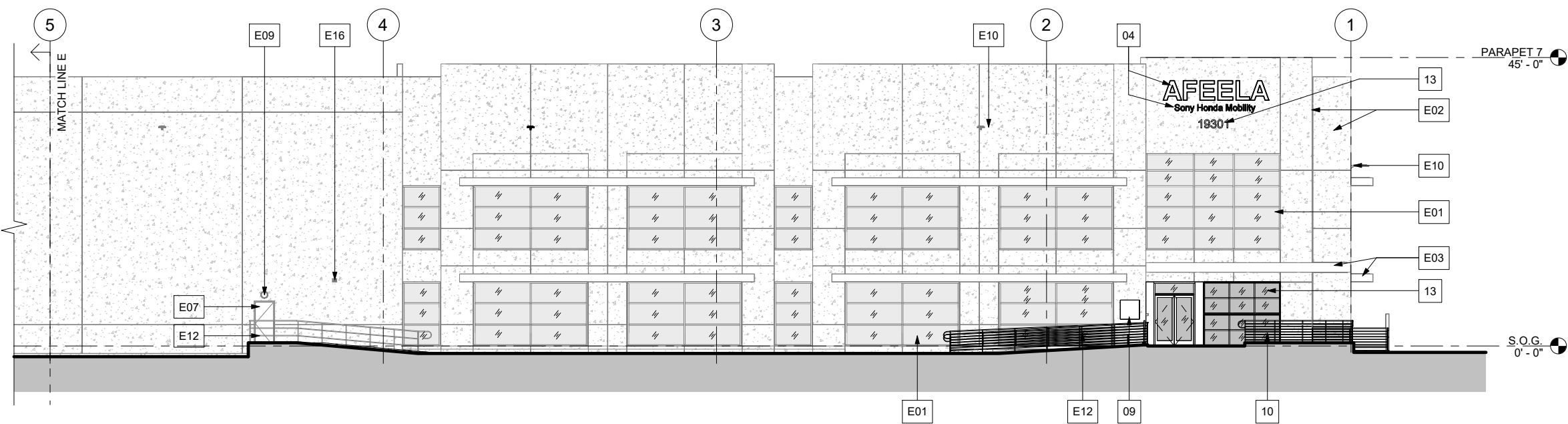
Satoh Brothers International, Inc.
19750 S. VERMONT AVE. SUITE 100 TORRANCE, CA 90502
TEL 310.768.2700 FAX 310.532.8878 www.satohbrothers.com



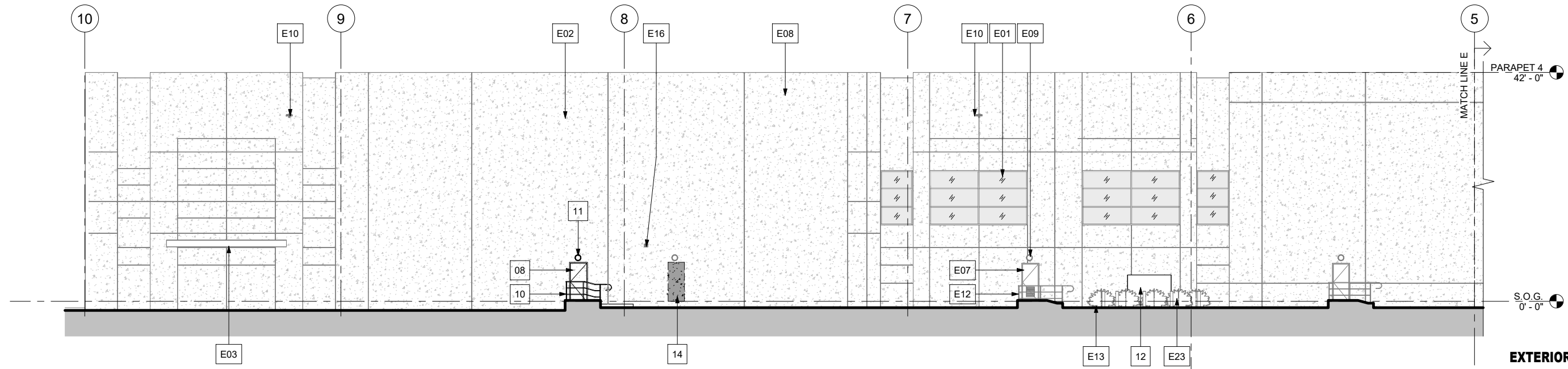
SHM DELIVERY CENTER - CONDITIONAL USE PERMIT
SONY HONDA MOBILITY OF AMERICA INC.
19301 PRAIRIE AVE., TORRANCE, CA 90503

JOB NO.	2351SHM-D
PM	MC
DATE	08/30/24

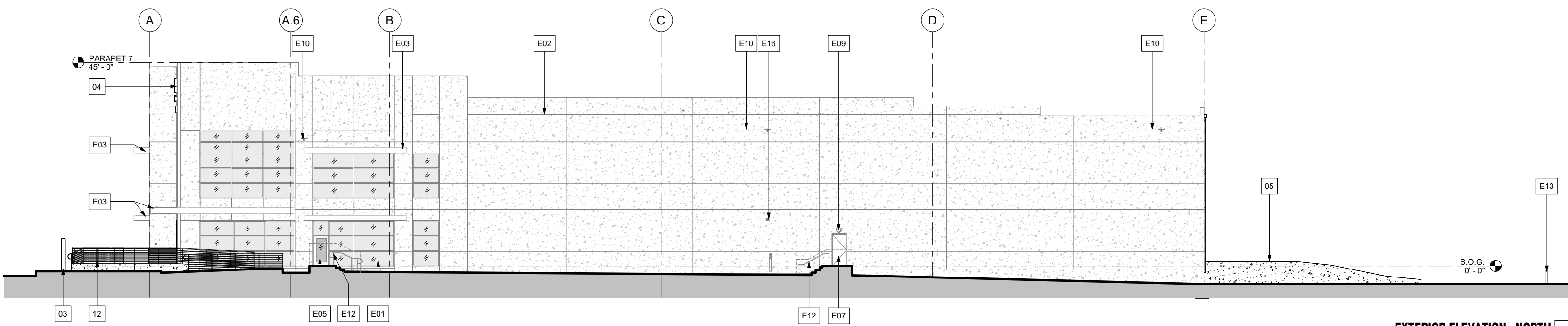
MEZZANINE FLOOR PLAN



EXTERIOR ELEVATION - EAST 1 A2
1" = 20'-0"



EXTERIOR ELEVATION - EAST 2 A5
1" = 20'-0"



EXTERIOR ELEVATION - NORTH A8
1" = 20'-0"

LEGEND

	DENOTES GLAZING
	DENOTES AREA OF DEMOLITION

KEYNOTES

EXISTING	NEW
E01	01 STOREFRONT
E02	02 BIFOLD GARAGE DOOR
E03	03 ILLUMINATED MONUMENT SIGN
E04	04 ILLUMINATED DIMENSIONAL SIGNAGE
E05	05 CONCRETE VEHICLE RAMP
E06	06 CONCRETE STAIRS
E07	07 14' X 12' FT. ROLL UP DOOR TO MATCH EXISTING
E08	08 STEEL MAN DOOR TO MATCH EXISTING
E09	09 TENANT PLACARD
E10	10 STEEL PIPE GUARDRAIL TO MATCH ADJ./ EXISTING, TYP.
E11	11 LED EMERGENCY LIGHT TO MATCH ADJ./ EXISTING, TYP.
E12	12 PAD MT. TRANSFORMER TO BE REPLACED
E13	13 ADDRESS SIGNAGE
E14	14 CONC. INFILL @ DEMO DOOR, TYP.
E15	15 CONC. REVEAL JOINT, MATCH STYLE & CONTINUE (E) PATTERN
E16	16 REROUTE DOWNSPOUT
E17	
E18	
E19	
E20	
E21	
E22	
E23	

- EXTERIOR ELEVATION NOTES**
- FOR FINISH MATERIAL AND COLORS, SEE
 - PROVIDE SELF-ADHESIVE WATERPROOFING MEMBRANE AROUND THE ENTIRE OPENING AT INCLUDING ALL EXPANSION JOINTS, CONTROL JOINTS, SKYLIGHTS, & OUTSIDE CORNERS OF ROOF & WALLS.
 - PAINT DOWNSPOUTS, FLASHING, COPING, ETC. TO MATCH ADJACENT FINISH COLOR, TYP.

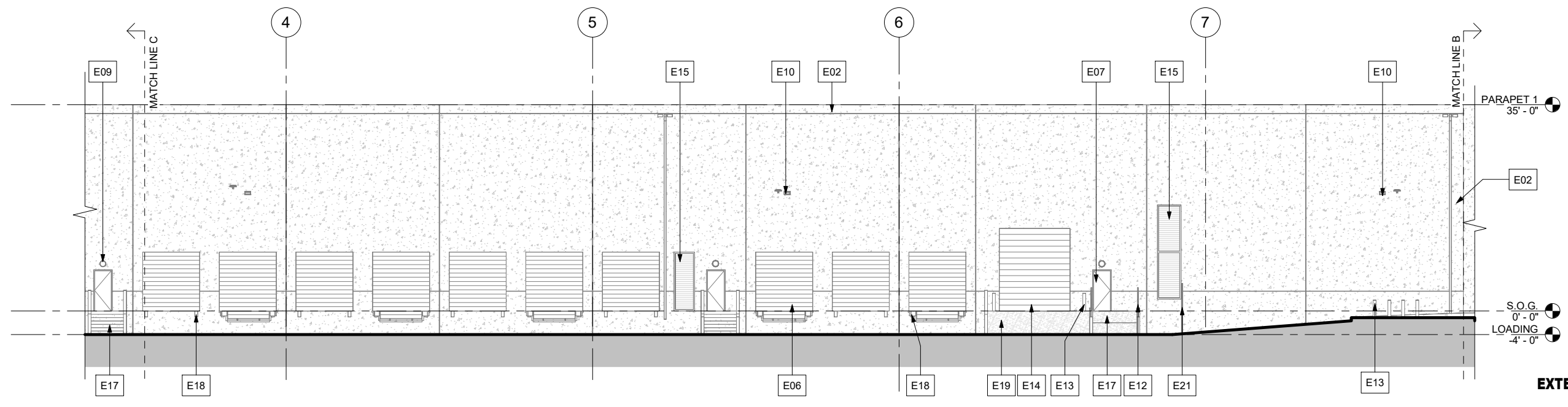
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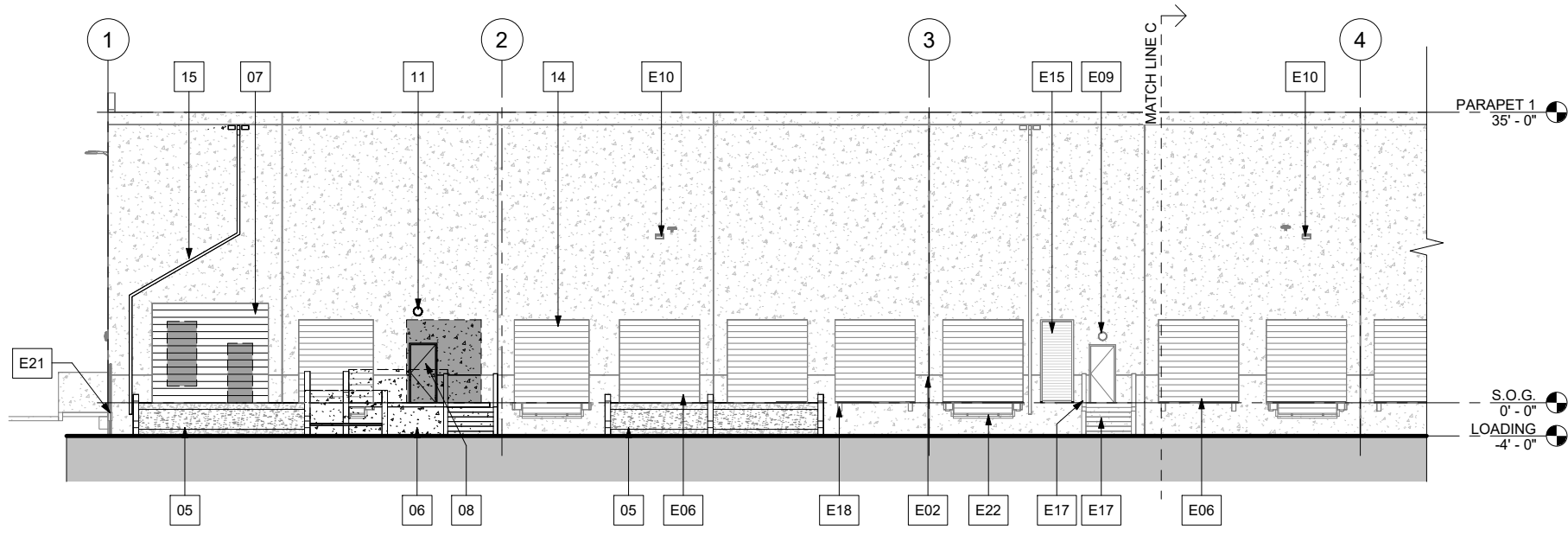
SHM DELIVERY CENTER - CONDITIONAL USE PERMIT
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 19301 PRAIRIE AVE., TORRANCE, CA 90503

JOB NO.	2351SHM-D
PM	MC
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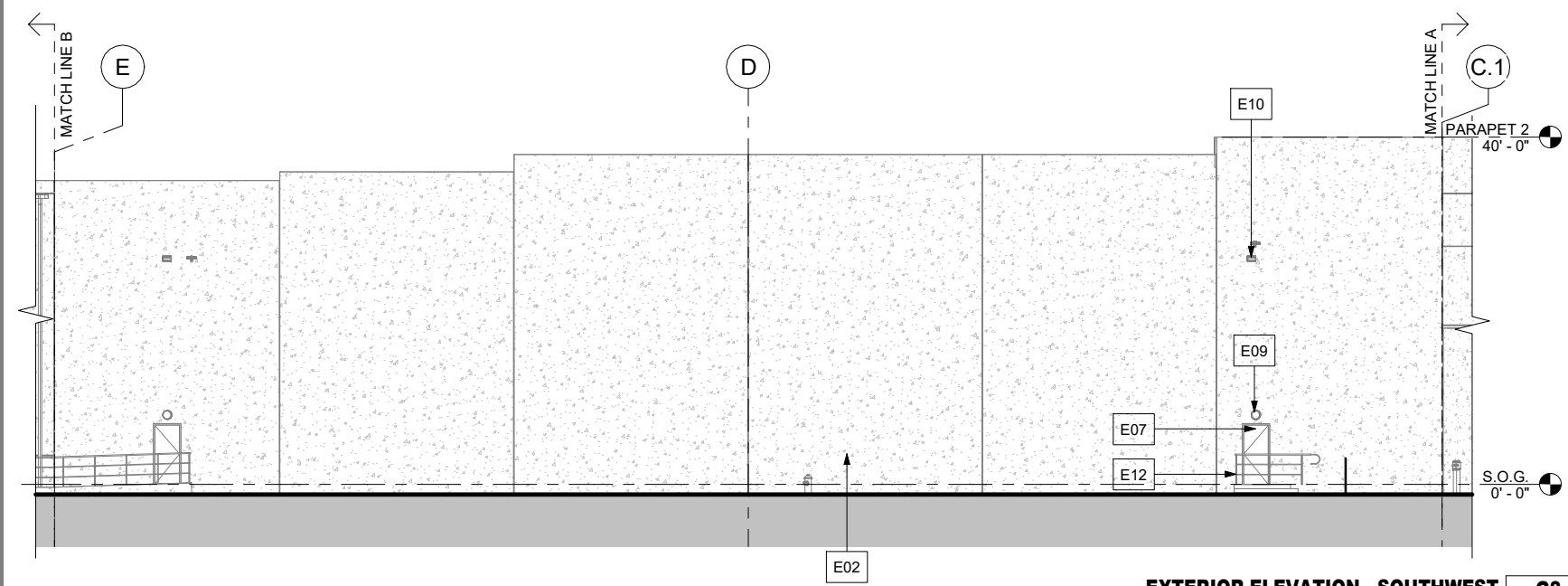
EXTERIOR ELEVATIONS



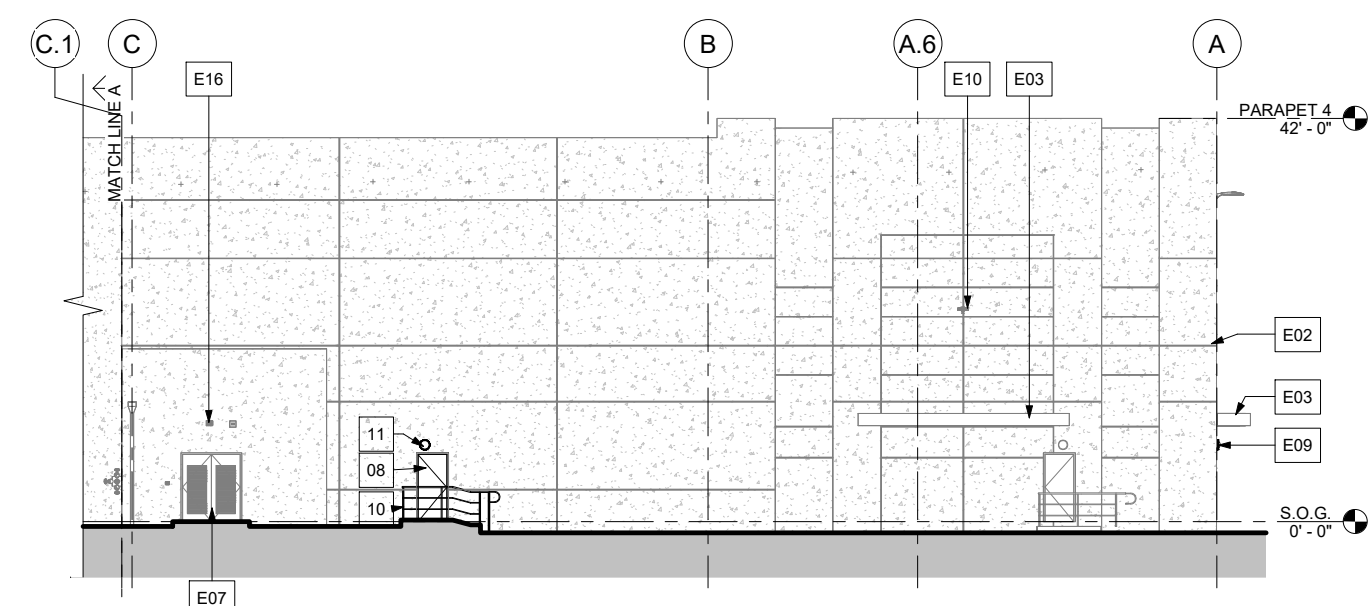
EXTERIOR ELEVATION - WEST **A2**
1" = 20'-0"



EXTERIOR ELEVATION - WEST 2 **A5**
1" = 20'-0"



EXTERIOR ELEVATION - SOUTHWEST **G8**
1" = 20'-0"



EXTERIOR ELEVATION - SOUTH **A8**
1" = 20'-0"

LEGEND

- DENOTES GLAZING
- DENOTES AREA OF DEMOLITION

KEYNOTES

- | | |
|--|---|
| <p>EXISTING</p> <ul style="list-style-type: none"> E01 FIXED ALUMINUM STOREFRONT TO REMAIN, TYP. E02 CONCRETE REVEAL JOINT, TYP. E03 STL. HSS EYEBROW, TYP. E04 EXTERIOR LIGHT FIXTURE E05 ALUMINUM STOREFRONT ENTRANCE, TYP. E06 9' X 10' FT. STEEL ROLL UP DOOR, TYP. E07 STEEL MAN DOOR, TYP. E08 CONCRETE TILT UP WALL, TYP. E09 LED EMERGENCY LIGHT, TYP. E10 WALL MOUNTED LIGHT, TYP. E11 FIRE ALARM E12 STEEL PIPE GUARDRAIL, TYP. E13 BOLLARD, TYP. E14 12' X 14' FT. ROLL UP DOOR, TYP. E15 LOUVERED METAL VENT, TYP. E16 FIRE ALARM E17 CONC. STAIR & RET. WALL E18 LOADING DOCK BUMPER, TYP. E19 CONC. PEDESTRIAN RAMP E20 CONC. VEHICLE RAMP E21 W.I. FENCE E22 DOCK LEVELER E23 PLANTING EQUIPMENT SCREEN | <p>NEW</p> <ul style="list-style-type: none"> 01 STOREFRONT 02 BIFOLD GARAGE DOOR 03 ILLUMINATED MONUMENTAL SIGN 04 ILLUMINATED DIMENSIONAL SIGNAGE 05 CONCRETE VEHICLE RAMP 06 CONCRETE STAIRS 07 14' X 12' FT. ROLL UP DOOR TO MATCH EXISTING 08 STEEL MAN DOOR TO MATCH EXISTING 09 TENANT PLACARD 10 STEEL PIPE GUARDRAIL TO MATCH ADJ./ EXISTING, TYP. 11 LED EMERGENCY LIGHT TO MATCH ADJ./ EXISTING, TYP. 12 PAD MT. TRANSFORMER TO BE REPLACED 13 ADDRESS SIGNAGE 14 CONC. INFILL @ DEMO DOOR, TYP. 15 CONC. REVEAL JOINT, MATCH STYLE & CONTINUE (E) PATTERN 15 REROUTE DOWNSPOUT |
|--|---|

EXTERIOR ELEVATION NOTES

1. FOR FINISH MATERIAL AND COLORS, SEE
2. PROVIDE SELF-ADHESIVE WATERPROOFING MEMBRANE AROUND THE ENTIRE OPENING AT INCLUDING ALL EXPANSION JOINTS, CONTROL JOINTS, SKYLIGHTS, & OUTSIDE CORNERS OF ROOF & WALLS.
3. PAINT DOWNSPOUTS, FLASHING, COPING, ETC. TO MATCH ADJACENT FINISH COLOR, TYP.

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SHM DELIVERY CENTER - CONDITIONAL USE PERMIT
 SONY HONDA MOBILITY OF AMERICA INC.
 19301 PRAIRIE AVE., TORRANCE, CA 90503

JOB NO.	2351SHM-D
PM	MC
DATE	08/30/24

EXTERIOR ELEVATIONS

AGENDA ITEM NO. 8D

DATE: October 16, 2024
TO: Planning Commission
FROM: Soc Angelo Yumul, Planning Associate
SUBJECT: 21880 Hawthorne Boulevard, #323A (APN 7366-019-185)
Conditional Use Permit (CUP24-00018)

Consideration of a Conditional Use Permit to allow the operation of an indoor commercial recreation facility at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-065 for approval a Conditional Use Permit to allow the operation of an indoor commercial recreation facility at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Ertiol Koci (Del Amo Fashion Center Operating Company, LLC), requests approval by the Planning Commission to allow the operation of an indoor commercial recreation facility, an aquatics center, at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A.

The development standards of the Hawthorne Boulevard Corridor Specific Plan and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow the operation of an indoor commercial recreation facility.

Staff has thoroughly reviewed the project and determined the project is consistent with the Commercial Center land use designation and complies with the objective development standards of the H-DA1 Zone, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

Minor alterations of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Sections 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of Commercial Center (C-CTR), which allows a maximum floor area ratio of 1.0. Development in the Commercial Center land use designation is characterized generally by a concentration of diverse or intense commercial uses. The proposed indoor commercial recreation facility operation within an existing regional shopping center is consistent with the Commercial Center designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as H-DA1 Zone (Hawthorne Boulevard Corridor Specific Plan, Del Amo Business Sub-District One) and bounded by multiple parcels that share the same zoning designation or designated as H-DA2 (Hawthorne Boulevard Corridor Specific Plan, Del Amo Business Sub-District Two), and developed with similar land uses.

NORTH: H-DA1 Regional Shopping Center
SOUTH: H-DA1 Regional Shopping Center
EAST: H-DA2 Regional Shopping Center
WEST: H-DA1 Regional Shopping Center

Project Site

The site is currently developed as the Del Amo Fashion Center, a regional shopping center. The site's topography is relatively flat and encompasses approximately 136 acres. The Del Amo Fashion Center is comprised of approximately 2.6 million square feet of gross leasable floor area, with an enclosed common area of approximately 440,000 square feet. The subject tenant space is located on the east side of Hawthorne Boulevard, between Carson Street and Sepulveda Boulevard, and more specifically, directly north to JCPenney. There are no outstanding natural features on the site.

Façade Improvements

The proposed aquatics center/indoor recreation facility features several façade enhancements, including a new storefront entrance, entry marquee/tower, new signage, and new mural at the tenant space's north end. The marquee is proposed at a height of 19'-9", taller than the current building height of 14'. As part of the façade enhancements, the existing block walls and landscaping directly in front of the tenant space will be removed or modified to accommodate the new entrance.

Floor Plan

As mentioned, the subject tenant space is directly north to JCPenney. The space measures 10,000 square feet and the proposed layout features an entry vestibule, reception, the central expansive pool area (separated from the lobby and reception), lobby, office, various storage rooms, dressing area, boys' and girls' restrooms, smaller unisex restroom, staff room, and mechanical/equipment room. The pool is "T"-shaped, and measures 56'-8" across the T-"arms" and 56'-5" across the T-"body", totaling 2,641 square feet, and will be 4' deep. Viewing areas are provided around the pool in the reception and lobby. Staff notes the tenant improvement plan and egress will be reviewed by the Building & Safety Division at the time of plan check prior to building permit issuance.

Business Operation

The proposed indoor recreation facility is an aquatics center, primarily offering swim instruction and programs for children of all ages. More information about the business is shared in the Business Narrative (Attachment 4).

The proposed hours of operation are 3:30 pm – 8:30 pm weekdays and 8:00 am – 3:30 pm weekends; consistent with the mall's general hours.

CONCLUSION

The proposed aquatics center provides another attraction for mall customers and is compatible with the existing uses within Del Amo Fashion Center, which features a wide variety of commercial uses and services, including retail, restaurants, as well as arcade and entertainment operations. Lastly, the project is consistent with the orderly development of the City as provided for in its General Plan, which designates the site as Commercial Center. For these reasons, staff recommends approval of the request as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-065
2. Location and Zoning Map
3. Code Requirements
4. Business Narrative
5. Site Plan and Massing Diagram
6. Project Plans (Limited Distribution)

STAFF CONTACT

Soc Angelo Yumul, Planning Associate
SYumul@TorranceCA.gov

ITEM 8D
ATTACHMENT 1
RESOLUTION NO. 24-065

PLANNING COMMISSION RESOLUTION NO. 24-065

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF AN INDOOR COMMERCIAL RECREATION FACILITY AT THE DEL AMO FASHION CENTER, ON PROPERTY LOCATED IN THE H-DA1 ZONE AT 21880 HAWTHORNE BOULEVARD, #323A.

CUP24-00018: ERTIOL KOCI (DEL AMO FASHION CENTER OPERATING COMPANY, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on October 16, 2024, to consider an application for a Conditional Use Permit filed by Ertiol Koci (Del Amo Fashion Center Operating Company, LLC) to allow the operation of an indoor commercial recreation facility at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property under consideration is located at 21880 Hawthorne Boulevard, #323A (APN 7366-019-185);
- b) That the property is described as "P M 390-20-37 EX OF ST LOT 12" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alterations of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed indoor commercial recreation facility is conditionally permitted within the H-DA1 Zone and complies with all of the applicable provisions of this Division, as conditioned;
- e) That the proposed use will not impair the integrity and character of the H-DA1 Zone because indoor commercial recreation facilities are consistent with the shopping center and surrounding commercial uses in the zone and area;
- f) That the subject site is physically suitable for the proposed use because the Del Amo Business District is identified in the Torrance General Plan as the center of shopping and commercial services in the City;
- g) That the proposed project is compatible with the land use presently on the subject property because the shopping center features a variety of service, retail, and restaurant uses, as well as other arcade and entertainment operations;
- h) That the proposed use will be compatible with existing and proposed future land uses within the H-DA1 Zone and the general area in which the proposed project is to be located because the indoor commercial recreation facility will be compatible with the other uses permitted within the Zone, and will not change the existing shopping center uses;

- i) That the proposed use will encourage and be consistent with the orderly development of the City as provided for in its General Plan, which designates the site as Commercial Center, as indoor commercial recreation facilities are consistent uses with the Commercial Center designation;
- j) That the proposed use will not discourage the appropriate existing or planned future uses of the surrounding property because the proposed indoor commercial recreation facility is compatible with the existing uses and the planned future uses of the surrounding property;
- k) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use is not detrimental to the public health and safety;
- l) That there will be adequate provisions for public access to serve the proposed use, because the project shall maintain all existing pedestrian walkways and vehicular access points;
- m) That the location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area; and
- n) The proposed project will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

WHEREAS, the Planning Commission by the following roll call votes APPROVED CUP24-00018, subject to conditions:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSED:	COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00018, filed by Ertiol Koci (Del Amo Fashion Center Operating Company, LLC) to allow the operation of an indoor commercial recreation facility at the Del Amo Fashion Center, on property located in the H-DA1 Zone at 21880 Hawthorne Boulevard, #323A, on file in the Community Development of the city of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for an indoor commercial recreation facility shall be subject to all conditions imposed in Conditional Use Permit 24-00018; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Conditional Use Permit is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in section 92.27.1;

3. That a copy of Planning Commission Resolution No. 24-065 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That the project shall comply with all applicable safety and emergency personnel requirements and regulations; (Planning)
5. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake (provided there is no appeal) to Planning; (Planning)
6. That modifications to the approved layout shall be subject to the review of the Community Development Director, and the applicants shall first verify with the Planning Division prior to implementing any modifications; (Planning)
7. That the applicants shall secure appropriate regulatory licensing for business; (Police/Planning)
8. That the applicants shall install alarmed doors for main access points; (Police/Planning)
9. That the applicants shall install surveillance cameras to monitor entry/exits, cash handling areas (as applicable), and offices housing store assets. Security cameras shall be maintained in proper working order at all times and stored video data shall be made available to Police upon request. Surveillance footage shall be stored for no less than 60 days. Should the applicants elect to share video security feed access with Police, surveillance system shall be Open Network Video Interface Forum (ONVIF) capable; (Police/Planning)
10. That the business name shall be clearly visible along the storefront entrance; (Police/Planning)
11. That public access shall be controlled through a single point of entry via check-in/check-out system for youth-oriented businesses serving a client base under the age of 18; (Police/Planning)
12. That the applicant shall obtain a sign permit for any new areas of signage to be displayed on the façade, the outward walls, on the ground, and that all signs (new, modified or revised) shall conform to the approved sign program and be approved by the Environmental Division with appeal rights to the Planning Commission; and (Environmental)
13. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8D
ATTACHMENT 2
LOCATION AND ZONING MAP





LOCATION AND ZONING MAP

CUP24-00018
 21880 Hawthorne Blvd #323A



LEGEND

-  Notification Area
-  21880 Hawthorne Blvd #323A



ITEM 8D
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 California Codes and Torrance Ordinances.

ITEM 8D
ATTACHMENT 4
BUSINESS NARRATIVE



Scope of Plan

Proposed Site:

21880 Hawthorne Blvd #323A

Torrance, CA 90503

Proposed Architect:

Kaylee Kaufman of DXU Architects

4136 Del Rey Ave,

Marina Del Rey, CA 90292

ekoci@dxuarch.com

267-230-8152

Business Owner Contact:

Jonathan Lightell

112 Krog St. D-135

Atlanta, GA 30307

jlightell@bigblueswimschool.com

225-892-9901

The purpose of this document is to provide additional information regarding the proposal of Big Blue Swim School to obtain a Conditional Use Permit from the City of Torrance to open an indoor commercial children's swim school. The proposed location is located at the physical address of 21880 Hawthorne Blvd #323A Torrance, CA 90503.

Proposed Renovations

- **Interior Modifications**
 - Relocation of (1) existing column support in the interior space to create a wider, obstruction free swimming pool area.
 - Installation of a new approximately 4'-0" deep swimming pool that is 2,641 SF. The pool and deck is enclosed and secured from the lobby area with latching and insulated storefront doors.
 - Adequate showers facilities and changing rooms per code are installed including bench and changing tables in each one for customers.
 - The reception and lobby area is approximately 2,068 SF and provides the parents with a large open viewing area through a large glass partition the monitor pool activities.
 - We provide showers including ADA facilities on the pool deck and ADA private showers in the restrooms.
 - The employees have a large breakroom for their use near the pool deck.
- **Exterior Modifications**
 - We plan to paint the extend the exterior façade vertically and incorporate our brand colors.

Business Overview

- Our children's swim school empowers kids with the skills they need to feel confident in the water. Our professional, adult instructors are all about teamwork, getting into the water with swimmers and adapting lessons to revolve around each individual student. We strive to be the best swim school in the area, offering programs for all ages, with continuous weekly lessons available year-round, so your child can start and stop any time. Our lessons keep a low student to teacher ratio to provide students with the attention they deserve.
- We plan to create over 30 local jobs and provide extensive lifeguard and certified pool operator training.
- Proposed business hours are: 3:30pm – 8:30pm M-F, 8:00am – 3:30pm Saturday and Sunday.

Safety & Security Plan

Here are the strategies we plan to implement to ensure the safety of our facility, its surroundings, and prioritize security for our guests, the mall premises, and the community.

- Swim Instructor Training:

At all times 50% of staff including all Swim Associates, Regional Managers, General managers, Assistant Managers and Pool Deck support will have at minimum a Shallow water Lifeguarding certification.

Within 90 days of completing training all Swim Associates will be required to obtain CPR with rescue breathing.

Every month all trained personnel MUST attend 1 60-90 min long ongoing training and practice as part of their monthly job requirements.

These on-going trainings will be offered 1 weeknight and 1 weekend day in the last 2 weeks of every month.

Any staff not able to attend an ongoing training MUST make up that time with the Management staff before the end of the month.

- ADA Features:

We are restriping the parking spaces in the front of our space, along with installing new ADA signage for better visibility. Also, our schools feature ADA pool lifts, and our classes can accommodate most disabilities.

- Facility Access Control:

All entry and exits are secured by keypads and/or monitored at all times. The pool deck doors themselves are latching to so small children can not enter the pool without supervision.

- Surveillance Cameras:

We will be installing a security camera system throughout the space including back of house spaces. These are on a backup system and can be reviewed up to 45 days after recording.

- Emergency Exits:

All the emergency exits are clearly marked and unobstructed. There is an emergency exit at the West side of the building, and two on the north side of the building (main entrance/main exit).

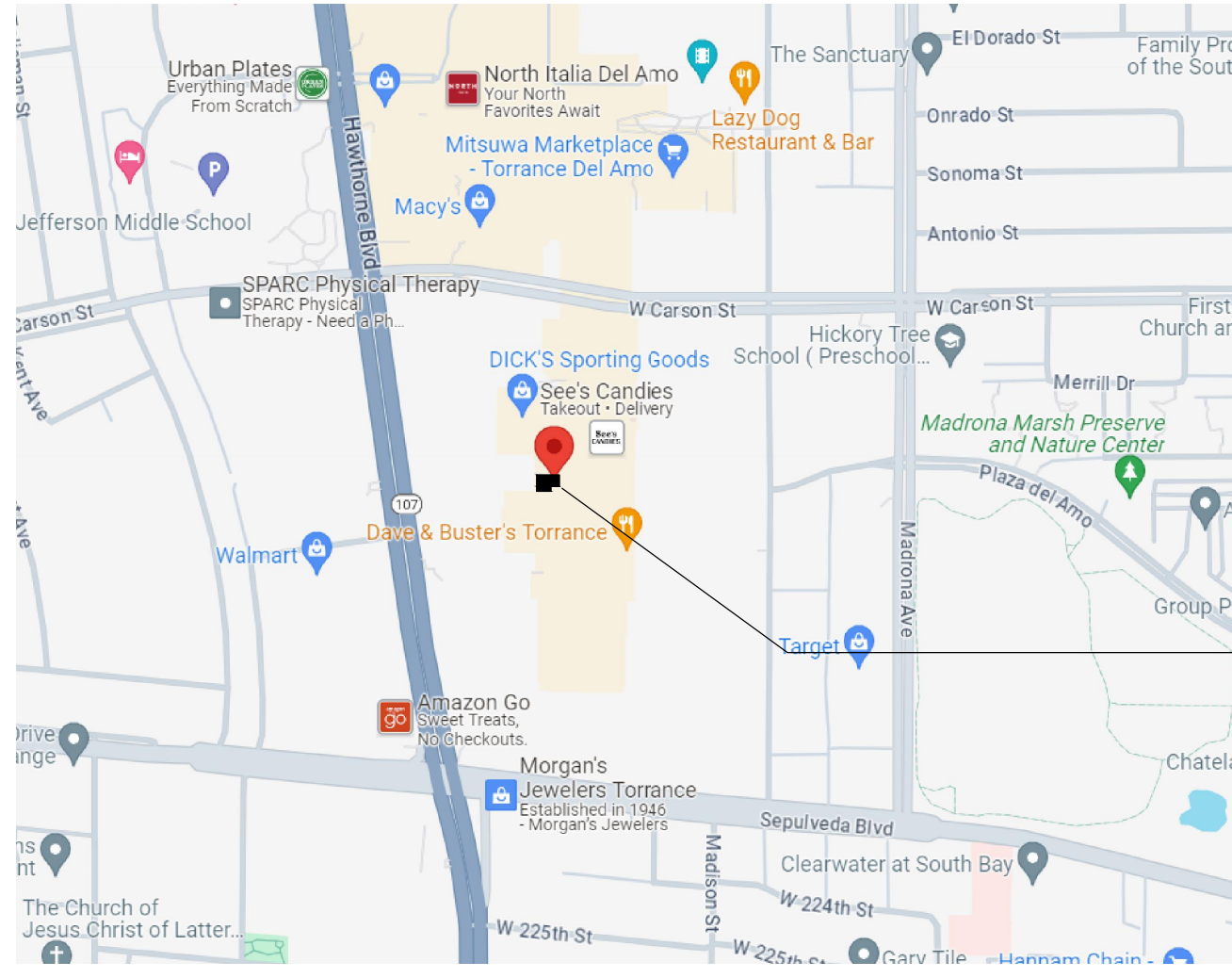
All emergency doors are equipped with panic hardware and are alarmed if necessary.

All members of our staff on our evacuation procedures and rally points near the facility.

General Maintenance

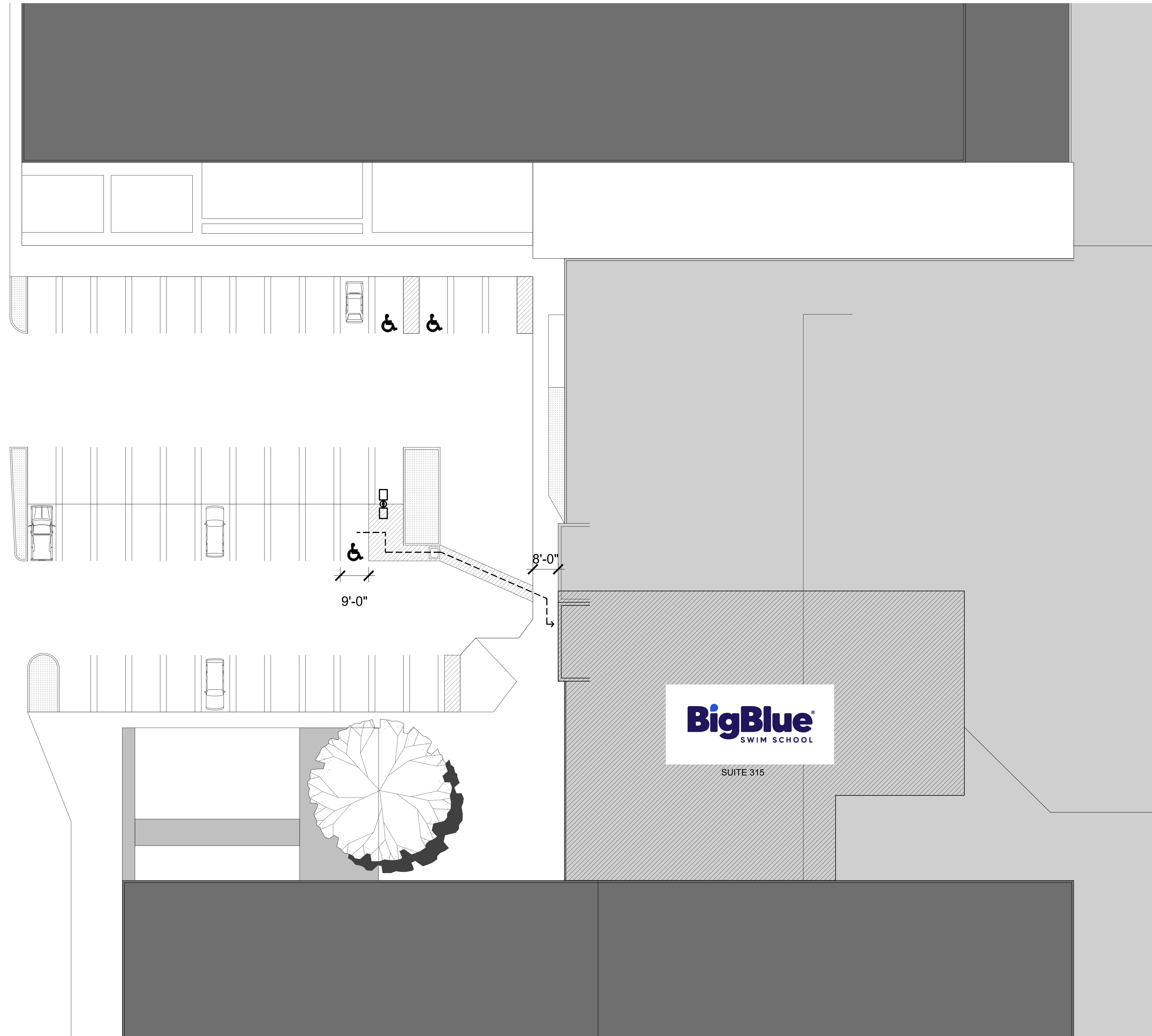
Keeping a safe, sanitary, and clean facility is essential for our school. We have an extensive maintenance system for the pool system and the facility. We have online cloud based systems monitoring the pool and HVAC systems with immediate reporting of any issues. Our staff is trained to be proactive on cleaning procedures. Additionally, we employ overnight cleaning services. All landscaping exterior features will be maintained in compliance with Torrance Municipal Code.

ITEM 8D
ATTACHMENT 5
SITE PLAN AND MASSING DIAGRAM



AREA OF WORK

02 KEY PLAN
N.T.S.



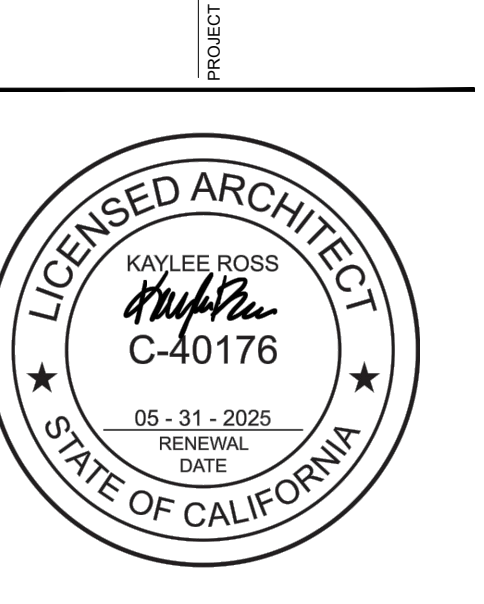
AREA OF WORK

--- ACCESSIBLE PATH OF TRAVEL

MUNICIPAL APPROVAL STAMP



DEL AMO FASHION CENTER
21880 HAWTHORNE BLVD #323A,
TORRANCE, CALIFORNIA



PERMIT REVIEW	
Project Number: 21-336	Approved By: AV
Drawn By: EK	Date: 06/29/2024
No.	CUP SUBMITTAL
	CUP SUBMITTAL
	07/29/2024

SHEET TITLE & NUMBER

SITE PLAN

G3-01

01 SITE PLAN
1/16" = 1'-0"



AGENDA ITEM NO. 8E

DATE: October 16, 2024
TO: Planning Commission
FROM: Natalie Niemeyer, Planning Associate
SUBJECT: 2313 Torrance Boulevard (APN 7354-014-012)
Conditional Use Permit (CUP24-00010)

Consideration of a Conditional Use Permit to allow a three-unit multiple family residential development by adding two units to an existing single-family residence, on property located in the C-1 Zone at 2313 Torrance Boulevard.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-066 for approval of a Conditional Use Permit to allow a three-unit multiple family residential development by adding two units to an existing single-family residence, on property located in the C-1 Zone at 2313 Torrance Boulevard, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15303 (New Construction).

EXECUTIVE SUMMARY

The project applicant, Ricky De La Rosa (Tyron John Fabie), requests approval by the Planning Commission to allow a three-unit multiple family residential development by adding two units to an existing single-family residence, on property located in the C-1 Zone at 2313 Torrance Boulevard.

Since the property is zoned Retail Commercial District (C-1), residential uses are conditionally permitted and the development standards of the C-1 Zone, R-3 Zone and the Torrance Municipal Code (TMC) are applicable to the project. Discretionary review and approval of the following entitlement is required:

- Conditional Use Permit (CUP) to allow residential uses in the C-1 Zone.

Staff has thoroughly reviewed the project and determined the project is compatible with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The construction of a three-unit multiple family residential development is Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15303 (New Construction).

General Plan Land Use Designation

The project site has a General Plan land use designation of General Commercial, which is characterized by shopping centers, professional and office buildings, and mixed use developments consisting of commercial and residential uses which are permitted pursuant to the detailed land use regulations and development standards set forth in the Torrance Municipal Code. The C-1 Zone is consistent with the General Commercial designation and the proposed multifamily development is conditionally permitted within the C-1 Zone.

Zoning Designation and Adjacent Land Uses

The project site is designated as C-1 Zone (Retail Commercial District) (Attachment 2). The subject property is surrounded by the following land uses and zoning designations, summarized below.

NORTH:	R2-PP, Torrance Tract Overlay	Single-family and multi-family residences
SOUTH:	C-1	Single-family residences and commercial offices
EAST:	C-1	Commercial offices
WEST:	C-1	Multi-family residence

Project Site

The subject property is located on the north side of Torrance Boulevard, between Madrid Avenue and Amapola Avenue. The property is currently developed with a 921-square foot one-story single-family residence with detached two-car garage originally built in 1923. The subject parcel is a rectangular shaped lot that measures 6,300 square feet in area, and abuts an alley along the rear (north) property line. The garage takes driveway access from the alley.

Project Description

The applicant is proposing the construction of two units to the rear of the site and a remodel of the existing single-family residence, resulting in a total of three residential units on the site. Each unit will have a two-car garage and access to all parking spaces is provided through the alley. Unit A is proposed as the remodeled single-family residence and will be a one-story, one bed, one bath, unit. Units B1 and B2 are located to the rear of the site and will both be two-story, 2 bed, 2.5 bath, units. The existing detached garage will be demolished to accommodate units B1 and B2.

Building Setbacks

The project plans show Unit A will maintain the existing 19'-8" front yard setback and comply with the 20' average front yard setback requirement, provide a minimum 5' side yard setback on both sides, and an 86' setback to the rear. Units B1 and B2 provide a 30' setback from Unit A, an 84' setback to the front property line, a 5' side yard setback to the east (side) property line, an 11' side yard setback to the west (side) property line and a 5' rear yard setback.

All of the proposed setbacks, as conditioned, meet or exceed the minimum setback requirements of the R-3 Zone.

Building Height

The height of the one-story remodeled residence (Unit A) will be approximately 15' and the height of the detached two-story units, unit B1 and B2, will be 23', which comply with the 50 foot height limit of residential uses in the C-1 Zone.

Building Architecture

The architectural style of the existing residence is Craftsman and the proposed remodel as well as the new units will maintain a Craftsman style design. The project incorporates many Craftsman style qualities including a centered covered porch, gabled roofs, overhanging eaves, exposed rafters, wide window casings, and horizontal siding.

Building Floor Plan

The remodeled residence (Unit A) will be reconfigured to accommodate a new two-car garage and one bedroom and one bathroom with a total square footage of 701 square feet, excluding the garage. Units B1 and B2 will have nearly mirrored floorplans with the first floors comprised of a two-car garage, den, and a half bathroom. The second floor of Unit B1 and B2 will feature one bedroom, two bathrooms, an office, an open living room, dining room and kitchen area, and a balcony. Unit B1 measures 990 square feet, while unit B2 measures 1,045 square feet. All bedrooms will be over 100 square feet in area, which complies with the minimum size requirement for multiple family dwellings.

Open Space Requirements

A total of 1,447 square feet of open space is proposed which exceeds the required 1,369 square feet. The Torrance Municipal Code requires no less than 50% of the required open space to be dedicated as private open space which would result in a total of 685 square feet for this project. The total private open space provided for the three units is 722 square feet which exceeds the required 50% for private space. Additionally, the total common open space provided is 725 square feet. All open space requirements meet or exceed the standards of the R-3 Zone.

Parking

The existing two-car garage will be demolished to accommodate the two new units at the rear of the lot. The resulting three units will each have a two-car garage measuring 20' deep by 18' wide which meets the minimum interior dimensions for two-car garages. The proposed two-car garages for each unit meets the requirement for multiple family residences with dwelling units providing two bedrooms or less.

CONCLUSION

In the judgment of staff, the proposed three-unit multiple family residential development, as conditioned, is compatible with the C-1 Zoning and is a suitable use at the site because the existing use for the site is residential, neighboring properties have single and multi-family residential uses, and residential uses are conditionally permitted in the C-1 Zone. The three-unit multiple family residence, as conditioned, will comply with the applicable C-1 and R-3 development standards and meets or exceeds all Code requirements.

As of the preparation of this report, no written correspondence has been received pertaining to the request.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owner of properties located within a 500-foot radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-066
2. Location and Zoning Map
3. Code Requirements
4. Project Plans

STAFF CONTACT

Natalie Niemeyer, Planning Associate
Nniemeyer@TorranceCA.gov

ITEM 8E
ATTACHMENT 1
RESOLUTION NO.24-066

PLANNING COMMISSION RESOLUTION NO. 24-066

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A THREE-UNIT MULTIPLE FAMILY RESIDENTIAL DEVELOPMENT BY ADDING TWO UNITS TO AN EXISTING SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED IN THE C-1 ZONE AT 2313 TORRANCE BOULEVARD.

CUP24-00010: RICKY DE LA ROSA (TYRON JOHN FABIE)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on October 16, 2024, to consider an application for a Conditional Use Permit filed by Ricky De La Rosa (Tyron John Fabie) to allow a three-unit multiple family residential development by adding two units to an existing single-family residence, on property located in the C-1 Zone at 2313 Torrance Boulevard; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 2313 Torrance Boulevard (APN 7354-014-012);
- b) That the property is located on Lot 11, Block 65 of the Torrance Tract as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That construction of a three-unit multiple family residential development is Categorically Exempt pursuant to Section 15303 (New Construction) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA);
- d) That the proposed three-unit multiple family residential development is conditionally permitted within the Retail Commercial District (C-1 Zone) and complies with all of the applicable provisions of this Division;
- e) That the proposed use will not impair the integrity and character of the C-1 Zone because the proposed three-unit multiple family residential development, as conditioned, complies with the development standards of the C-1 Zone;
- f) That the subject site is physically suitable for the proposed development, as conditioned, because the location of the units comply with all setback standards, provide sufficient private and public open space, and provide adequate parking for each unit;
- g) That the proposed use will be compatible with existing and future land uses within the C-1 Zone and the general area in which the proposed residential development is to be located because the area consists of numerous single-family and multi-family residences, as well as commercial properties;
- h) That the proposed use will encourage and be consistent with the orderly development of the City as provided for in its General Plan because the C-1 Zone is consistent with the General Commercial designation and the proposed development is conditionally permitted within the C-1 Zone;
- i) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use is not detrimental to the public health and safety;

- j) That there will be adequate provisions for public access to serve the proposed use, because the project provides pedestrian access along the front and rear property lines, as well as vehicular access off the alley;
- k) That the location, size, design, and operating characteristics of the proposed use will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area;
- l) That the proposed use will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and

WHEREAS, the Planning Commission by the following roll call vote APPROVED CUP24-00010, subject to conditions:

AYES: COMMISSIONERS:
 NOES: COMMISSIONERS:
 ABSENT: COMMISSIONERS:
 ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP24-00010, filed by Ricky De La Rosa (Tyron John Fabie) to allow a three-unit multiple family residential development by adding two units to an existing single-family residence, on property located in the C-1 Zone at 2313 Torrance Boulevard is hereby APPROVED subject to the following conditions:

1. That use of the subject property for three-unit multiple family residential development shall be subject to all conditions imposed in Conditional Use Permit 24-00010 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Conditional Use Permit is not used within one (1) year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the signed Resolution, with all conditions of approval shall be incorporated to the set of plans submitted for plan check; (Planning)
4. That a detail of the perimeter and yard walls and gates shall be provided to ensure a cohesive design and finishing or treatment to the satisfaction of the Community Development Director prior to the issuance of Building Permits; (Planning)
5. That exterior color and material samples shall be submitted to the Community Development Department for approval prior to the issuance of any Building Permits; (Planning)
6. That decorative paving materials shall be provided at driveways and pedestrian walkways, and shall be complementary with the development's design, and shall be included in the color and material sample board to the satisfaction of the Community Development Director; (Planning)

7. That within 30 days of the final public hearing, the applicant shall remove the "Public Notice" sign to the satisfaction of the Community Development Director; (Planning)
8. That the owner/developer shall design and construct entire width of the public alley with pavement and 4 foot P.C.C. center gutter along the length of property including alley apron and appropriate transition work. The street plan, prepared by a professional engineer, shall be approved by the City prior to issuance of Grading Permit. Construction of the alley is required prior to occupancy. Contact the Engineering Division of the Community Development Department for information on the scope of this requirement; (Engineering)
9. That four-inch (minimum) contrasting address numerals shall be provided for residential; (Environmental)
10. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)
11. That the applicant shall contact the City of Torrance Fire Department to determine fire suppression requirements; (Water)
12. That if fire sprinklers are required, the applicant shall upgrade existing water service to 1" minimum; (Water)
13. That separate sewer laterals shall be provided for each building to the public sewer mainline. The existing sewer lateral shall be recorded and video submitted to the Engineering Division of the Community Development Department prior to the issuance of the building permit. The existing sewer lateral shall be replaced if damage is found; and (Water)
14. That all conditions of other City departments received prior to or during the meeting shall be met.

Introduced, approved and adopted this 16th day of October 2024.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

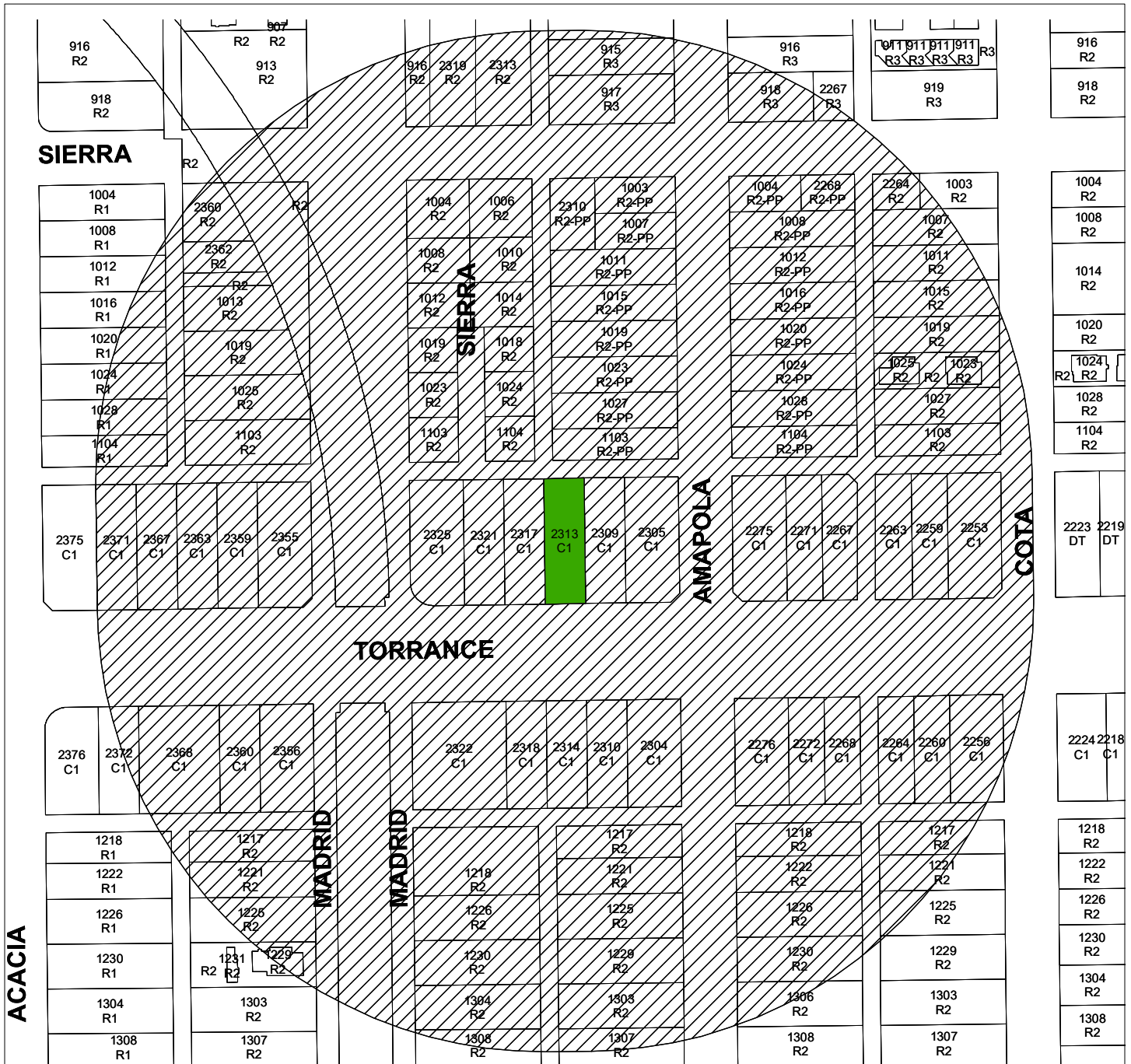
ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8E
ATTACHMENT 2

LOCATION AND ZONING MAP



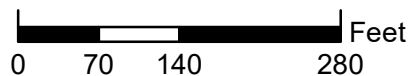
LOCATION AND ZONING MAP

CUP24-00010
2313 Torrance Blvd.



LEGEND

-  Notification Area
-  2313 Torrance Blvd



ITEM 8E
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 California Residential Code, California Building Code, California Mechanical Code, California Electrical Code, California Plumbing Code, and California Green Building Code.

ENGINEERING

2. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Torrance Blvd. and alley. (74.6.2).
3. Install a street tree in the City parkway every 50' for the width of this lot on Torrance Blvd. (74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
4. Replace grinded sidewalk along the project frontage on Torrance Blvd. per City of Torrance standards.
5. A separate water service with radio read meter system is required for each individual dwelling unit.

ENVIRONMENTAL

6. Bedroom sizes to be as determined per Torrance Code 92.20.2.
7. The front yard of any property zoned for residential use shall not be more than 50% paved (92.5.14).
8. Provide storage containers in garage 4'6" above the floor and shall not project more than 3' in to the required parking area.
9. The water heater shall not encroach into the required parking area.
10. The washer and dryer shall not encroach into the required parking area.
11. For residential uses, the interior dimensions of a two-car garage shall be 18 feet wide by 20 feet deep with no encroachments (93.5.2).
12. The property shall be landscaped prior to final inspection (92.21.9).

FIRE

13. Fire sprinklers required.

GRADING

14. The applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The

plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per TMC 81.2.49 (J103) and TMC 81.2.50(J104). Precise grading plan shall detail compliance paths of travel, accessible parking stalls per 2022 California Building Code (CBC) 11B-201

15. The applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. **Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.**
16. The applicant shall have a final drainage study prepared by a Registered Civil Engineer. The drainage study shall be prepared in report format and include sections addressing on-site and off-site drainage areas, existing and developed conditions hydrology, the design hydraulics for the on-site drainage system, including sizing of inlets, conduits, v-ditches, down drains and other structures, and associated calculations and conclusions. The drainage study shall demonstrate project compliance with the current Los Angeles County Public Work Department's Hydrology Manual and Hydraulic Design Manual; however the minimum design flow for sizing onsite drainage devices shall be 25 year recurrence (Q25) or 50 year storm for sump conditions. The drainage study shall be submitted to the Building and Safety and approved by the Building official prior the issuance of a grading permit Per TMC 81.2.50 (J104.9)
17. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6)
18. Drainage plans shall incorporate appropriate post-construction best management practices (BMPs) into the design of the project and must be prepared and approved prior to issuance of any grading permit per TMC 411.1.050. Please refer to the Los Angeles County Low Impact Development (LID) Manual for applicable design requirements. The project-specific LID plans shall describe how this project design conforms to all requirements set forth in the LID manual and must include a fully executed and recorded LID covenant to provide for on-going maintenance of the BMPs that have been chosen. **Stormwater quality design volume (SWQDv) shall be retained onsite per TMC 411.1.070.**
19. Per TMC 410.1.070 the owner/owner's agent shall submit erosion control plan to Building and Safety review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;

- b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
20. All undocumented fill shall be removed, until competent native soils have reached, and recompact from property line to property line. TMC 81.2.50(J104.5)
21. Retaining wall proposed to accommodate the cuts and fills shall obtain separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
22. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6)
23. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per 81.2.52

PLANNING

24. Comply with State Department of Water Resources Landscape Design & Irrigation requirements.

POLICE

25. Street address and unit nomenclature to be clearly visible to expedite emergency response.

PUBLIC WORKS

26. Plant one street tree along Torrance Boulevard. Contact the Streetscape Division for species and placement.

ITEM 8E
ATTACHMENT 4
PROJECT PLANS

FABIE 3

2313 Torrance Blvd. ,
Torrance, CA, 90501

SD PACKAGE

CLIENT

Tyron Fabie
2313 Torrance Blvd.,
Torrance, CA, 90501
424.210.2230
tyronfabie@gmail.com

dIR Design, Inc.

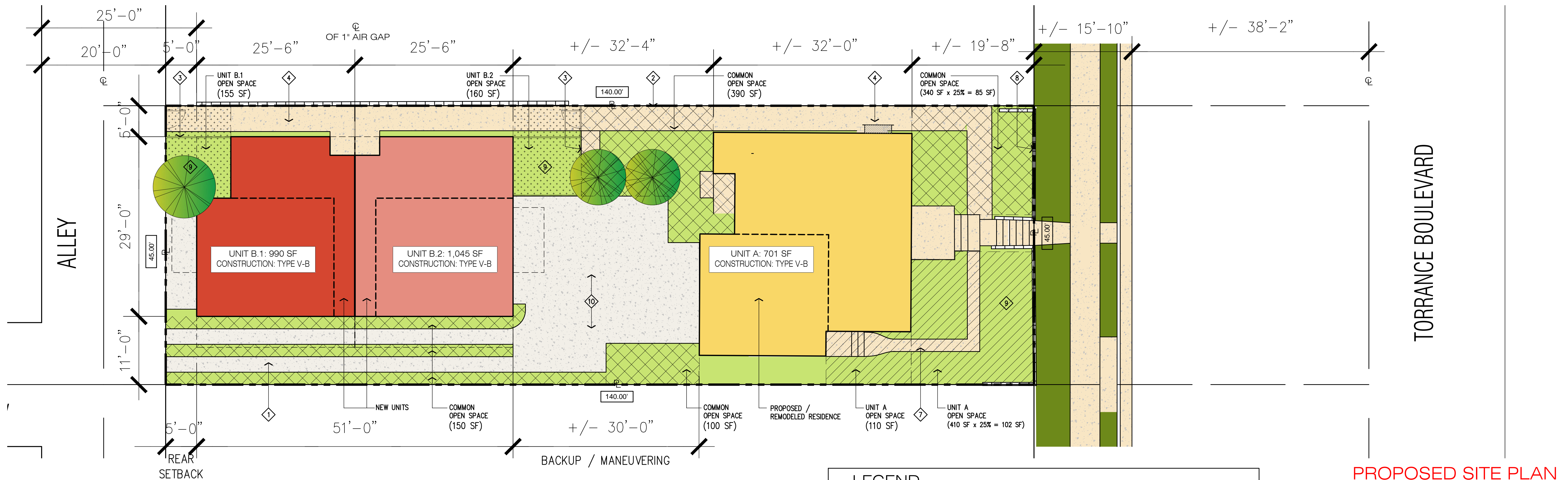
Ricky de la Rosa
2040 Lomita Blvd., Suite 104
Lomita, CA, 90717
1.310.972.9050
rickydlarosa@gmail.com

SHEET INDEX:

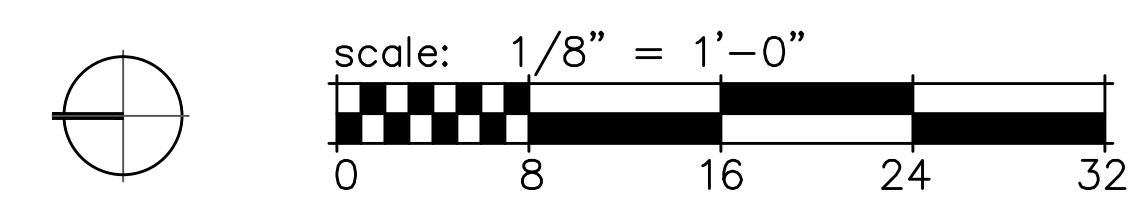
A0.1 Sheet Index
A1.1 Site Plan
A1.2 Site Analysis
A1.3 Site Analysis
A2.1 Building Plans
A2.2 Building Plans

A3.1 Elevations
A3.2 Elevations
A4.0 Existing & Proposed
A4.1 Unit B.1 Plans
A4.2 Unit B.2 Plans
A5.1 Rendering Perspective
A5.2 Rendering Perspective

PROPOSED SITE PLAN



LEGEND	
1	PROJECT ENTRANCE / VEHICULAR ENTRANCE / RIBBON DRIVEWAY
2	PROPERTY LINE
3	PROPOSED WALL, PILASTER, GATE OR FENCE, PER WALL & FENCE PLAN
4	4" WIDE NATURAL COLORED PEDESTRIAN SIDEWALK WITH LIGHT TOP-CAST FINISH AND SAW-CUT JOINTS
7	EXISTING WALKWAY / HARDSCAPE
8	EXISTING 3'-6" WALL / FENCE
9	PRIVATE PATIO
10	NATURAL COLORED CONCRETE DRIVEWAY, WITH LIGHT BROOM FINISH AND TOOLED JOINTS.



PROJECT ANALYSIS					
ZONING SUMMARY					
PROJECT SITE INFORMATION					
APN NUMBER	ADDRESS	EXISTING ZONE	PROPOSED NEW ZONE	LOT AREA (ACRE)	LOT AREA (SF)
7354-014-012	2313 TORRANCE BLVD, TORRANCE CA 90501	C-1	-	0.145 AC	+/- 6,300 SF
SETBACKS		REQUIRED/ALLOWED	PROPOSED	NOTES	
FRONT		20'-0"	N/A		
SIDE		10% OF LOT WIDTH (5' MAX / 3' MIN)	5'-0"		
DISTANCE BTWN BLDGS		-	5'-0"		
REAR		10'-0"	5'-0"		
NUMBER OF UNITS		-	3 UNITS		
DENSITY		1,600 SF OF LANDS.	20.69 DU/AC		
LOT COVERAGE		-	+/- 2,506 SF (39.7%)	DOES NOT INCLUDE DRIVEWAY / WALKWAY	
BUILDING FLOOR AREA		-	+/- 2,736 SF	SEE UNIT SUMMARY FOR SF BREAKDOWN	
FLOOR AREA RATIO (F.A.R.)		1.0	0.43		
BUILDING HEIGHT		2 STORIES / 35'-0" MAX. BUILDING HEIGHT (CUP)	UNIT A - 15'-0" UNIT B.1 - 23'-0" UNIT B.2 - 23'-0"	MAXIMUM BUILDING HEIGHT (TOP OF RIDGE)	
OPEN SPACE (USABLE)					
STORAGE SPACE (PRIVATE)		200 CUBIC FT. / UNIT	200 CUBIC FT. / UNIT		
PROJECT CONSTRUCTION TYPE		TYPE V-B			

UNIT SUMMARY							
PLAN	DESCRIPTION	QUANTITY	GROSS AREA	GROSS AREA SUBTOTAL	DECK AREA	DECK AREA SUBTOTAL	PATIO
EXISTING RESIDENCE	2 BR / 1.5 BA		+/- 921 SF	-	-	-	-
UNIT A	1 BR / 1 BA	1 UNIT	+/- 701 SF	-	-	-	+/- 212 SF
UNIT B.1	2 BR / 2.5 BA + DEN	1 UNIT	+/- 990 SF	-	+/- 95 SF	-	+/- 155 SF
UNIT B.2	2 BR / 2.5 BA + DEN	1 UNIT	+/- 1,045 SF	-	+/- 105 SF	-	+/- 160 SF
PROJECT UNITS TOTAL			+/- 2,736 SF		+/- 195 SF		+/- 527 SF

OPEN SPACE / AMENITY SUMMARY			
	REQUIRED	PROPOSED	NOTES
COMMON OPEN SPACE (50% OF TOTAL)	1,369 SF x 50% = 685 SF	725 SF	
PRIVATE OPEN SPACE (FLR AREA)	1,369 SF x 50% = 685 SF	722 SF (PATIOS + DECKS)	
LANDSCAPED AREA	-	-	
TOTAL OPEN SPACE	1,369 SF	1,447 SF	LANDSCAPED AREA = N/A

PARKING SUMMARY			
REQUIRED	RESIDENTIAL/GUEST		
	RESIDENTIAL : 02 SPACES / UNIT = 6 SPACES		
	GUEST : NOT REQUIRED PER AB 2097		
	TOTAL	06 SPACES	
PROVIDED	RESIDENTIAL/GUEST		
	NEW UNITS (B.1 & B.2): 04 SPACES (STANDARD SIZE)	COVERED / IN GARAGE (18' X 20' INSIDE CLR)	
	REMODELED UNIT (A): 02 SPACES (STANDARD SIZE)	COVERED / IN GARAGE (18' X 20' INSIDE CLR)	
	GUEST : NOT REQUIRED PER AB 2097		
	TOTAL	06 SPACES	

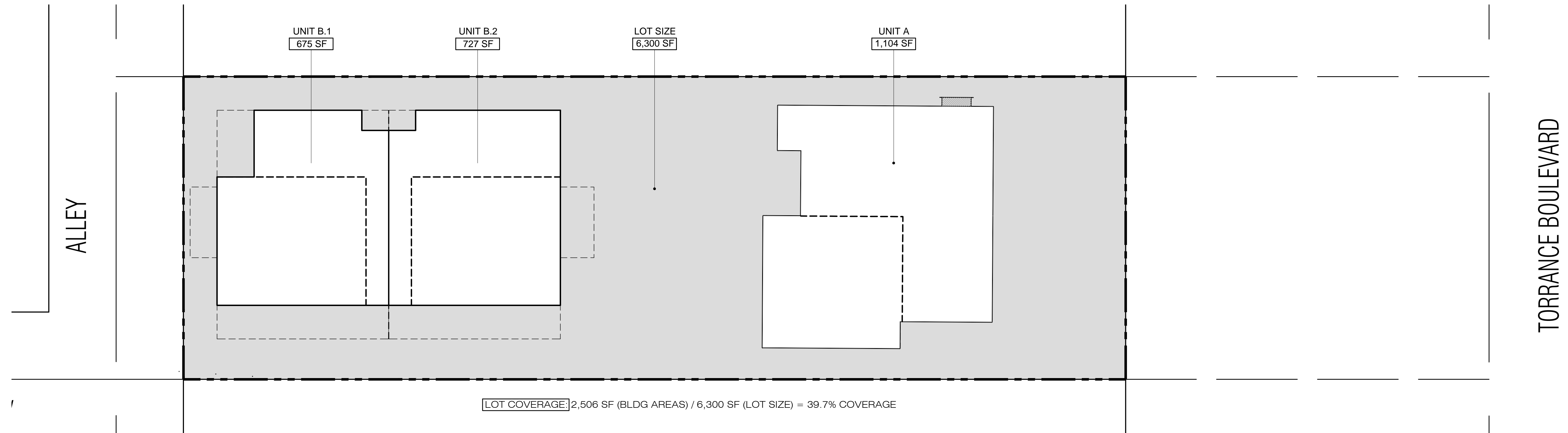
2040 Lomita Blvd., Suite 104
Lomita, CA 90247
(310) 341-3436
rickydlrosa@gmail.com
MARCH 05, 2024

2313 Torrance Blvd.
Torrance, CA 90501

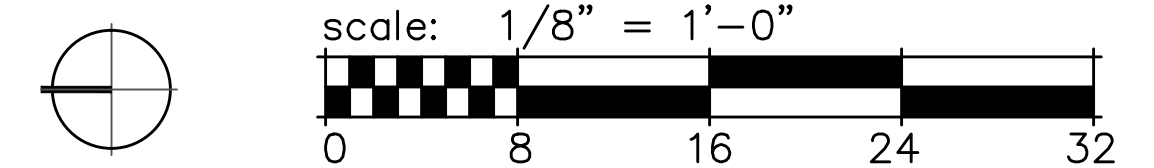
CLIENT:
FABIE TYRON FABIE
3 UNIT

A1.1
R 23-02

SITE ANALYSIS



LOT COVERAGE



2040 Lomita Blvd., Suite 104
Lomita, CA 90247
(310) 341-3436
rickydilrosa@gmail.com
MARCH 05, 2024

2313 Torrance Blvd.
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FABIE
3 UNIT

CLIENT:
TYRON FABIE

A1.2

R 23-02

clR Design Inc.

SITE ANALYSIS

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2040 Lomita Blvd., Suite 104
 Lomita, CA 90247
 (310) 341-3436
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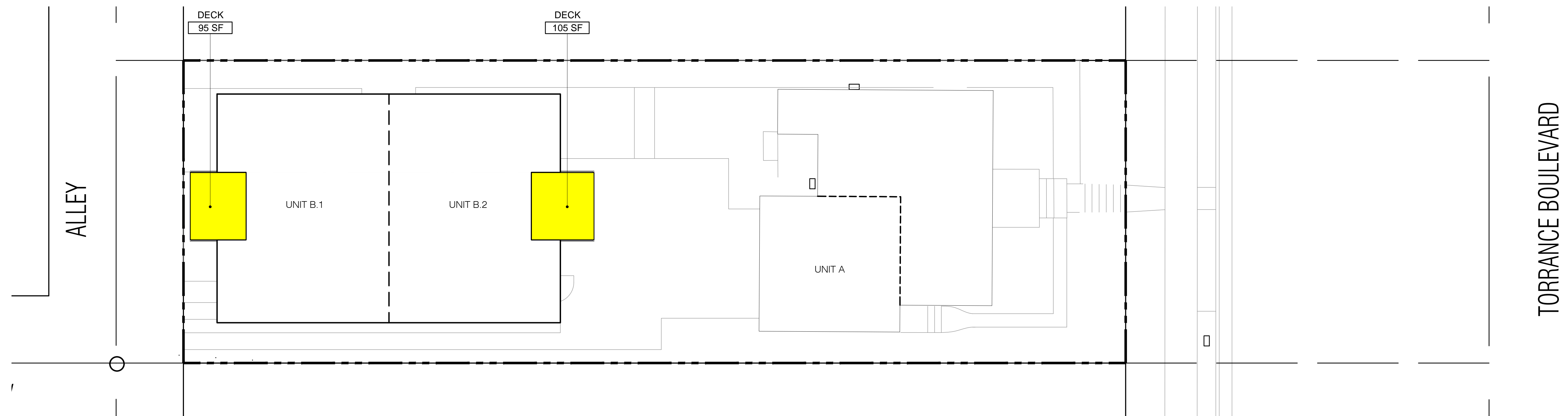
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FABIE
 3 UNIT

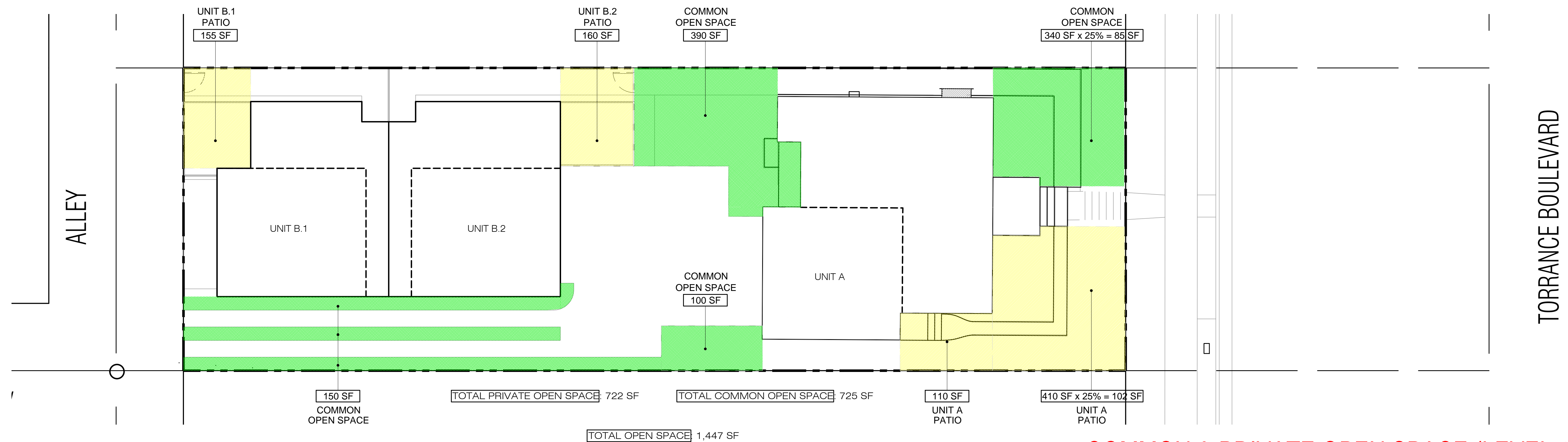
CLIENT:
 TYRON FABIE

A1.3

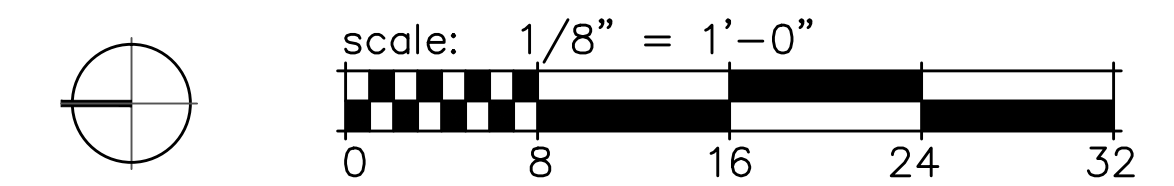
R 23-02



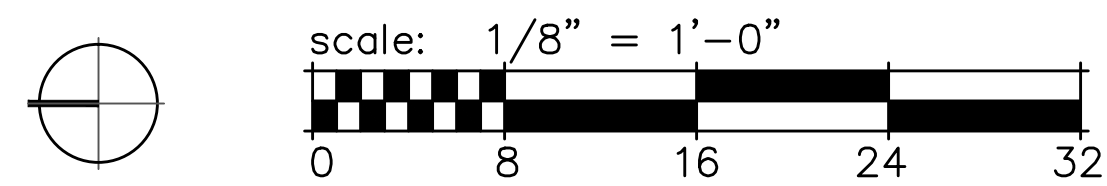
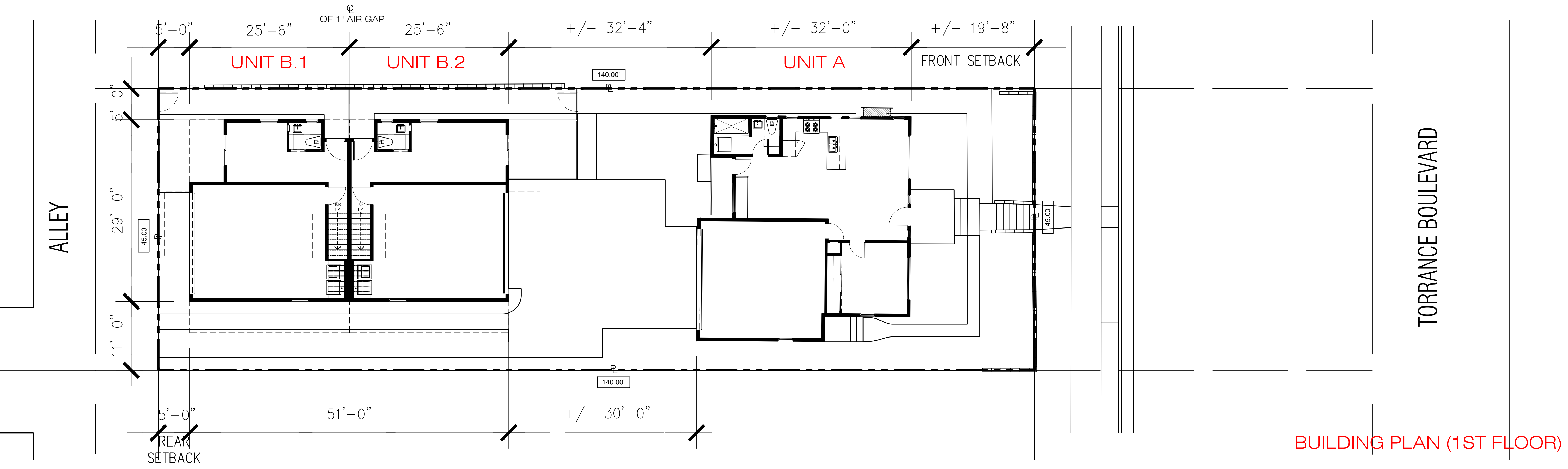
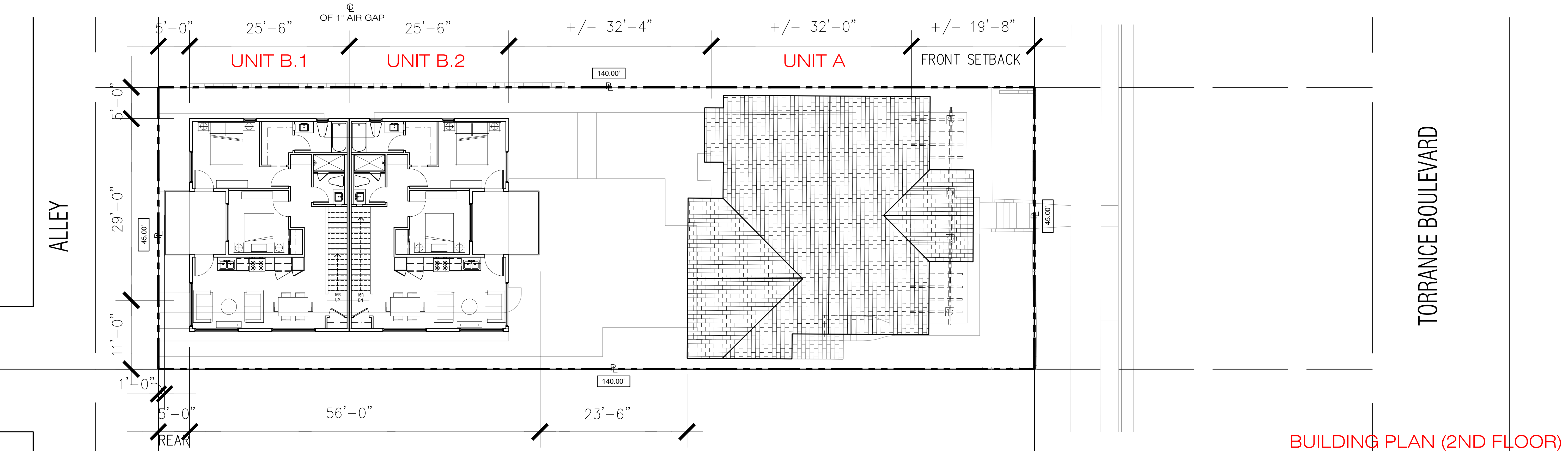
COMMON & PRIVATE OPEN SPACE (LEVEL 2)



COMMON & PRIVATE OPEN SPACE (LEVEL 1)



BLDG PLANS



cR Design Inc.
 2040 Lomita Blvd., Suite 104
 Lomita, CA 90247
 (310) 341-3436
 rickydlrosa@gmail.com
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BLDG PLANS

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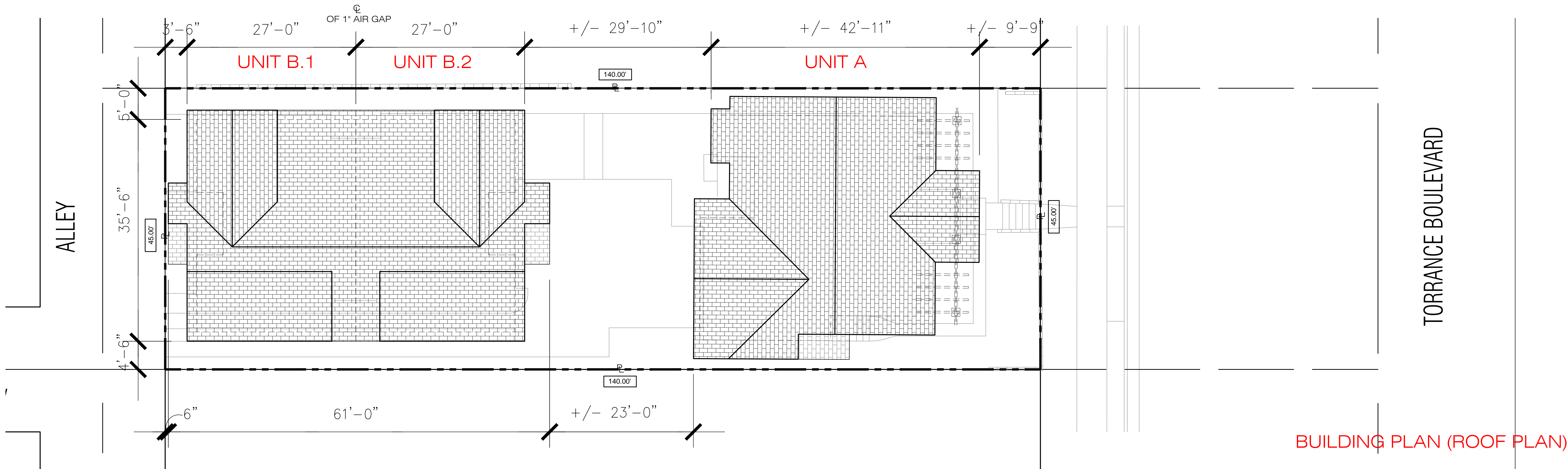
2313 Torrance Blvd.
Torrance, CA 90501

FABIE
3 UNIT

CLIENT:
TYRON FABIE

A2.2

R 23-02



BUILDING PLAN (ROOF PLAN)

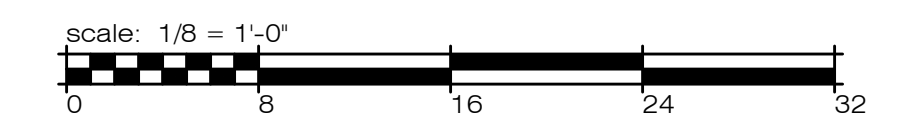
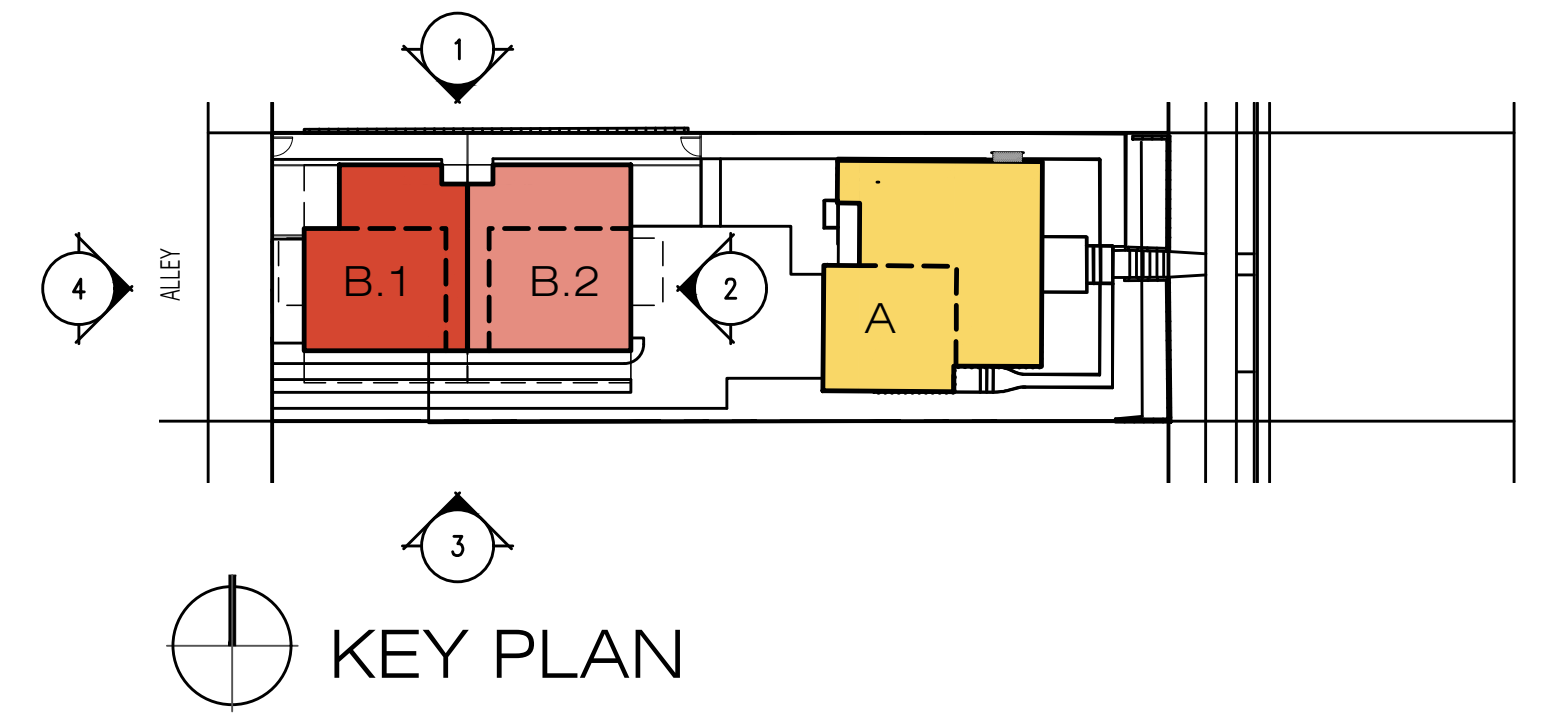
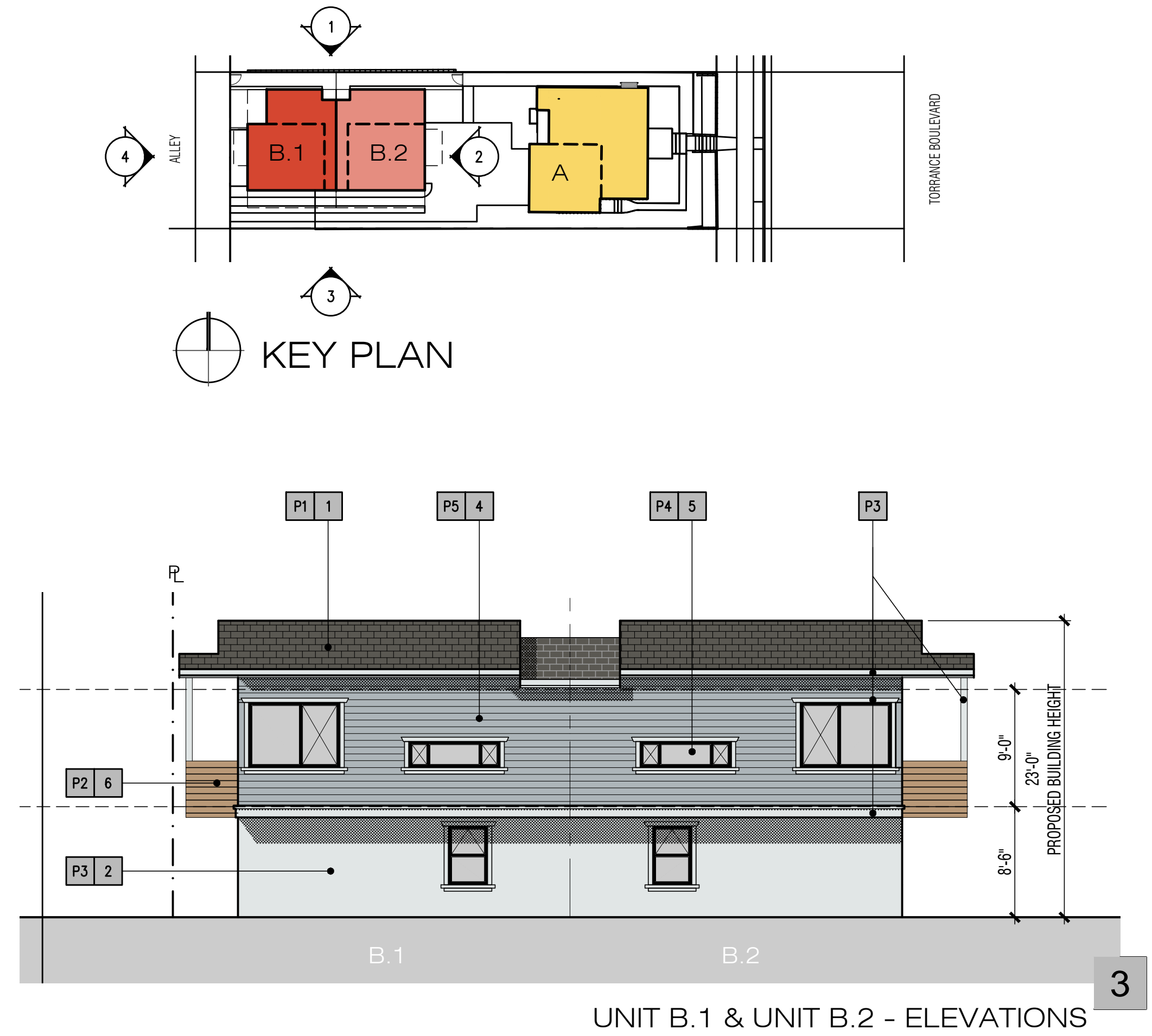
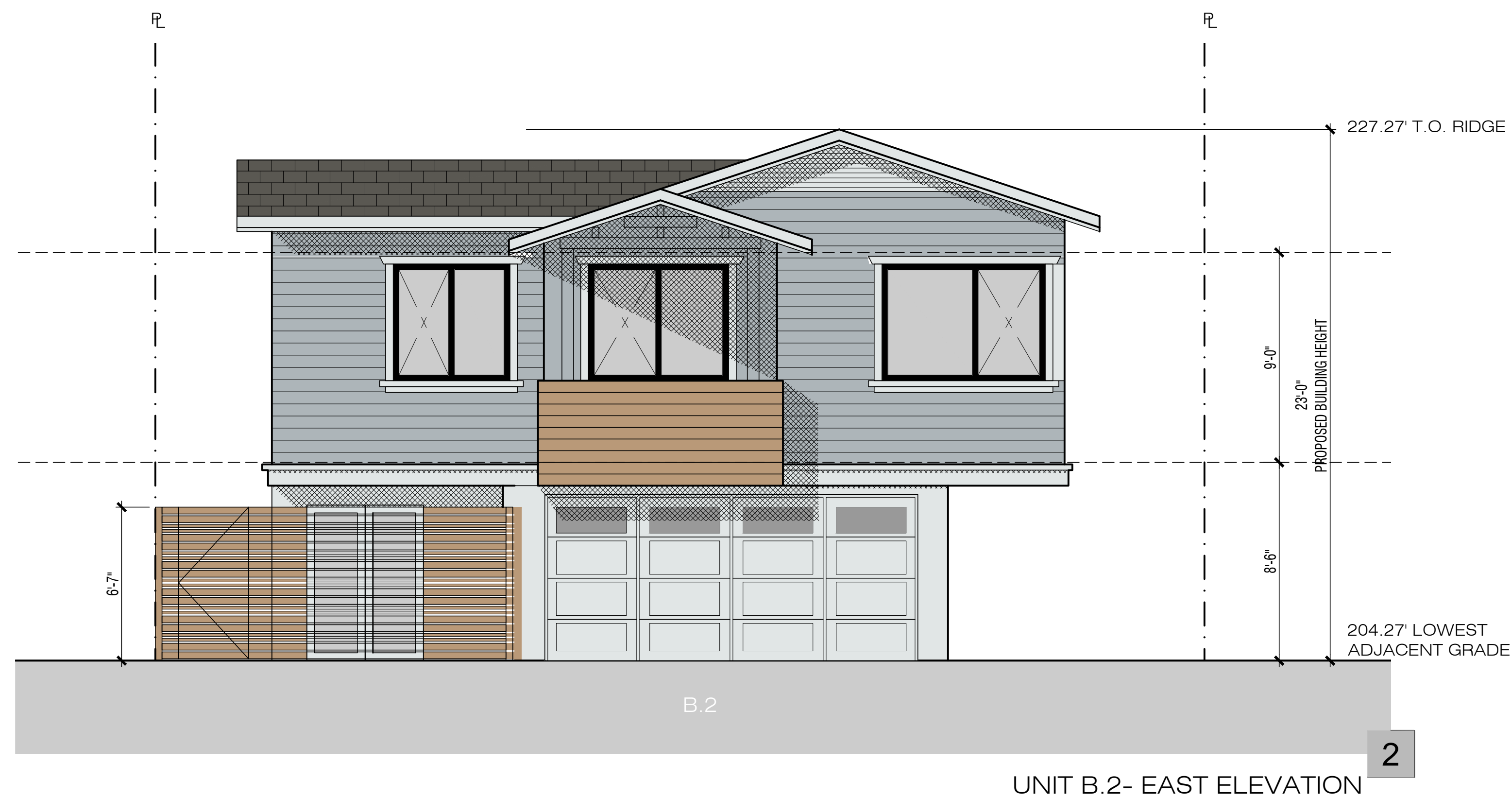
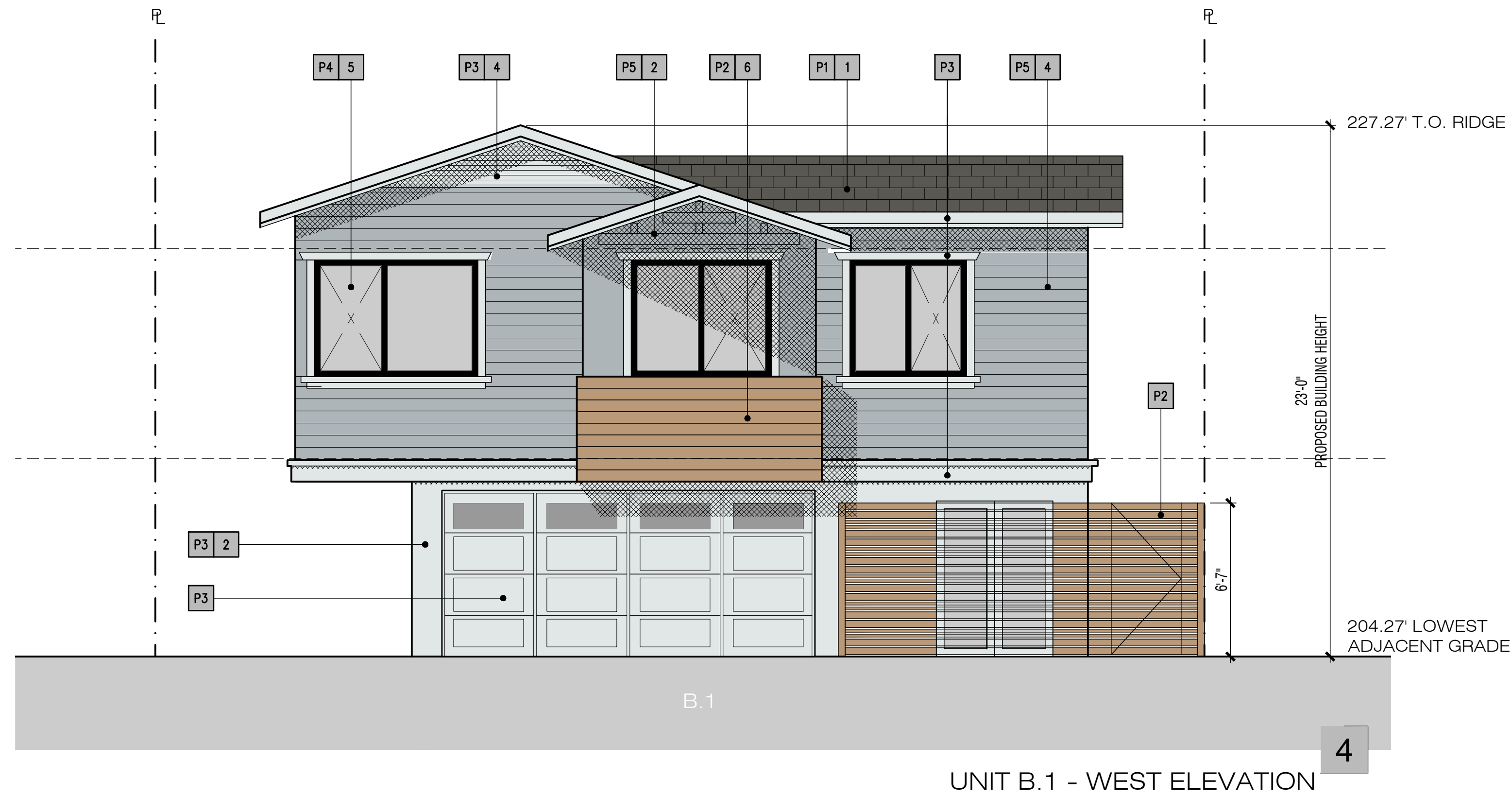
ELEVATIONS

MATERIAL LEGEND

- 1 Shingle Roofing
- 2 Cement Plaster (20/30 Sand Finish)
- 3 Board and Batten Siding
- 4 Hardie Board Siding (Horizontal)
- 5 Recessed Vinyl Windows - Milgard
- 6 Wood Rail
- 7 Exterior Doors
- 8 Shade Canopy
- 9 Trim

PAINT LEGEND

- P1 GAF Timberline Charcoal
- P2 BM 1124 Saddle Tan
- P3 SW 6525 Rarified Air
- P4 Milgard Black
- P5 SW 6248 Jubilee



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 Lomita, CA 90247
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FABIE
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 A3.1
 R 23-02

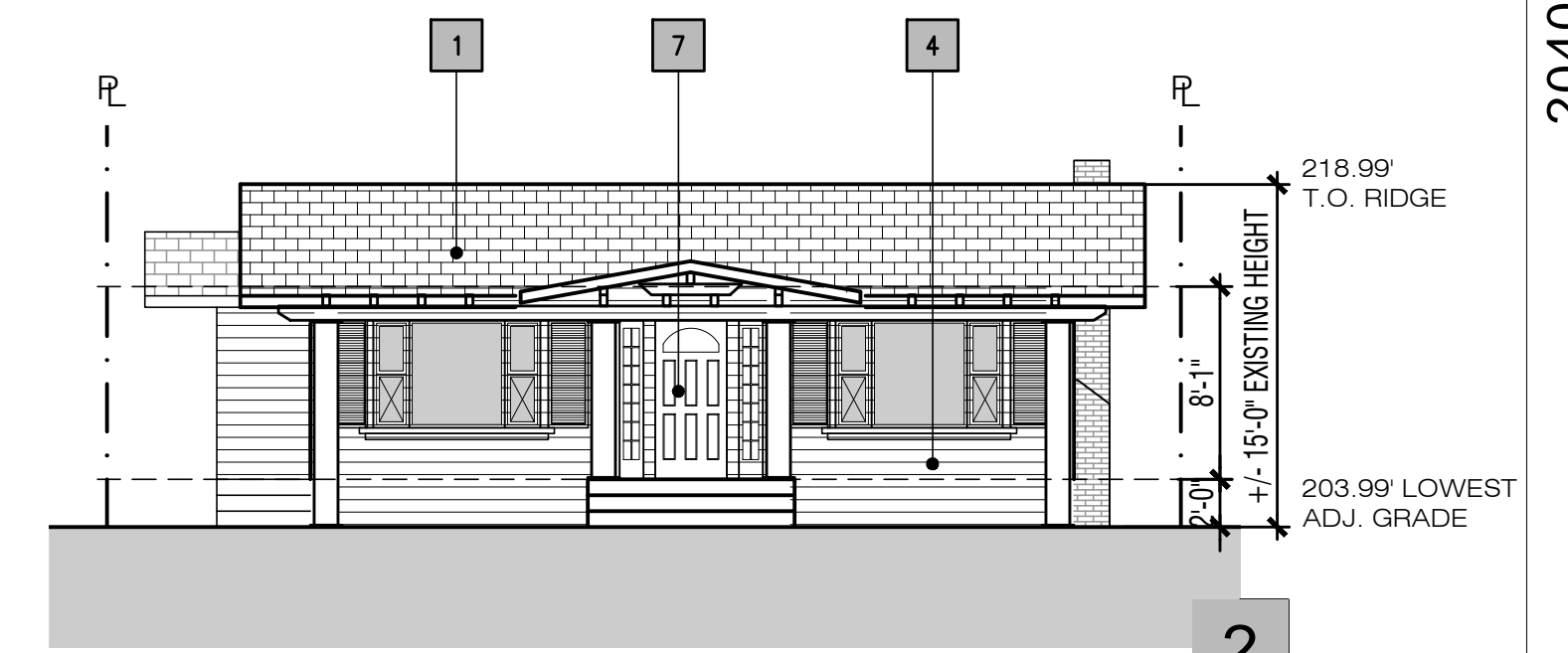
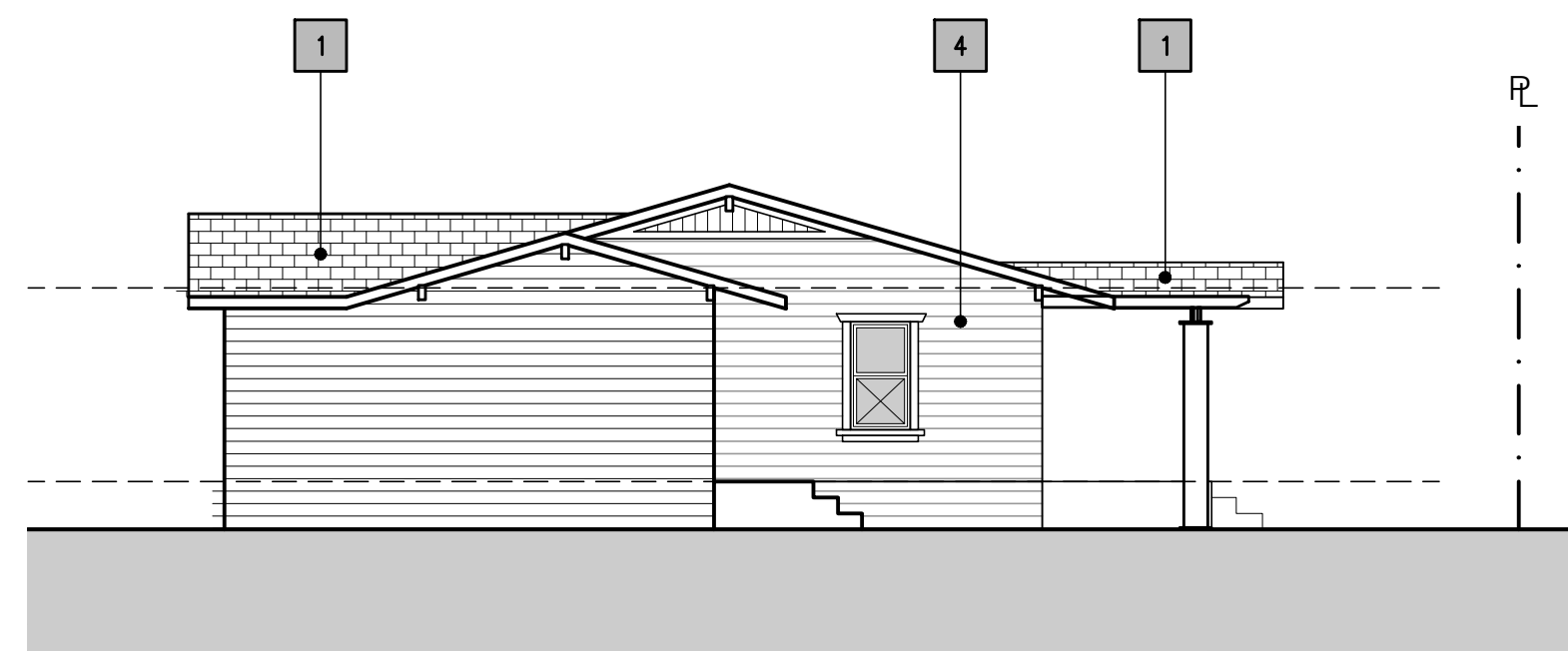
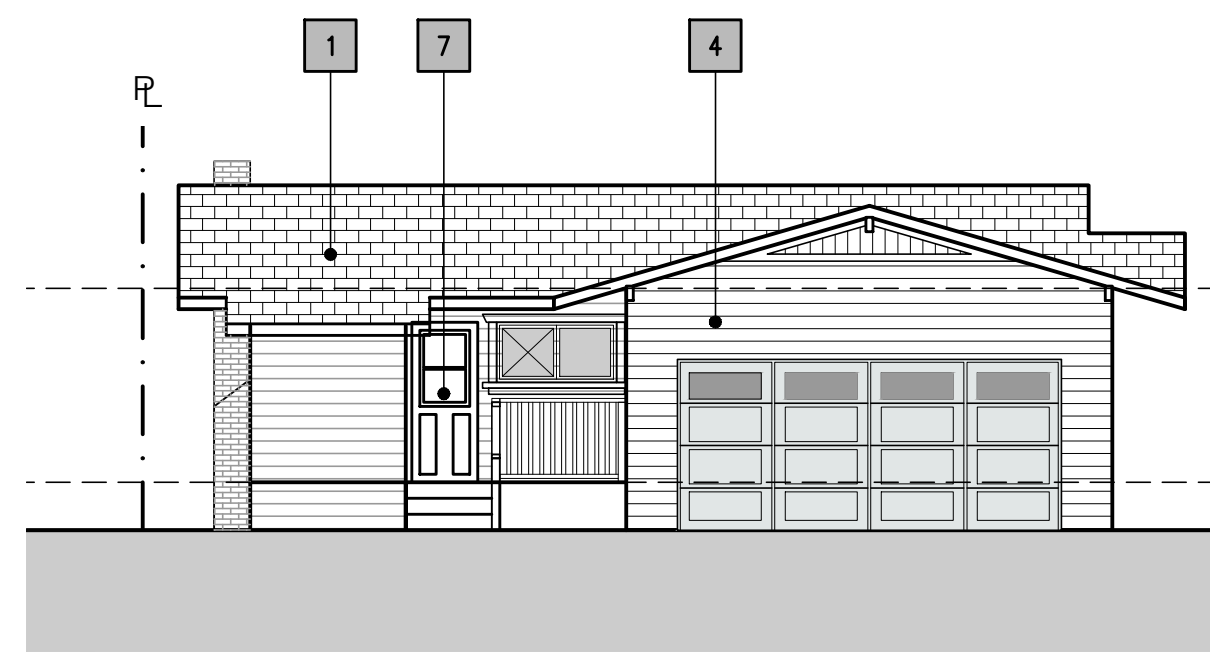
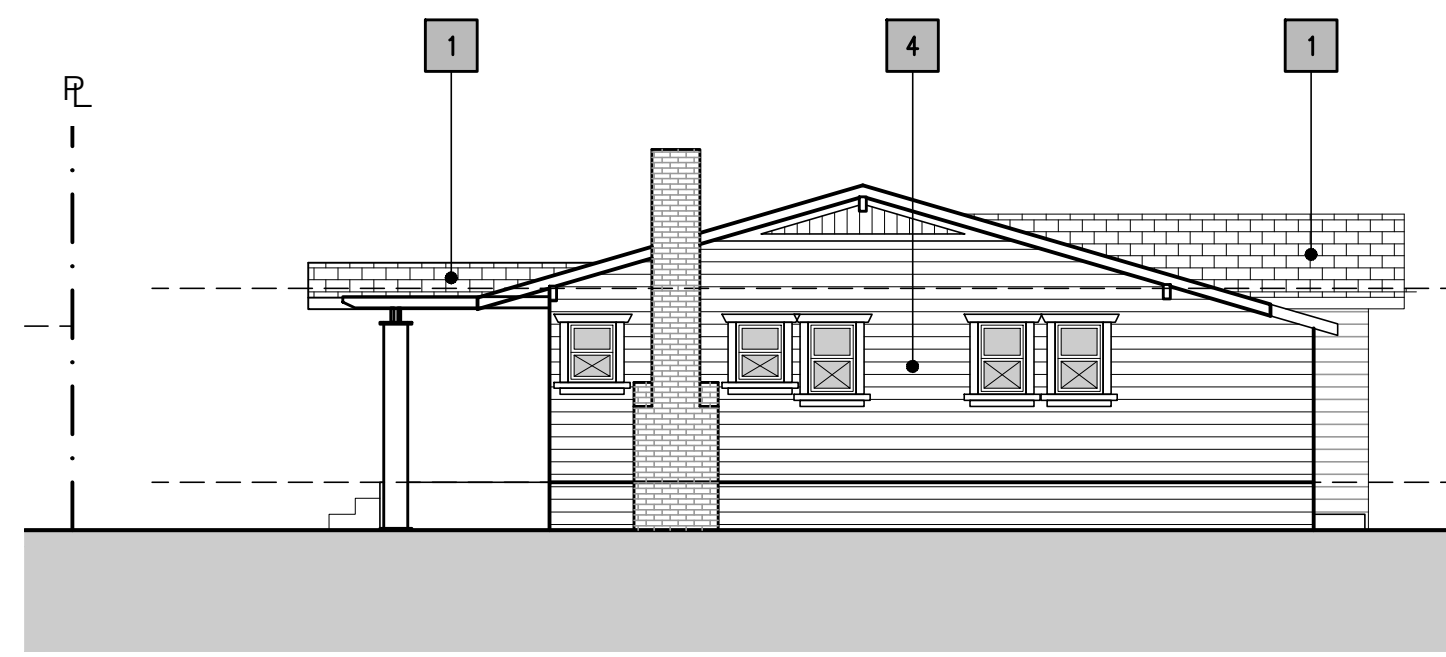
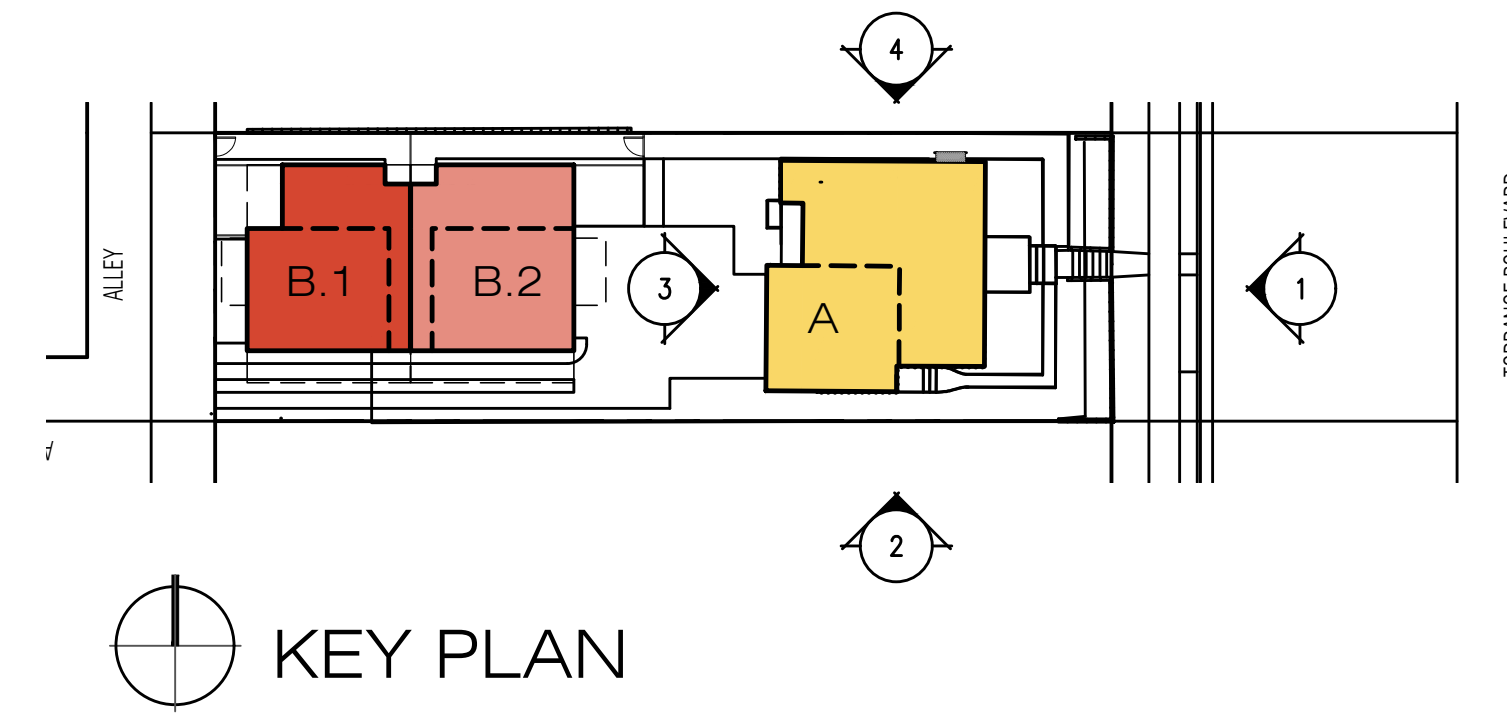
ELEVATIONS

MATERIAL LEGEND

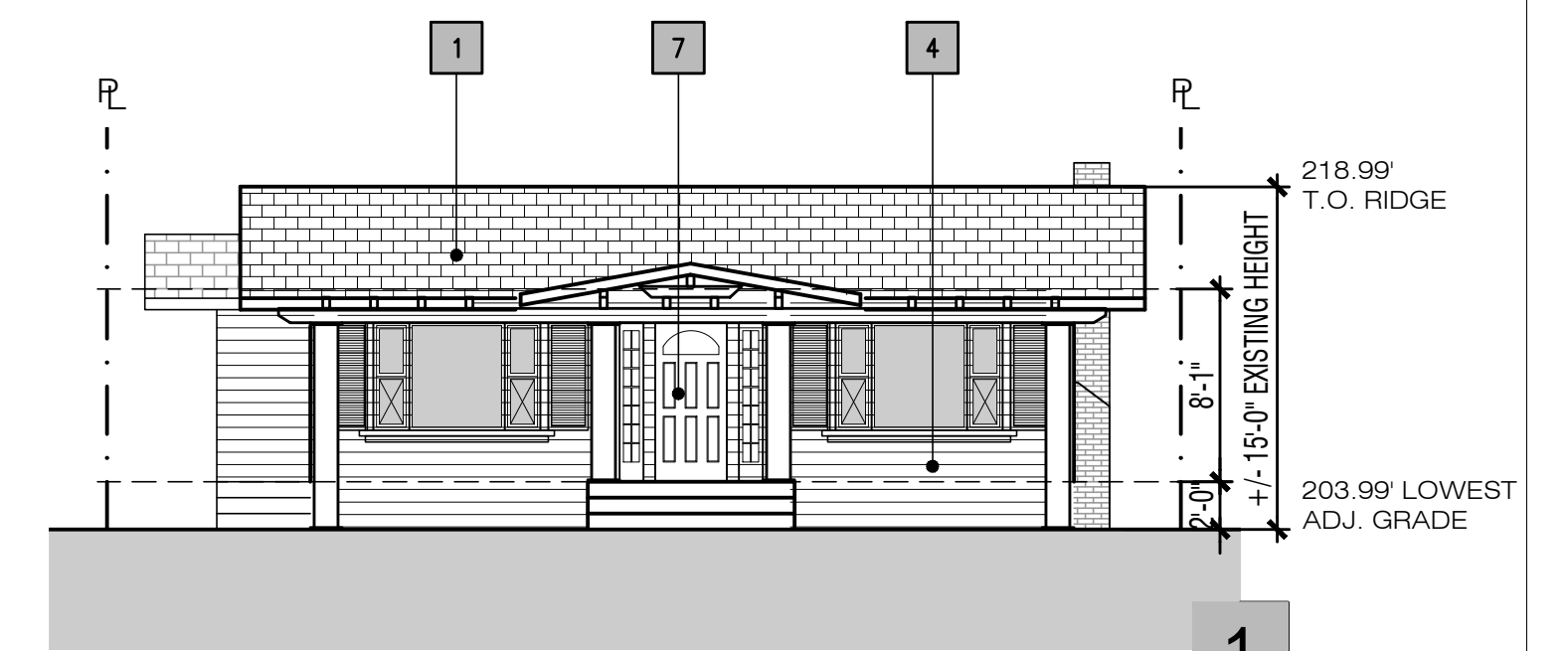
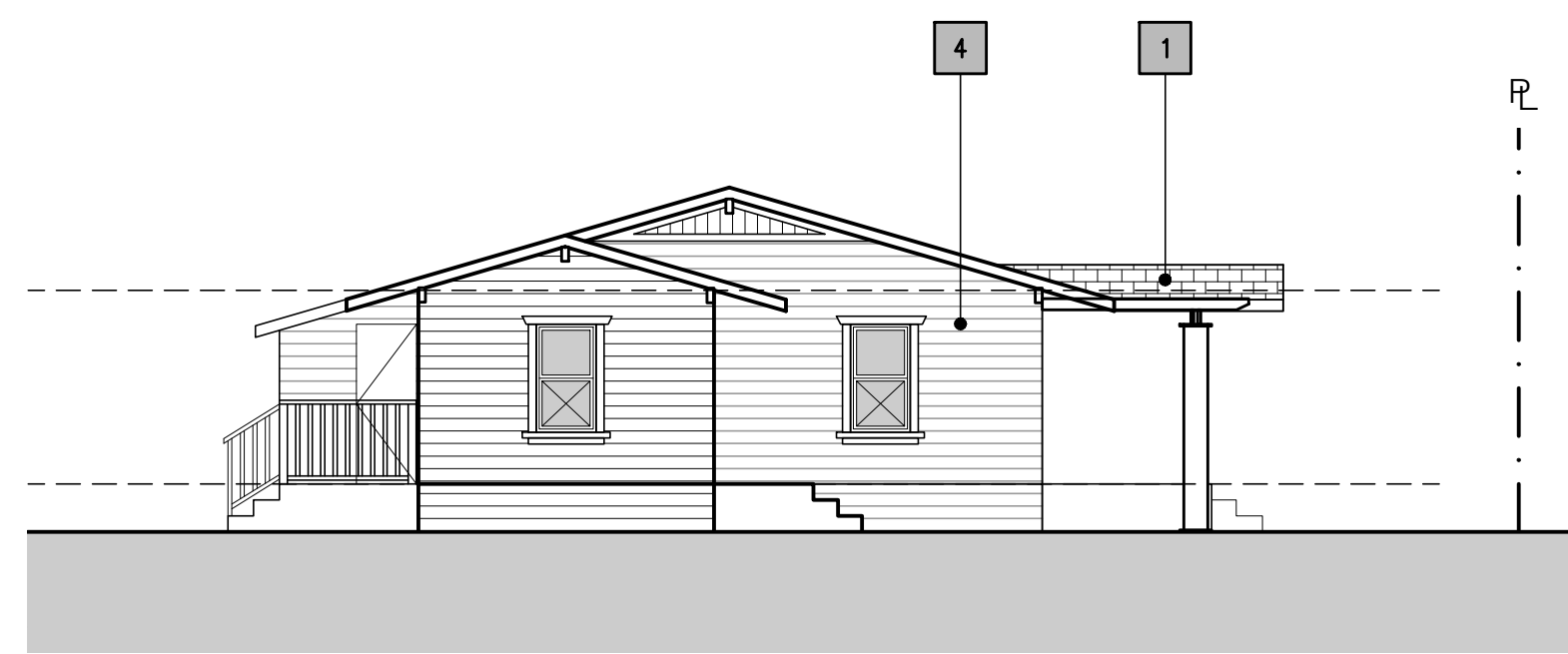
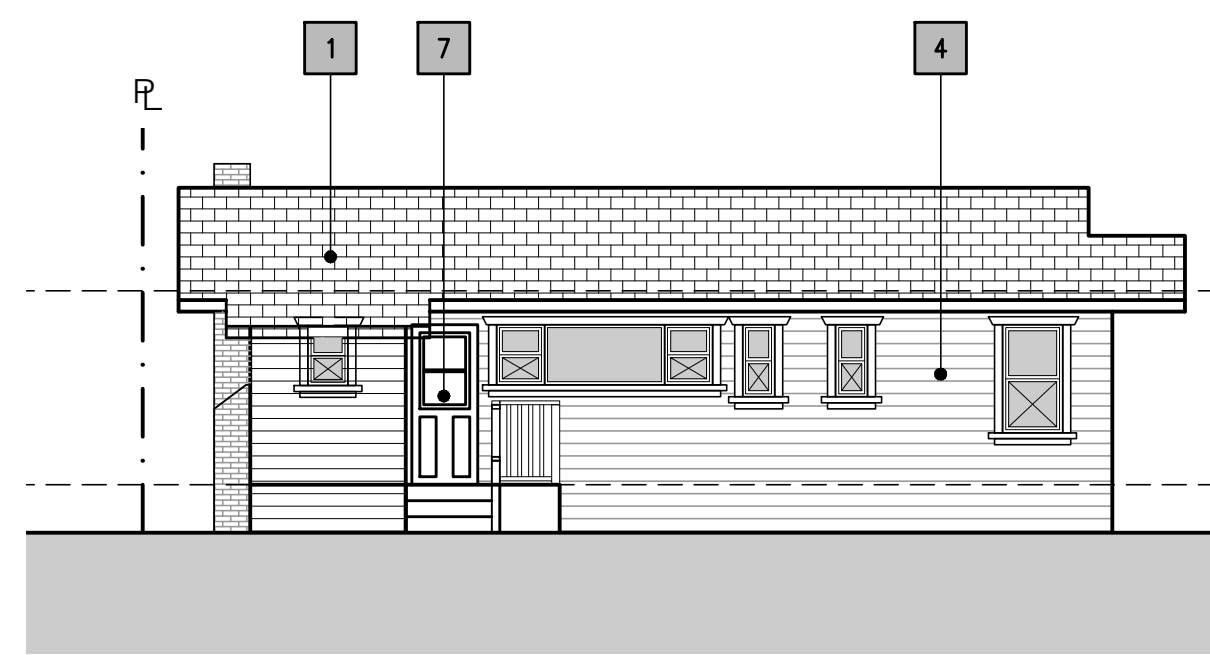
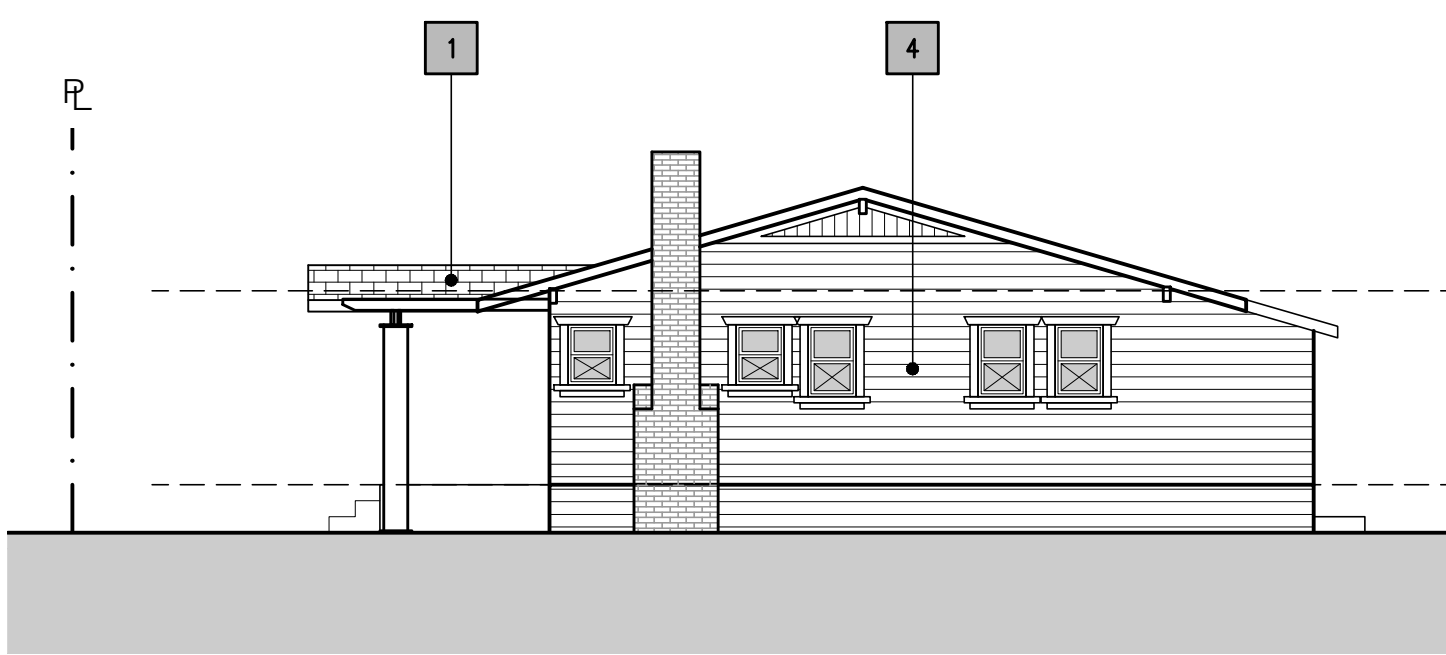
- 1 Shingle Roofing
- 2 Cement Plaster (20/30 Sand Finish)
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- 9 Trim

PAINT LEGEND

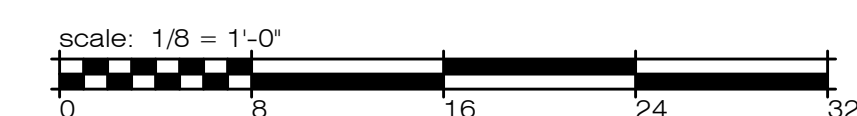
- P1 GAF Timberline Charcoal
- P2 BM 1124 Saddle Tan
- P3 SW 6525 Rarified Air
- P4 Milgard Black
- P5 SW 6248 Jubilee



RESIDENCE - PROPOSED ELEVATIONS



RESIDENCE - EXISTING ELEVATIONS



2040 Lomita Blvd., Suite 104
 Lomita, CA 90247
 (310) 341-3436
 rickydlrosa@gmail.com
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FABIE
 3 UNIT

CLIENT:
 TYRON FABIE

A3.2

R 23-02

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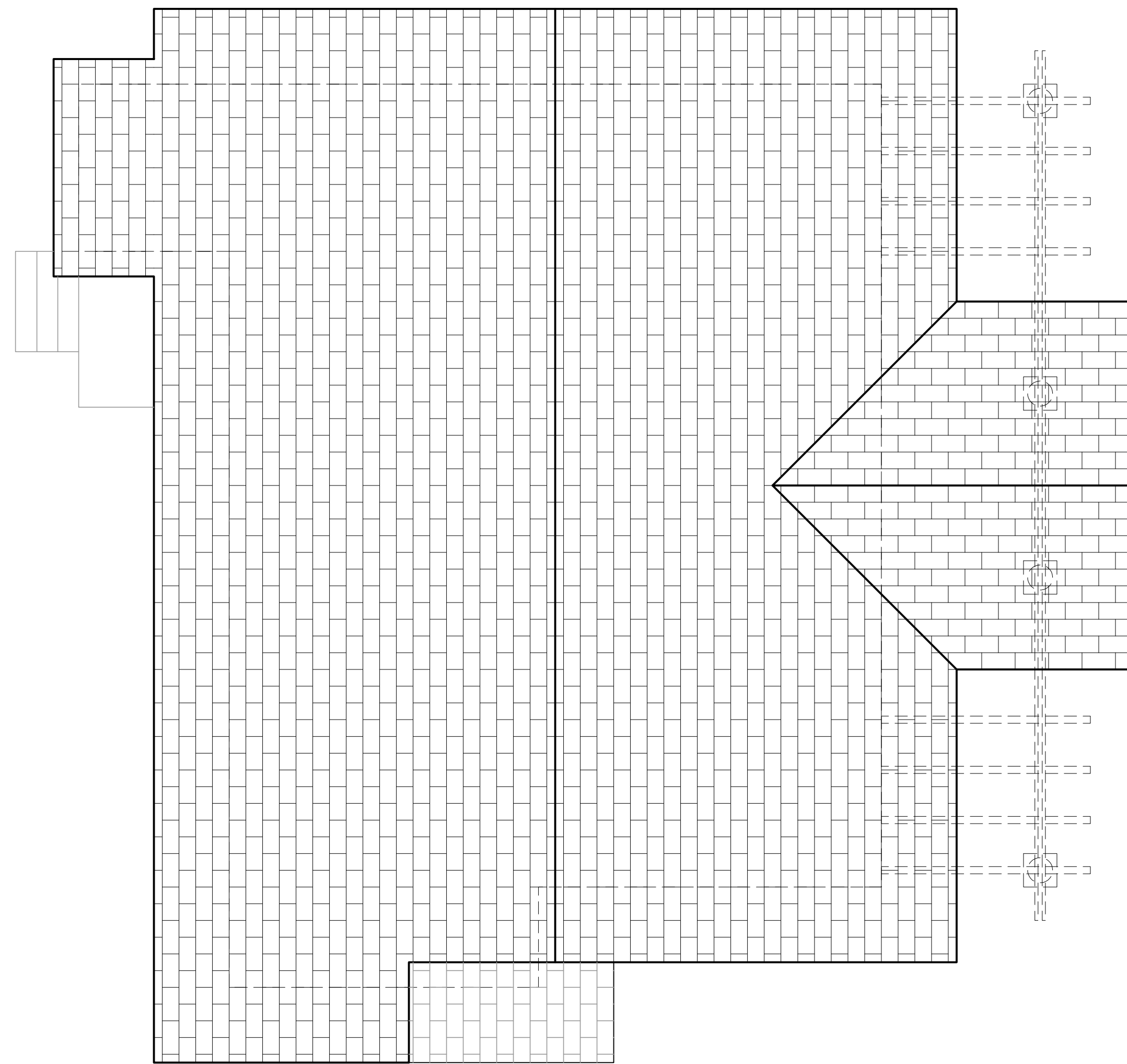
PLAN A

cR Design Inc.

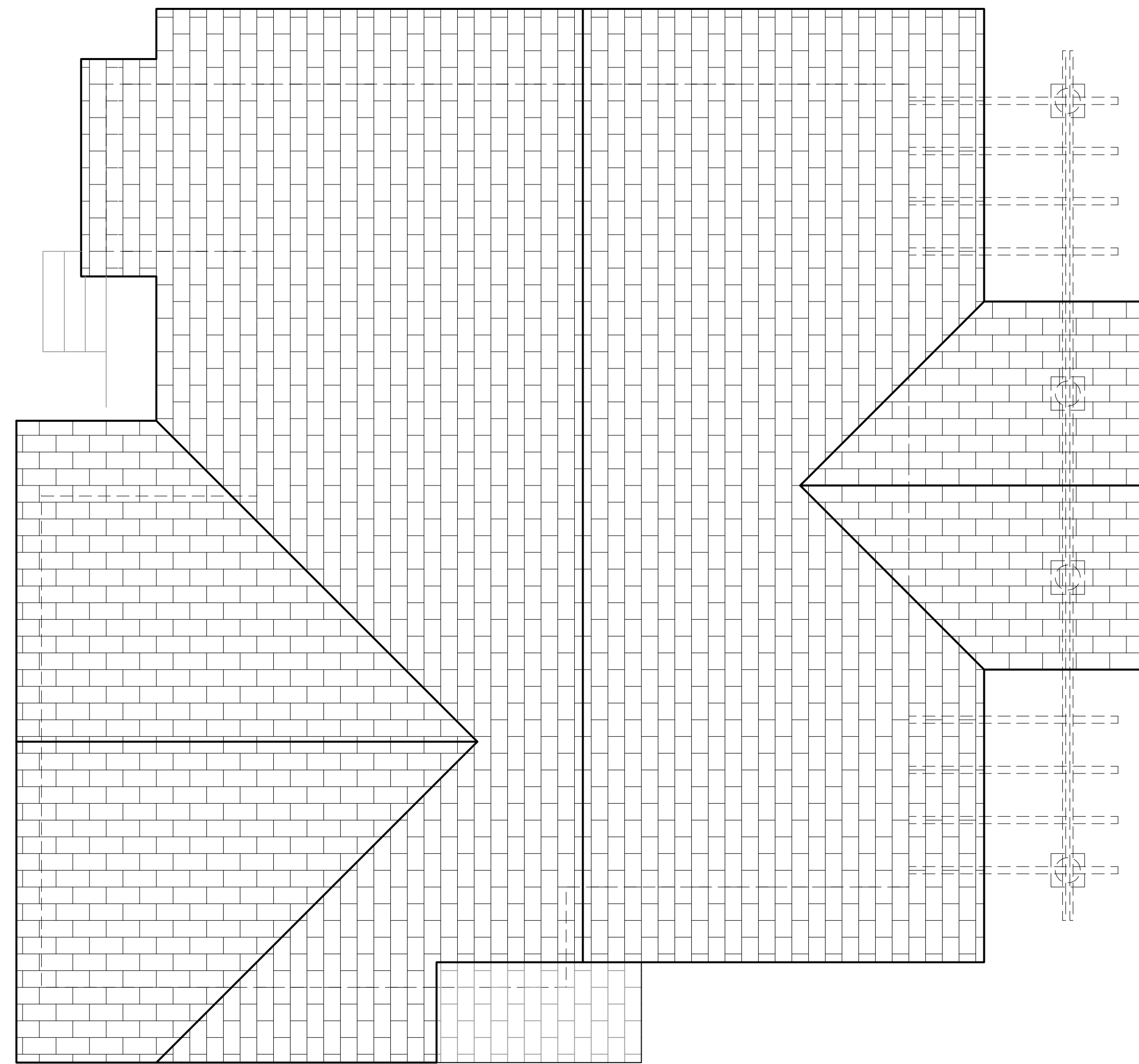
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ROOM LEGEND

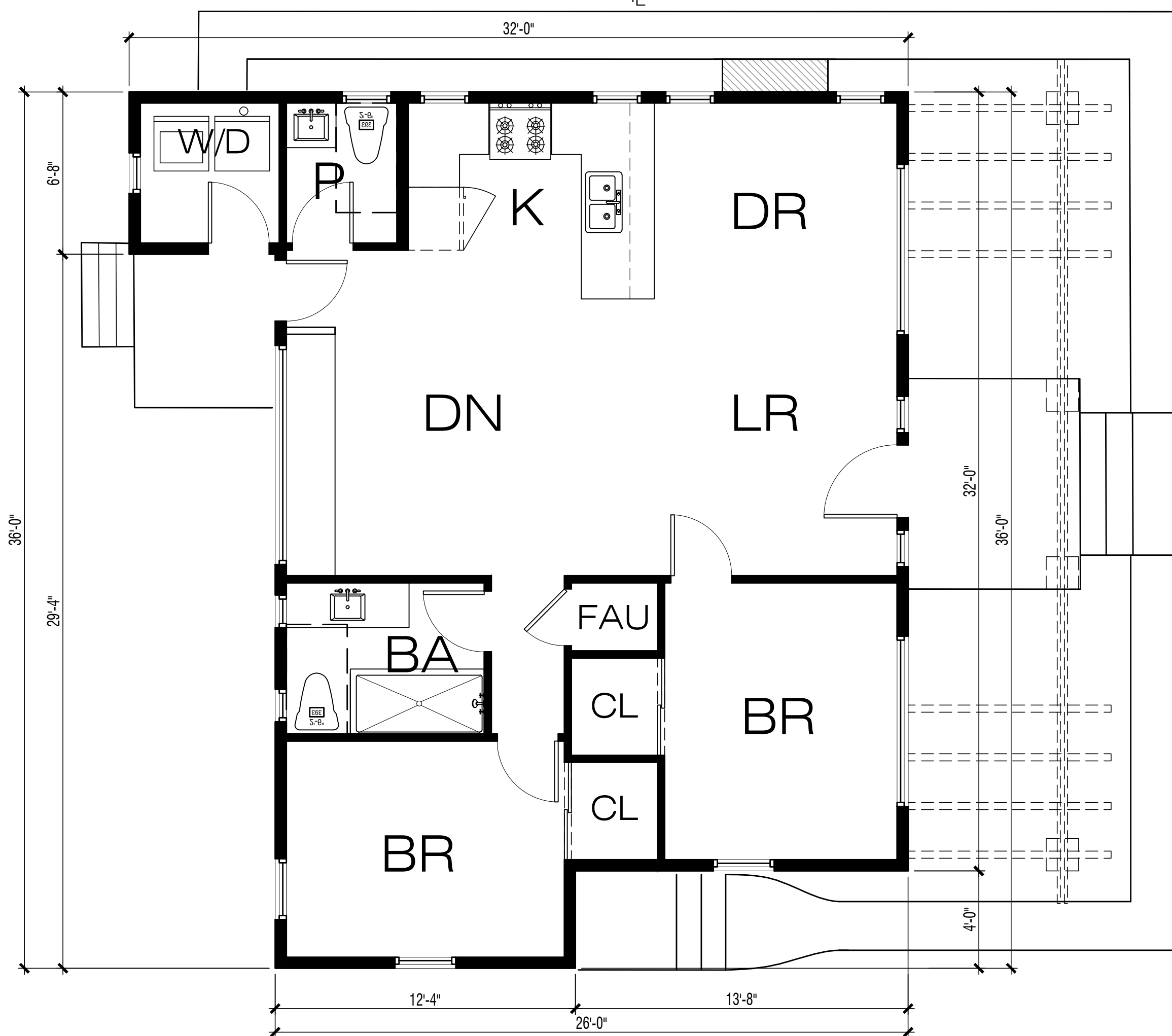
- E Entry
- G Garage
- BR Bedroom
- MBR Master Bedroom
- P Powder
- BA Bathroom
- MBA Master Bathroom
- K Kitchen
- LR Living Room
- DR Dining Room
- DN Den
- DK Deck
- CL Closet
- C Coat Closet
- LN Linen Closet
- WIC Walk-In Closet
- W/D Washer / Dryer
- ST Storage
- ADU Accessory Dwelling Unit



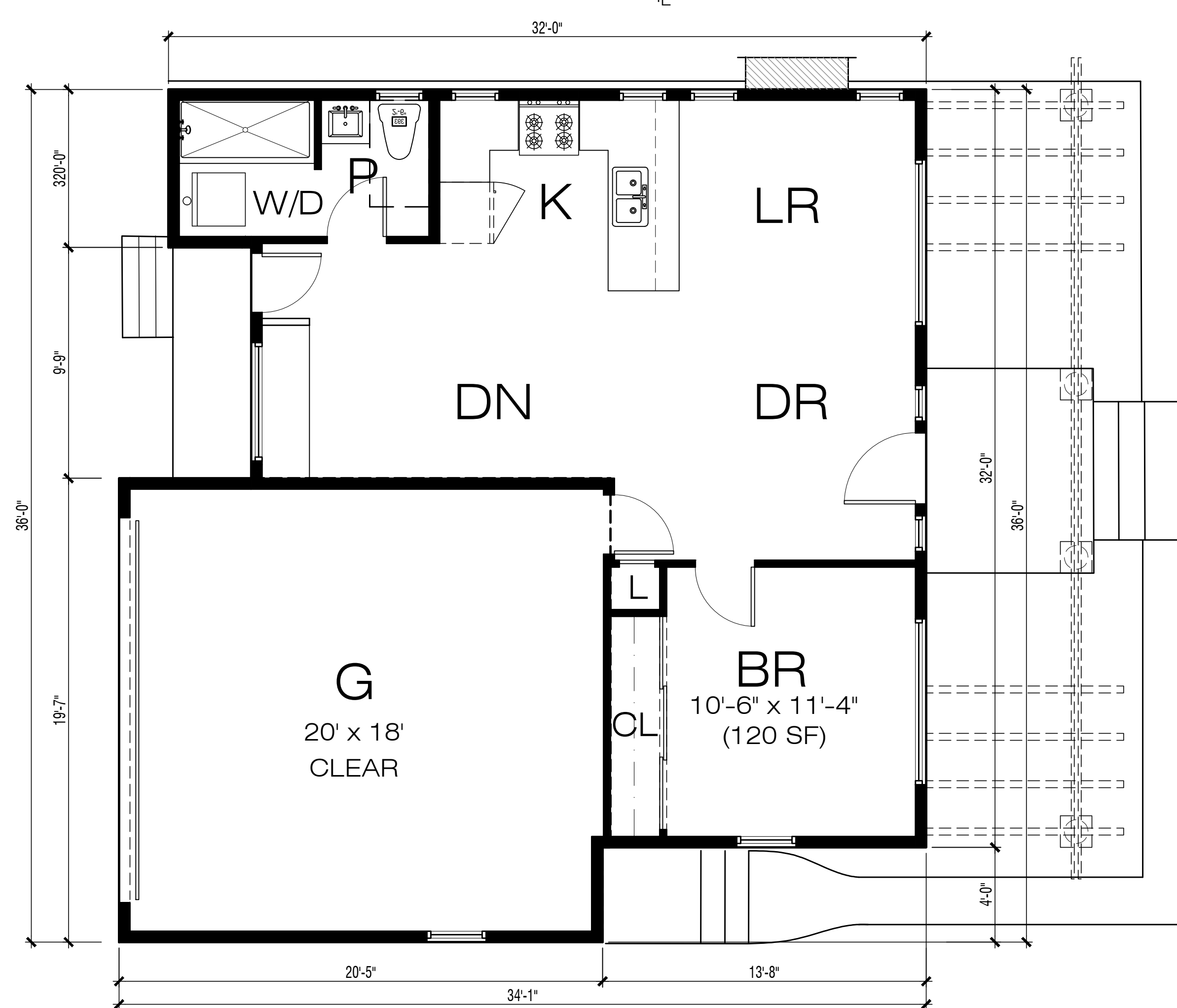
EXISTING ROOF PLAN



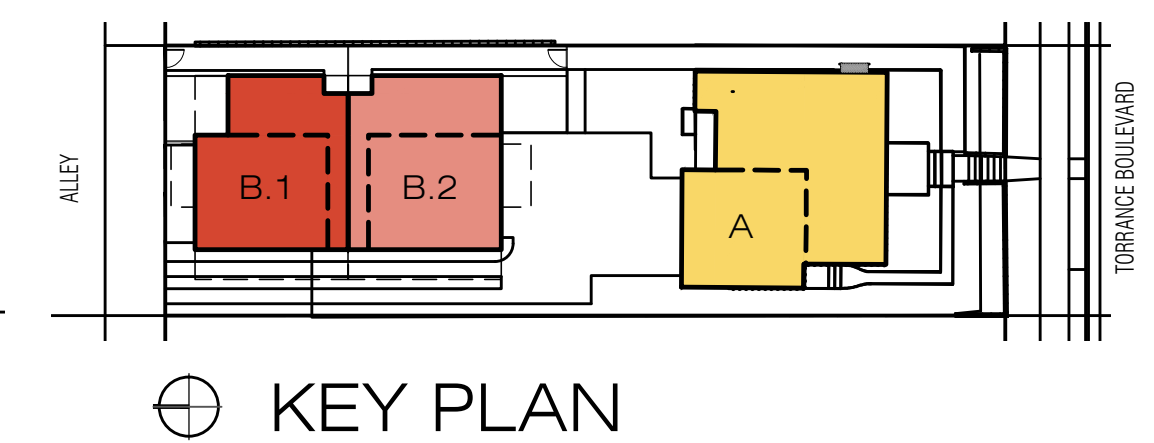
PROPOSED ROOF PLAN



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN



KEY PLAN



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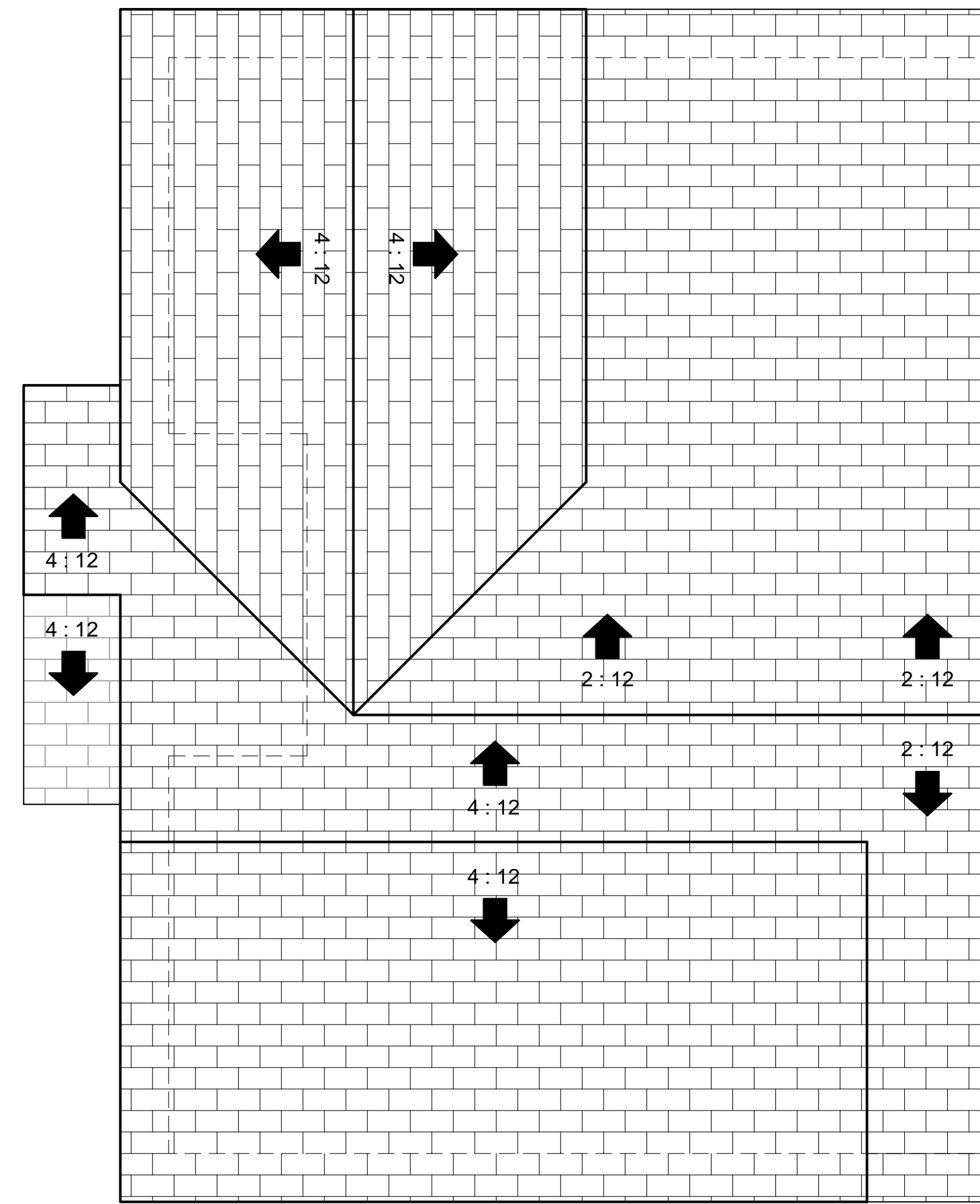
FABIE
3 UNIT

CLIENT:
 TYRON FABIE

A4.0

R 23-02

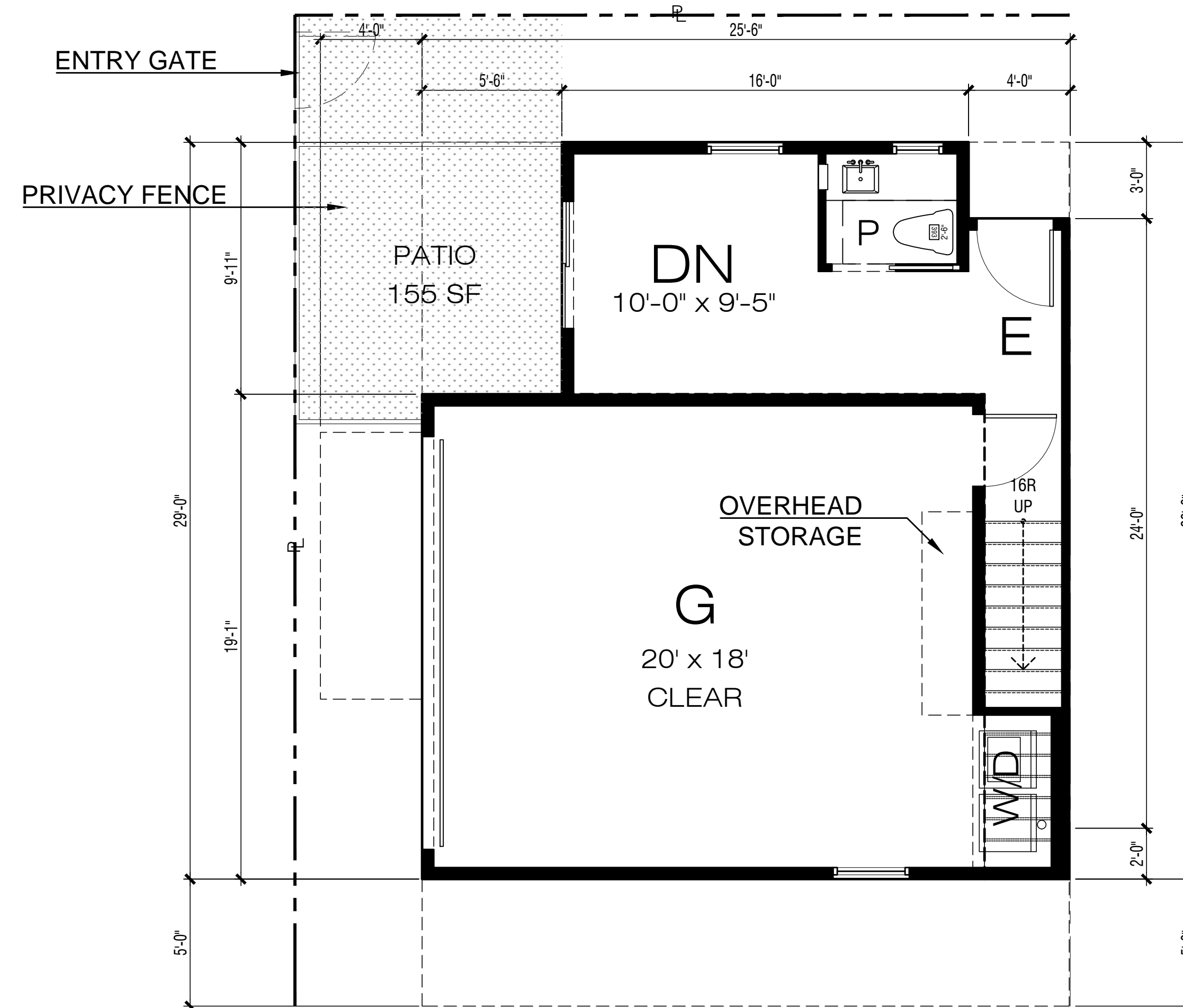
PLAN B.1



ROOF



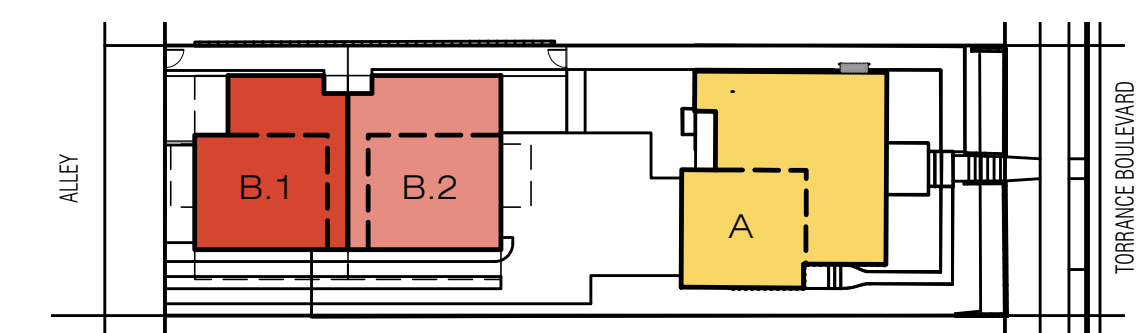
2ND FLOOR
763 SF
(808 SF - 45 SF STAIR)



1ST FLOOR
227 SF

ROOM LEGEND

- E Entry
- G Garage
- BR Bedroom
- MBR Master Bedroom
- P Powder
- BA Bathroom
- MBA Master Bathroom
- K Kitchen
- LR Living Room
- DR Dining Room
- DN Den
- DK Deck
- CL Closet
- C Coat Closet
- LN Linen Closet
- WIC Walk-In Closet
- W/D Washer / Dryer
- ST Storage
- ADU Accessory Dwelling Unit



KEY PLAN

TOWNHOME - UNIT B.1
2 BR + 2.5 BA
+ DEN
GROSS AREA = 990 SF
PRIVATE DECK = 95 SF
PRIVATE PATIO = 155 SF



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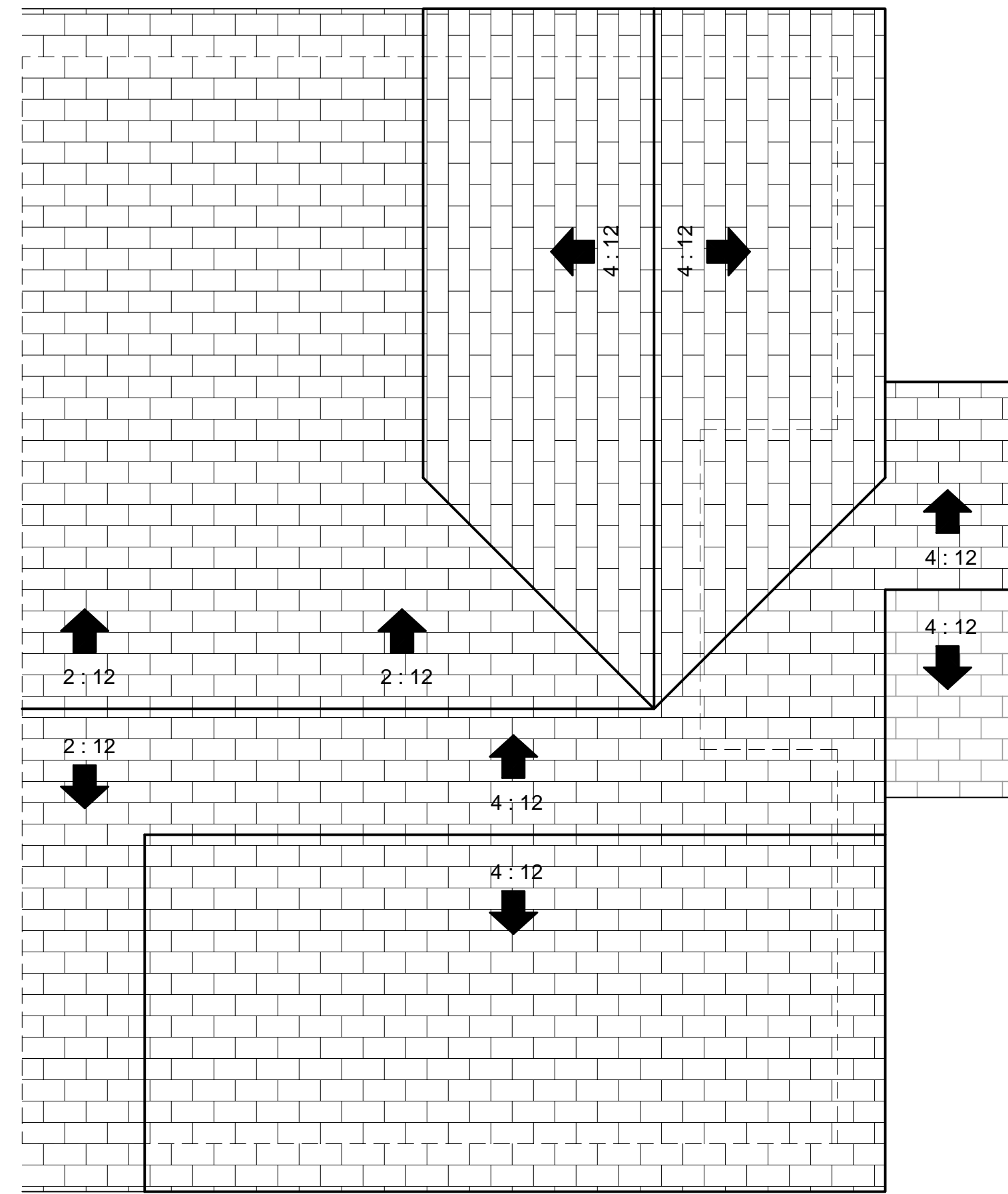
FABIE
3 UNIT

CLIENT:
TYRON FABIE

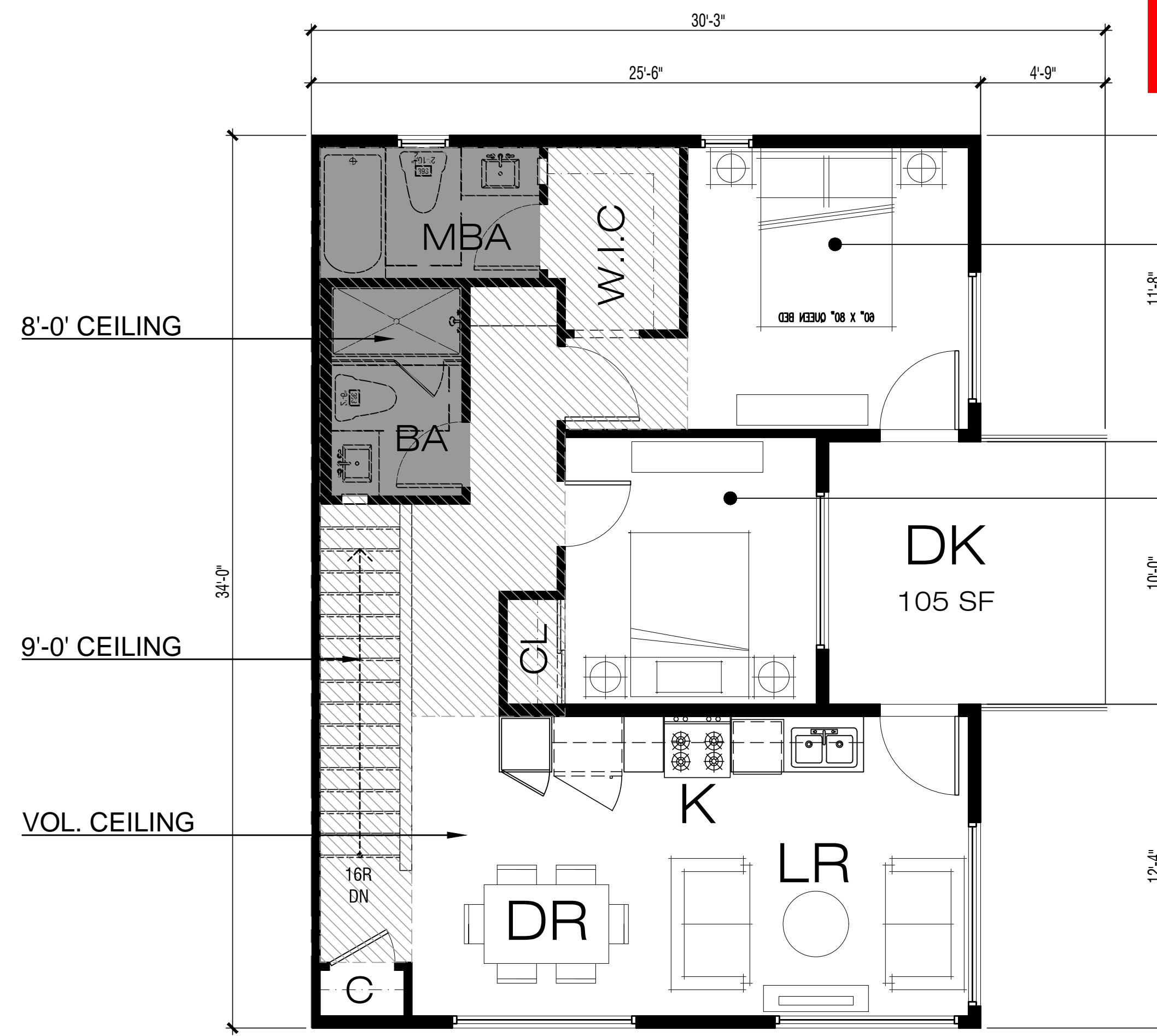
A4.1
R 23-02

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PLAN B.2



ROOF



2ND FLOOR

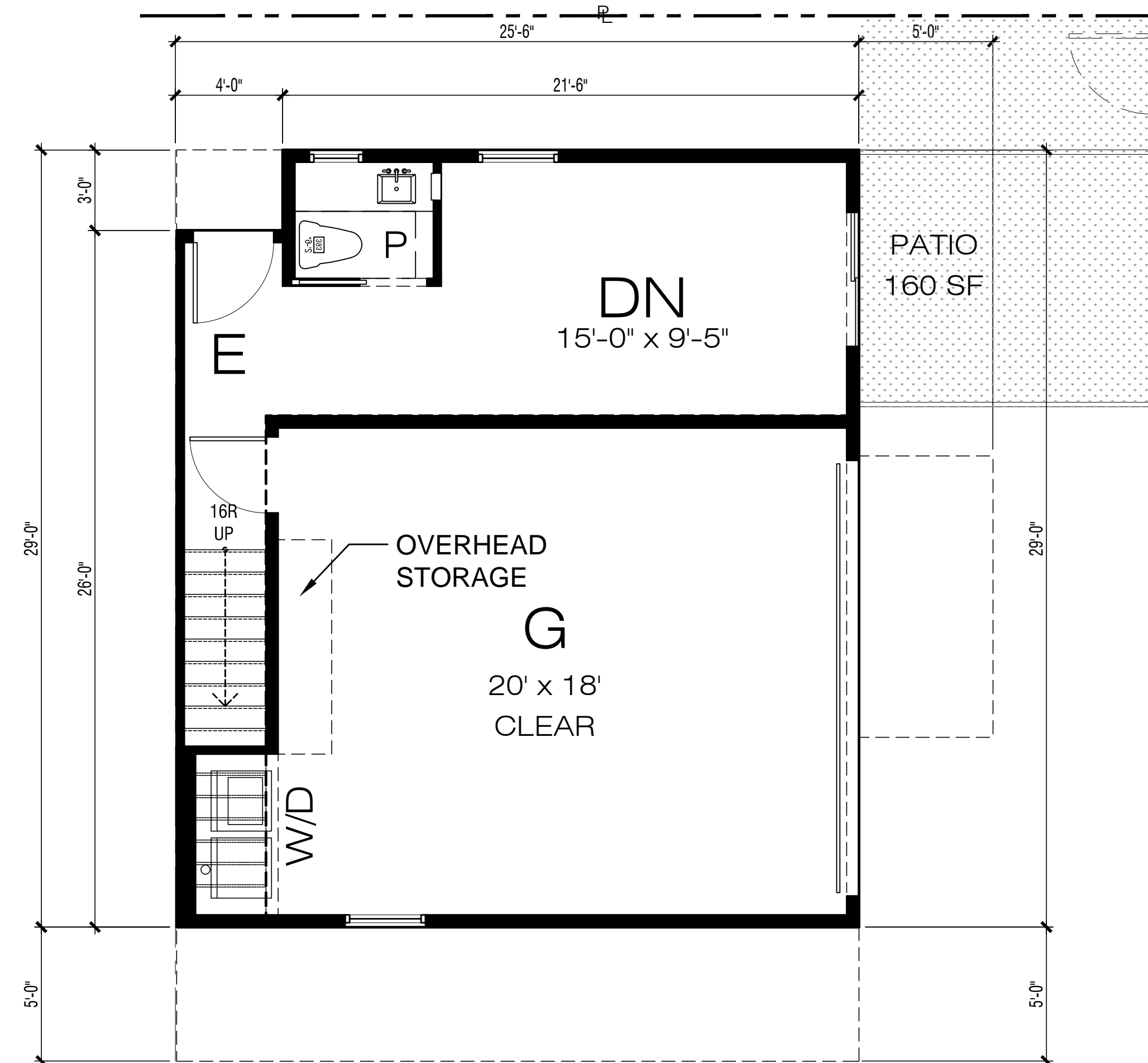
763 SF
(808 SF - 45 SF STAIR)

MBR
10'-8" x 10'-8"
(130 SF)

BR 2
10'-0" x 9'-6"
(95 SF)

ROOM LEGEND

- E Entry
- G Garage
- BR Bedroom
- MBR Master Bedroom
- P Powder
- BA Bathroom
- MBA Master Bathroom
- K Kitchen
- LR Living Room
- DR Dining Room
- DN Den
- DK Deck
- CL Closet
- C Coat Closet
- LN Linen Closet
- WIC Walk-In Closet
- W/D Washer / Dryer
- ST Storage
- ADU Accessory Dwelling Unit

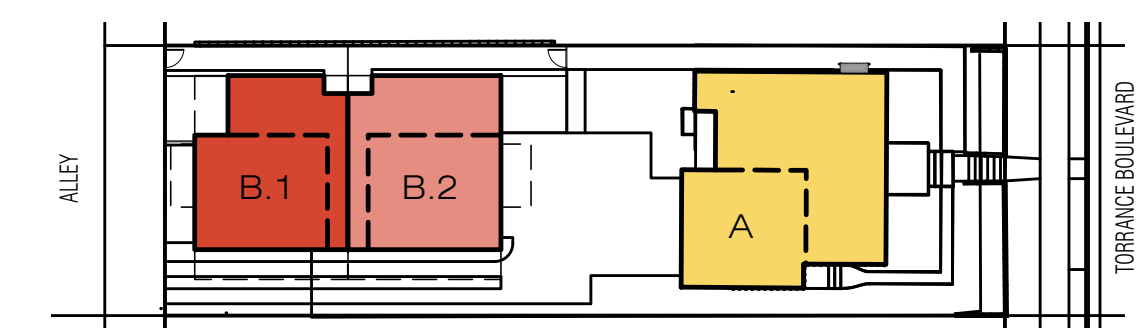


1ST FLOOR

282 SF

ENTRY GATE

PRIVACY FENCE



KEY PLAN

TOWNHOME - UNIT B.2

2 BR + 2.5 BA

+ DEN

GROSS AREA = 1,045 SF

PRIVATE DECK = 105 SF

PRIVATE PATIO = 160 SF



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FABIE
3 UNIT

CLIENT:
TYRON FABIE

A4.2

R 23-02

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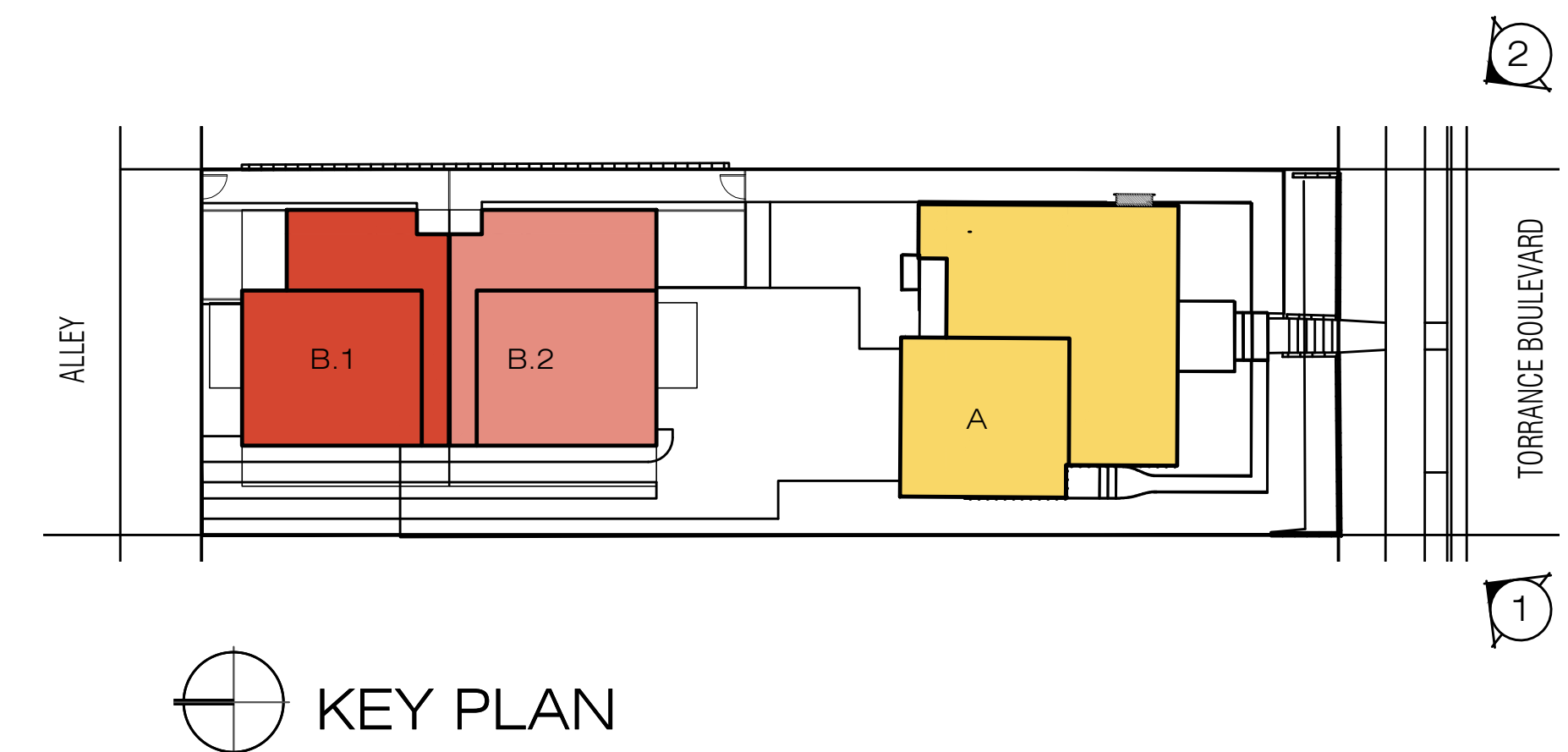
RENDERINGS



2 - PERSPECTIVE FROM TORRANCE BLVD. - SOUTH-EAST CORNER OF SITE



1 - PERSPECTIVE FROM TORRANCE BLVD. - SOUTH-WEST CORNER OF SITE



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FABIE
3 UNIT

CLIENT:
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A5.1
 R 23-02

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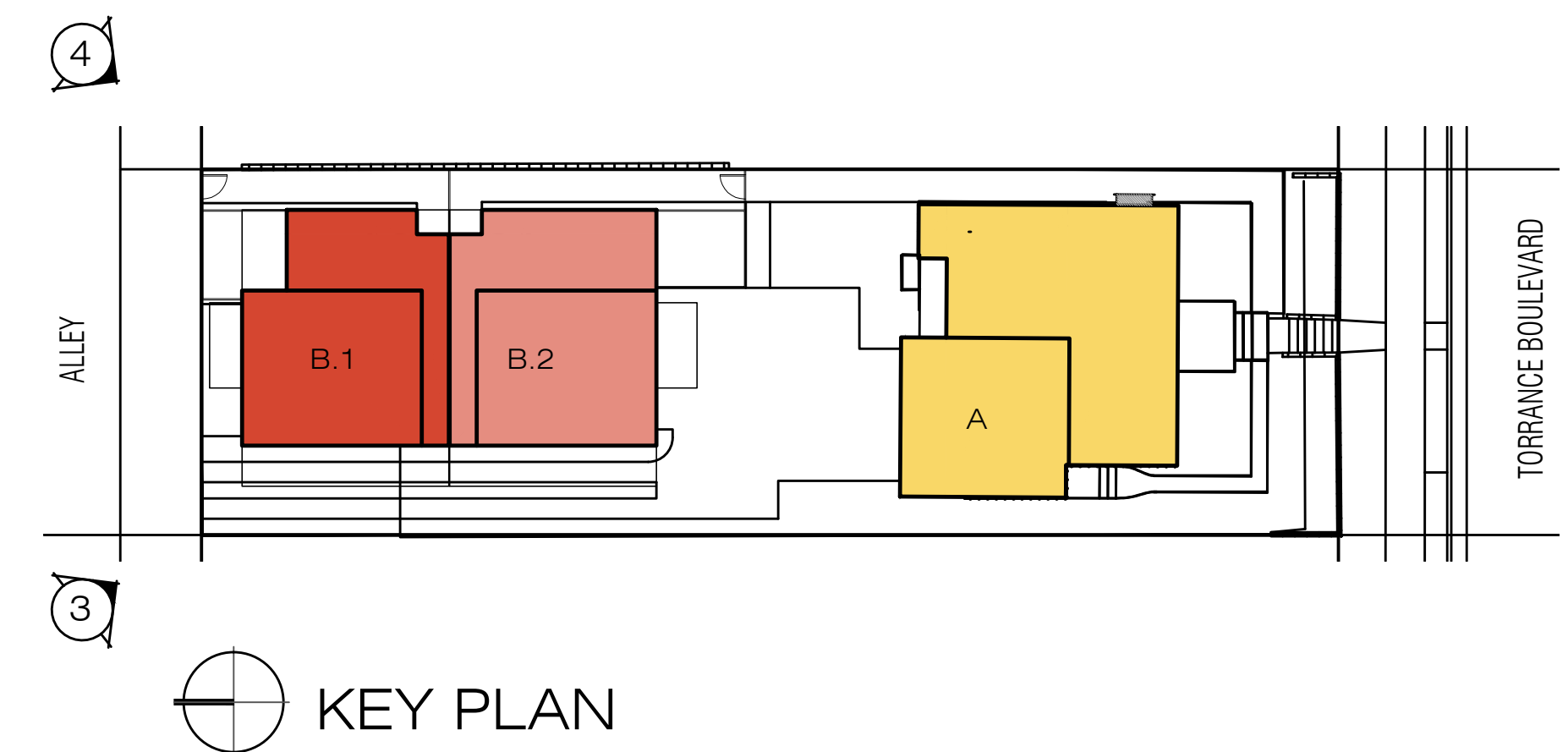
RENDERINGS



4 - PERSPECTIVE FROM ALLEY - NORTH-WEST CORNER OF SITE



3 - PERSPECTIVE FROM ALLEY - NORTH-EAST CORNER OF SITE



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FABIE
3 UNIT

CLIENT:
 TYRON FABIE

A5.2
 R 23-02

cR Design Inc.

AGENDA ITEM NO. 8F

DATE: October 16, 2024

TO: Planning Commission

FROM: Yolanda Gomez, Planning Associate

SUBJECT: 23106 Carlow Road (APN 7530-016-014)
Precise Plan of Development (PRE24-00008)

Consideration of a Precise Plan of Development to allow one and two-story additions to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 23106 Carlow Road.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-067 for approval of a Precise Plan of Development to allow one and two-story additions to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 23106 Carlow Road, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicants, Eric and Temmy Cheung Trustees, request approval by the Planning Commission to allow one and two-story additions to an existing two-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 23106 Carlow Road. The development standards of the R-1 Zone (Single Family Residential District), as well as, the planning and design provisions of the Hillside Overlay, are applicable to the project; and therefore, require discretionary review and approval of the following entitlement:

- Precise Plan of Development (PRE) to allow a new second story and new construction above 14' in height.

Staff has reviewed the project and has determined that the project is consistent with the Low Density Residential land use designation and complies with the objective development standards of the R-1 Zone, as well as, the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

In residential zones, additions to a single family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The site has a General Plan Land Use Designation of Low Density Residential. Development in this designation is generally characterized by one and two-story single family residences on individual lots, forming a cohesive neighborhood. The designation allows up to nine dwelling units per acre. The proposed construction of one and two-story additions to an existing one-story single family residence is consistent with the land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-1 Zone (Single Family Residential District) and bounded by four parcels that share the same zoning designation and are developed with similar land uses to the north, south, east, and west.

NORTH: R-1/Hillside Overlay District; One Story, Single Family Residence

SOUTH: R-1/Hillside Overlay District; One Story, Single Family Residence

EAST: R-1/Hillside Overlay District; One & Two Story, Single Family Residences

WEST: R-1/Hillside Overlay District; Two Story, Single Family Residences

Project Site

The subject lot is rectangular, measuring 6,830 sq. ft., with a width of 57.01 ft. by a depth of 119.81 ft. The property is oriented westward, and is on the east side of Carlow Road, where Vanderhill Road bisects the lot. To the rear of the subject site are two properties, addressed on Kathryn Avenue and 231st Street, which are at a substantially lower elevation. The subject property is currently developed with a one-story, single family residence with an attached two-car garage, originally constructed in 1956. While the building pad is relatively flat, the lot slopes upward, from the south to north, and drastically downward, to the rear of the property. Carlow Road follows the same topographical pattern as the subject lot, and slopes upward on both sides of the street from south to north, with the west side appearing to be at the same or slightly higher elevation. The subject property also slopes upward from the front of the property to the building pad.

Building Floor Plan

Building Permit records show that the original 1956 residence provided 1,178 sq. ft. with an attached two-car garage. In 1992, the front porch enclosure was converted into living area with a new covered porch and skylights added. In 2013, a 355 sq. ft. master bedroom and bathroom were added to the front of the house. In 2018, the home was remodeled, with no additions.

The proposed project provides a net 125 sq. ft. first floor addition, and a new second floor of 1,255 sq. ft., for a total addition of 1,380 sq. ft., providing a total gross area of 3,358.5 sq. ft. The first floor additions include a small 25 sq. ft. addition to the entryway, and a

100 sq. ft. addition to the north portion of the garage, with a 12 sq. ft. addition to the east (internal) side of the garage. Conversely, the same amount of area (12 sq. ft.) is a reduction of existing living area (dining room). The plans show slightly different areas for the garage addition at 139 sq. ft., but after reviewing the plans with the architect, he agreed that staff's areas are correct. Therefore, staff is providing a Condition of Approval that the plans shall be revised to show the correct areas with the final Building Plans. Minor remodeling is proposed on the first floor to accommodate the new stairs leading to the second floor, along with the conversion of the existing master bedroom into a study/office, and another bedroom into a family room. A new 175 sq. ft. covered patio at the rear of the property is proposed, with an open porch along the north side. The new second floor's footprint is smaller and centrally located above the first floor, and includes a master bedroom and bathroom, with three additional bedrooms, bathroom, laundry facilities, and an open study/gallery at the new stairway.

Building Setbacks and Site Improvements

The residence is located generally along the front half portion of the lot, with the rear 23-ft. of the lot sloping significantly downward. The project complies with the setback requirements, providing more than a 20-ft. average along the front, with the closest portion measuring 17'-6", a rear yard setback of approximately 49-ft., an existing south side yard setback of 5'-9", with a matching new north side yard setback. A new covered patio along the rear of the residence is proposed. Engineering staff has provided some conditions and code requirements for the right-of-way that include replacing the grinded, lifted and cracked sidewalk, and replacing the brick pavers and concrete pads in the parkway with irrigated landscaping. Also noted is a condition that should fire sprinklers be required, the existing water service would need to be upgraded.

Building Height

The existing one-story home measures approximately 14'-5 1/2". The elevations show the proposed two-story addition measuring 25'-9", from a Lowest Adjacent Grade (LAG) of 205.96'. Staff met with the architect, to discuss the LAG, as the survey provided some elevation heights that were obscured. When the architect reviewed the reference points, a lower LAG was discovered along the front living area of the home, and was noted as 205.72'. Using the latter lower point, the maximum revised height of the addition would be 25'-11 3/4". Staff is providing a Condition of Approval that the revised LAG of 205.72' shall be used as the low point for this property, in calculating the maximum height. Staff notes that the maximum height permitted in the R-1 Zone is 27-ft., and that a two-story can be constructed up to this height for properties in the Hillside Overlay, with approval by the Planning Commission.

Floor Area Ratio, Lot Coverage and Open Space

The proposed additions result in a Floor Area Ratio (FAR) of 0.49, which is lower than the Code maximum of 0.60 for the R-1 Zone, and notes that a FAR of up to 0.60 can be constructed for properties in the Hillside Overlay, with approval by the Planning Commission. The Lot Coverage is shown as 31%, and is lower than the Code maximum of 40% for two-stories for the R-1 Zone. An Open Space calculation and statistic was not provided on the plans. In staff's estimation, approximately 3,700 sq. ft. of open space has been provided, which equates to more than half of the lot, and exceeds the Code minimum of one third of the lot. Staff is providing a Condition of Approval that the Open

Space calculation and statistic be provided on the final Building Plans, prior to Building Permit Issuance.

Provided below is a summary of the proposed project:

EXISTING		ADDITIONS / DEMOED AREAS		PROPOSED	
1st Floor Area =	1,507 sf	1st Floor Additions =	25 sf	1st Floor Area =	1,520 sf
2nd Floor Area =	0 sf	2nd Floor Area =	1,255 sf	2nd Floor Area =	1,255 sf
Total Living Area =	1,507 sf	Porch FAR Area =	71.5 sf	Porch FAR Area =	71.5 sf
		Dining Room Reduction =	-12 sf		
2-Car Garage =	400 sf	Two-Car Garage Addition =	112 sf	Two-Car Garage =	512 sf
Total FAR Area =	2,307 sf			Total FAR Area =	3,359 sf
FAR =	0.34	New Covered Patio =	175 sf	FAR =	0.49 sf
Lot Size =	6,829 sf			Lot Coverage =	31%
Maximum Height =	14'-5 1/2"			Maximum Height =	25'-11 3/4"

Building Architecture

The modestly sized home features both horizontal and vertical articulation to reduce the perception of massing and provide visual interest. Exterior finishes include horizontal planks, stacked stone, shingles, and stucco. These finishes are typical of this residential neighborhood, providing a “beach” craftsman style.

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed additions to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 4). Additionally, on October 1, 2024, staff conducted a site visit and left business cards for the neighboring properties at 23102 and 23110 Carlow Road, 4603 and 4604 Vanderhill Road, 23039 Kathryn Avenue, and 4534 231st Street. The applicant noted that they held a neighborhood meeting on March 9, 2024, to introduce their project (Attachment 6), and while they notified neighbors on Carlow, Vanderhill, Kathryn and 231st, only three residents from Carlow attended. On October 5, 2024, Staff received correspondence from the neighbor at 4534 231st Street (Attachment 6), and visited this neighbor on October 7, 2024. The neighbor indicated privacy impacts from the rear yard and living room. Staff observed these areas, and was not able to see much of the silhouette from their rear yard, through this neighbor’s large tree planted towards their rear property line. Their rear yard provides a swimming pool. From their living room, even less of the silhouette was visible from the seated positions of their existing furniture placement. The silhouette was partially visible from a standing position adjacent to the window. For the above reasons, in the judgment of staff, there is no significant privacy impact.

Regarding a light impact, staff was not provided a shade study; however, based on the location of the second story addition, its setback from the rear property line of

approximately 49-ft., the lack of visibility of the silhouette from the neighbor's yard and living space, staff concludes that there is no significant light impact.

On October 8, 2024, staff received correspondence from the neighbor at 23039 Kathryn Avenue, citing the same concerns noted above by the neighbor at 231st Street. On October 8, 2024, staff reached out to this neighbor to conduct a site visit, but as of the completion of this report, no further information was available.

As of the completion of this report, staff has not received any further correspondence.

CONCLUSION

In staff's judgment, the proposed two-story residence conforms to the planning and design provision of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. The project, as conditioned, has been designed to minimize potential impacts to neighboring properties by the strategic placement of the proposed additions to decrease potential impacts to neighboring properties. The development of the home does not sprawl into the rear yard slope, where a potential for privacy impacts could occur. The project is compatible with surrounding one and two-story residences and is an appropriate use for this neighborhood. The subject request also complies with all other objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation. Staff recommends approval of the project, as conditioned.

FINDINGS OF ACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and Conditions of Approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., which are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days, before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 3, 2024, to the registered owners of properties, located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at 310.618.2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Development Review/Planning Counter) located at City Hall, 3031 Torrance Blvd., Torrance, CA 90503, during normal business hours, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at 310.618.5990.

ATTACHMENTS

1. Resolution No. 24-067
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Code Requirements
6. Correspondence
7. Site Plan and Massing Diagram
8. Project Plans (Limited Distribution)

STAFF CONTACT

Yolanda Gomez, Planning Associate
YGomez@TorranceCA.Gov

ITEM 8F
ATTACHMENT 1
RESOLUTION NO 24-067

PLANNING COMMISSION RESOLUTION NO. 24-067

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW ONE AND TWO-STORY ADDITIONS TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 23106 CARLOW ROAD.

PRE24-00008: ERIC AND TEMMY CHEUNG TRUSTEES

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on October 16, 2024, to consider an application for a Precise Plan of Development filed by Eric and Temmy Cheung Trustees to allow one and two-story additions to an existing one-story single family residence on property located in the Hillside Overlay District in the R-1 Zone at 23106 Carlow Road; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 23106 Carlow Road;
- b) That the property is located on Tract #15570, Lot 58, and is further identified as APN 7530-016-014;
- c) That the proposed one and two-story addition, as conditioned, is in compliance with both the R-1 Zoning and the Low-Density Residential General Plan designation for this site;
- d) That additions to single family residential properties are determined to be Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15301 (e);
- e) That the proposed one and two-story additions, as conditioned, will not have a substantial adverse impact upon the view, light, air, or privacy of other properties in the vicinity, because the second story has been centrally located over the existing one story area to minimize impact, the maximum height of the residence is below the maximum limits, the second story provides only one window to the rear of the property,

facing the downslope properties, and the surrounding properties do not appear to be impacted, as many of the surrounding homes are two story developments;

- f) That the proposed project, as conditioned, has been located, planned and designed, so as to cause the least intrusion on the view, light, air, or privacy of other properties in the vicinity, because the additions meet or exceed the setback requirements, and the second story provides only one window along the rear, facing the downslope properties;
- g) That the design of the proposed additions provides an orderly and attractive development in harmony with other properties in the vicinity, because the proposal provides design elements consistent with other residences in the vicinity, including horizontal siding, stacked stone, craftsman style shingles, and wood fascia accents and the second story addition is consistent with neighboring two-story residences;
- h) That the proposed project, as conditioned, have been designed to ensure that the development will not have a harmful impact upon the land values and investment of other properties in the vicinity, because the proposed additions meet or exceed the R-1 Development Standards, while keeping the Floor Area Ratio and Lot Coverage below the maximum permitted;
- i) That the granting of this application would not be materially detrimental to the public welfare and to other properties in the vicinity, because the project, as conditioned, is designed with heights that are below the maximum allowed by Code, and the maximum ridge height is located along the center width portion of the home, with the second floor additions providing only one window towards the rear, facing the downslope properties, in order to minimize potential view impairments;
- j) That the proposed additions, as conditioned, will not cause or result in an adverse cumulative impact on other properties in the vicinity, because it would be compatible with the surrounding pattern of development in both design and materials, and is less than the allowable Floor Area Ratio and Lot Coverage for the R-1 Zone;
- k) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended, except by increasing the height, as conditioned, because the size of the flat building pad is limited, with the rear of the property sloping drastically downward in elevation. The remaining rear yard that is flat accounts for approximately 25-ft. of depth for yard area. Sprawling the development at the single-story level would effectively eliminate any usable rear yard space;
- l) That the denial of this request to increase the height will constitute an unreasonable hardship to the applicant, because the proposed residence's maximum height is below the maximum permissible, conforms to all Code requirements, and the project, as conditioned, does not appear to have an adverse impact on the view, light, air and privacy of other properties;

m) That the granting of this application for height increase, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity, because the proposed residence's maximum height is less than the maximum height permitted by Code, and complies with all Zoning Development Standards; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** PRE24-00008, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE24-00008, filed by Eric and Temmy Cheung Trustees, to allow one and two-story additions to an existing one-story single family residence on property located within the Hillside Overlay in the R-1 Zone at 23106 Carlow Road, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 24-00008 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development 24-00008 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the maximum height of the addition at the highest point of the roof shall not exceed a height of 25'-11 ³/₄", as represented by the survey elevation of 231.7 ft. for the highest ridge, based on the lowest adjacent grade of 205.72 ft. (located at the southwest corner of the residence), based on a benchmark elevation of 205.09 ft. located within the public right-of-way along Carlow Rd., near the northwest corner of the property, as shown on the official survey map on file in the Community Development Department; (Planning)

4. That the final height of the structure shall be certified by a licensed surveyor/engineer prior to requesting a framing or roof-sheathing inspection and shall not exceed a survey elevation of 231.7 ft. for the highest ridge, based on the benchmark of 205.09 ft. located within the public right-of-way along Carlow Rd., near the northwest corner of the property, as shown on the official survey map on file in the Community Development Department, and verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
5. That the final Building Plans shall provide a revised area statistic for the garage addition, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
6. That the final Building Plans shall provide calculations showing the front yard paving areas and percentage, and that the paving shall not exceed the Code Requirements of more than 50%, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
7. That the applicant shall provide the statistics of total new and/or rehabilitated landscaping area on the final Building Plans, and apply for a Landscaping Plan Review (LPR) permit, with the requisite landscaping plan and documents that meet the State's MWELo requirements, should 2,500 sq. ft. or more of landscaping be new and/or rehabilitated, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
8. That the final Building Plans shall provide calculations showing the usable open space areas, and that the area shall meet or exceed the Code Requirements of at least one-third of the lot, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
9. That detailed plans for any proposed on-site walls, fences or gates shall be required, and that separate Building Permits may be required for new or as-built retaining walls, freestanding walls, fences, gates, railings, etc.; (Planning)
10. That the exterior colors and materials for the residence, shall be submitted for review to the Planning Division, prior to the issuance of a Building Permit; (Planning)
11. That any cabinets, appliances or equipment located within the garage shall be shown on the final Building Plans, shall not encroach within the minimum interior dimensions, and shall be shown on final Building Plans, to the satisfaction of the Community Development Director, prior to the issuance of any Building Permits; (Planning)
12. That any exterior appliances or equipment shall be shown on the final Building Plans, with setbacks noted, and if visible from the street, shall be fully screened, to the satisfaction of the Community Development Director, prior to issuance of a Building Permit; (Planning)

13. That the final Building Plans shall label any fireplaces, chimneys, vents, solar panels, skylights, or any other equipment, on the elevations and roof plan, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
14. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
15. That within 30 days of the final public hearing, the applicant shall remove the City's "Public Notice" sign to the satisfaction of the Community Development Director; (Planning)
16. That a copy of the adopted Resolution for this project, including all Conditions of Approval, shall be copied onto the final Building Plans, to the satisfaction of the Community Development Director; (Planning)
17. That the existing red brick pavers and the concrete pad north of the driveway approach on Carlow Rd. shall be removed from the public parkway and replaced with approved landscaping; (Engineering-Permits & Records)
18. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)
19. That the applicant shall contact the City of Torrance Fire Department to determine fire suppression requirements; (Water)
20. That if fire sprinklers are required, the applicant shall upgrade existing water service to 1" minimum; and (Water)
21. That all conditions of other City Departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of October 2024.

Chairman, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of October 2024, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8F
ATTACHMENT 2

LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

PRE24-00008
23106 Carlow Road

LEGEND

- Notification Area
- 23106 Carlow Road

Feet
0 40 80 160

ITEM 8F
ATTACHMENT 3

HILLSIDE OVERLAY SUBSTANTIATION



City of Torrance, Community Development Department, Planning Division
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Substantiation Form

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

1. PLANNING AND DESIGN (SECTION 91.41.6)

a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:

The design of the second story takes advantage of the existing slope of the property, ensuring that the structure integrates naturally with the topography, and meets or exceeds all setback standards to avoid any adverse impacts. Homeowners have had open communication with the neighbors to discuss the project timeline, design, and any concerns, including an open-house on March 9, 2024. This engagement demonstrates a commitment to maintaining good neighborly relations and addressing any potential issues proactively.

b) The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:

The addition will be positioned and designed to minimize any potential shading or obstruction of light and air to neighboring properties. This includes strategic placement of windows and consideration of the natural light path to ensure the continued enjoyment of light and air for all residents. Privacy for the occupants and the neighbors will be a priority. The second-story addition will include features such as strategic window placement, landscaping, and fencing to ensure that privacy is adequately maintained.

c) The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:

Homeowners have engaged an architect with substantial experience designing high-end homes in the subject neighborhood. The design of the second story is carefully planned to ensure it complements the existing architectural style of the existing home and neighborhood, thus maintaining the aesthetic value and views.

d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:

The addition will be constructed with materials and colors that are tasteful and in harmony with the other properties in the vicinity, contributing positively to the overall aesthetic and character of the area. The exterior of the new construction will be treated with finishes of high quality, equal to or surpassing those found on surrounding residences. This commitment to excellence ensures that the development will enhance, rather than detract from, the visual appeal of the neighborhood.

e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:

The design of the second story takes advantage of the existing slope of the property, ensuring that the structure integrates naturally with the topography, and meets or exceeds all setback standards, minimizing any impact on the public welfare and to neighboring properties. A second story on a single-family residence is an appropriate use of the land, consistent with the residential nature of the neighborhood. It supports the continued use of the property as a family home without altering the low-density residential character of the area.

f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:

The proposed construction at the residence conforms to the low-density residential designation of the land use element of the general plan of the City of Torrance. This conformance signifies that the development is in line with the City's vision and regulations for growth and land use.

2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)

This section must be completed if any part of the existing building would increase in height.

a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:

The property slopes rearward, which presents significant challenges for horizontal expansion. This natural slope restricts the usable area for ground-level development and makes it impractical to extend the building's footprint without extensive and costly land modification that may be disruptive to the surrounding environment. By building upward, the existing outdoor space, landscaping, and natural features of the property can be preserved, maintaining aesthetic appeal and usability of outdoor areas.

b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

The proposed construction complies with all set-back requirements, thereby preserving the open feel of the neighborhood and maintaining the privacy and views of adjacent properties. The design of the addition complies with the established lot coverage and floor area ratio (FAR) guidelines. This compliance ensures that the development is proportionate to the size of the property and consistent with the density of the neighborhood.

c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

There are many existing two-story homes in the neighborhood, indicating that the proposed construction is keeping with the character of the neighborhood and that similar structures have been integrated successfully without adverse effects on view, light, air, or privacy.

3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

N/A

b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

N/A

ITEM 8F
ATTACHMENT 4

SILHOUETTE CERTIFICATION



City of Torrance, Community Development Department, Planning Division
 3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 23106 CARLOW RD (7530-016-014)
STREET ADDRESS ASSESSOR PARCEL NUMBER

on 4-24-2024, based on the project plans submitted to the City of Torrance
DATE OF SURVEY

by _____ on _____
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at L&T LS 5411 @ NORTHWEST P.C.
LOCATION OF BENCHMARK

which established a base elevation of 205.09.
BASE ELEVATION

The highest point of the silhouette was determined to have an elevation of 231.70.
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 231.70.
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 205.72.
EXISTING LOWEST ADJACENT GRADE

The project plans indicate the lowest adjacent grade should have an elevation of 205.96.
PROPOSED LOWEST ADJACENT GRADE

I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.

Gary J. Roehl
SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

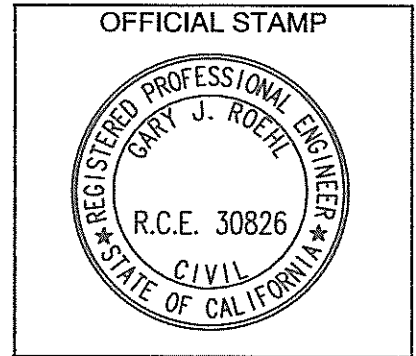
4-24-2024
DATE OF SIGNATURE

GARY J. ROEHL
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

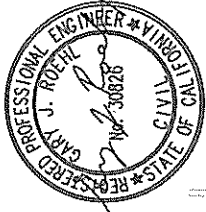
R.C.E. 30826
LICENSE NUMBER

OFFICE@DENN.COM
EMAIL ADDRESS

310-542-9433
TELEPHONE NUMBER



FOR STAFF USE ONLY – DO NOT COMPLETE BELOW	
PLANNING RECORD NUMBER(S) <u>PRE24-00008</u>	DATE STAMP RECEIVED RECEIVED APR 26 2024 CITY OF TORRANCE COMMUNITY DEVELOPMENT DEPT
REVIEW COMPLETED BY <u>D.A.</u>	REVIEW COMPLETED DATE <u>05-06-24</u>
STAFF DETERMINATION <input checked="" type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION	



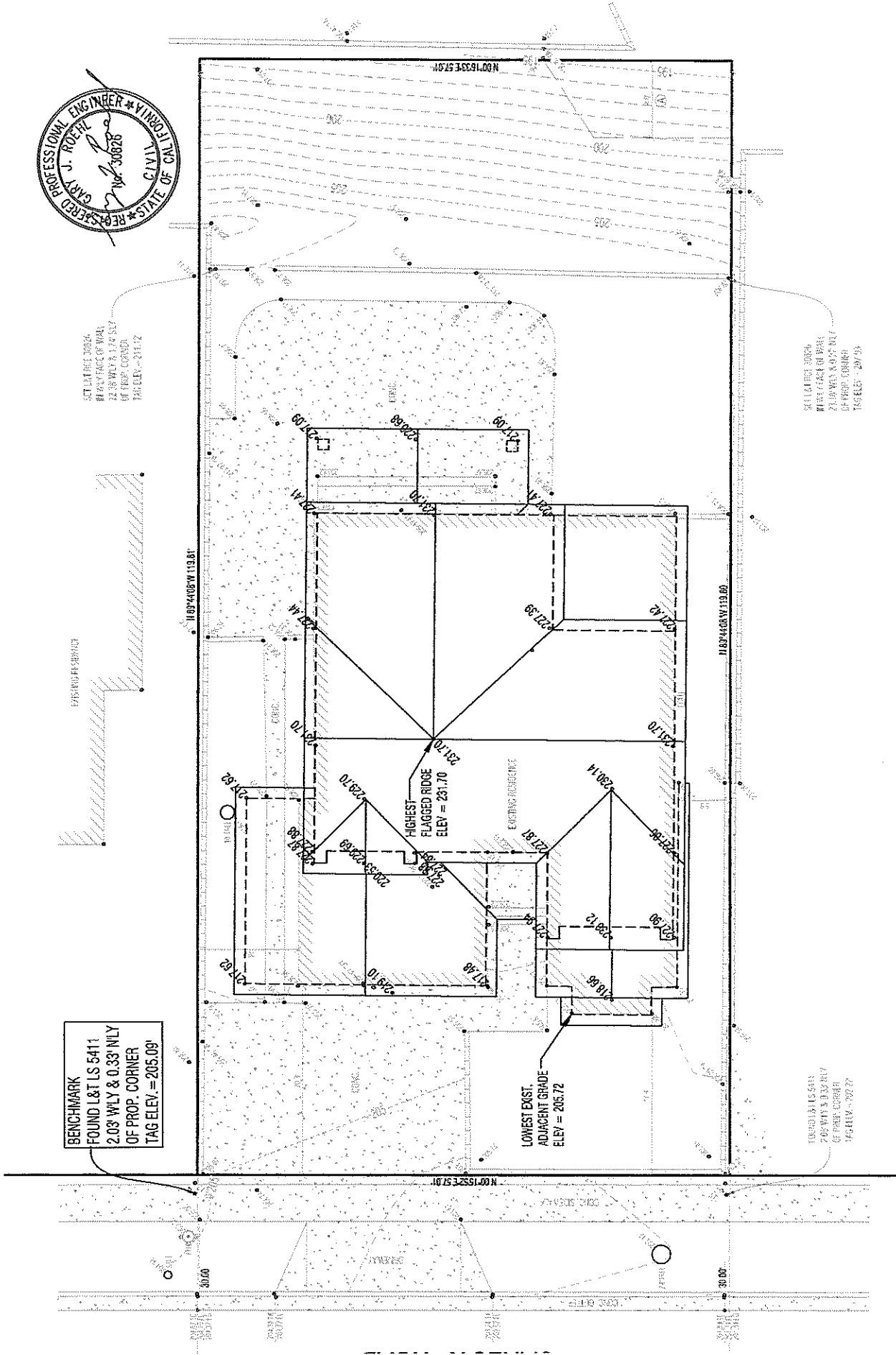
SET BACK 30.00'
 81.03' FACE OF WALL
 23.38' WLY & 1.33' NLY
 OF PROP. CORNER
 TAG ELEV. = 211.72

SET BACK 30.00'
 81.03' FACE OF WALL
 23.38' WLY & 1.33' NLY
 OF PROP. CORNER
 TAG ELEV. = 207.53

BENCHMARK
 FOUND L&T LS 5411
 2.03' WLY & 0.33' NLY
 OF PROP. CORNER
 TAG ELEV. = 205.09'

LOWEST EXIST.
 ADJACENT GRADE
 ELEV = 205.72

108.00' L&T LS 5411
 2.05' WLY & 0.33' NLY
 OF PROP. CORNER
 TAG ELEV. = 207.72



ITEM 8F
ATTACHMENT 5
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of code requirements applicable to the proposed project. All possible code requirements are not provided here and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the code requirements. They are provided for information purposes only.

CDD-Building & Safety

1. Comply with 2022 California Building Codes, CBC, CRC, CMC, CEC, CPC, California Energy Code and California Green Building Code.

CDD-Engineering Permits & Records

2. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Carlow Rd. (City Code Sec. 74.6.2).
3. Replace grinded, lifted, and cracked sidewalk on Carlow Rd., per City of Torrance standards.

CDD-Planning

4. No person shall pave or cause to be paved more than fifty (50) percent of the front yard of any residentially zoned property (TMC 92.5.14).
5. Open space shall constitute not less than one-third ($\frac{1}{3}$) of the total lot area in one or more areas having minimum dimensions of ten (10) feet by fifteen (15) feet. Open space shall be defined as yards unobstructed from ground to sky, except as provided in Article 5, Chapter 2, Division 9, and excepting covered patios enclosed on not more than two (2) sides (TMC 91.4.9).
6. There shall be a level setback of not less than five (5) feet on that portion of a hillside lot between the wall of any structure on such lot and any adjacent slope of greater than 15% of such lot (TMC 91.41.9.b.3).

ITEM 8F
ATTACHMENT 6
CORRESPONDENCE

hey neighbor!
we invite you to come
see the remodel plans
for our family home!



23106 Carlow Road

sat, mar 9

10-11am

light refreshments will be served

23106 CARLOW ROAD PLAN VIEWING PARTY

MARCH 9, 2024

SIGN IN SHEET

NAME	ADDRESS
[REDACTED]	23110 Carlow
[REDACTED]	23102 CARLOW
[REDACTED]	23030 CARLOW ROAD

Gomez, Yolanda

From: Eric Cheung <[REDACTED]>
Sent: Thursday, October 3, 2024 10:30 AM
To: Temmy Cheung
Cc: Gomez, Yolanda; D & C COLE
Subject: Re: 23106 Carlow Rd Development Application

Hi Yolanda,

We have made efforts to engage with our neighbors regarding this project and have received overwhelmingly positive feedback. As you know, we invited all of our neighbors to meet with us on March 9, 2024, and discuss any concerns.

In response to your question, for the neighbor who is just now voicing concerns, yes, we hand-delivered the invitation to join us in advance of the March 9 meeting. I believe you have a copy of the invitation but please let us know if it would be helpful for us to provide another copy.

This neighbor did not attend the meeting and has never voiced any concerns to us. This is the first time we're hearing about it.

Despite having heard nothing from this neighbor, in designing the second story, we were sensitive to our surroundings and any potential concerns. This particular neighbor's property is located downslope, across the southeast corner of our property. On our plans, you will notice the following:

- (1) The room most proximate to this neighbor's house is a walk-in closet that has no windows, and
- (2) The next closest room is bedroom on the south side of the house (towards the rear/east) that has *no windows on the east side*.

These are just a few of the intentional design choices we made in order to be thoughtful and proactive in minimizing potential privacy concerns. We believe that our project is in compliance with the hillside overlay guidelines and will not negatively impact anyone.

Please let us know if there is anything else that we can provide that could be helpful for your assessment.

Thank you for your time and consideration.

Sincerely,

Temmy & Eric Cheung

On Wed, Oct 2, 2024 at 5:24 PM Temmy Cheung <[REDACTED]> wrote:

Hi Yolanda,

That is very unfortunate. We did extend an invitation for her to come to our house and view the plans at our viewing party. She did not attend.

Hopefully we can get this resolved. I'm confident you will find that this will not be a privacy issue for her.

Thank you for letting us know!

Temmy & Eric

On Wed, Oct 2, 2024 at 4:53 PM Gomez, Yolanda <YGomez@torranceca.gov> wrote:

Hi Temmy & Eric,

I was just contacted by the downslope neighbor at 4534 231st St, noting privacy concerns. Were they sent the neighborhood invite you did to introduce the neighborhood to your project? I see on the sign-up sheet that only 3 residents from Carlow signed in.

I scheduled a visit to their property on Monday to look at the silhouette from their vantage point, to make an assessment, whether we will agree or disagree that the privacy impact is significant. They were advised that in order to include their concerns & our assessment, and subsequently, our recommendation, in our report, they would need to provide written correspondence immediately. I'll send it to you as soon as I get it.

Regards,
Yolanda

YOLANDA GOMEZ

Planning Associate - Community Development Department
310-618-5862 | YGomez@TorranceCA.Gov

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Gomez, Yolanda

From: Eric Cheung <[REDACTED]>
Sent: Monday, October 7, 2024 4:22 PM
To: Gomez, Yolanda
Cc: Temmy Cheung; D & C COLE
Subject: Carlow Road - Invitations

Hi Yolanda,

In response to your question, we write to confirm that we personally hand-delivered the invitation to 12 houses surrounding our home by dropping them off in their respective mailboxes, including both:

[23039 Kathryn Ave](#)
[4534 W 231st Street](#)

Please let us know if you have any further questions.

Best regards,
Temmy & Eric

Gomez, Yolanda

From: Bagheri <[REDACTED]>
Sent: Saturday, October 5, 2024 12:10 PM
To: Gomez, Yolanda; Planning Commission
Subject: 23106 Carlow Rd. Development - Record #PRE24-00008

Dear Ms. Gomez and Members of the Planning Commission,

We've lived in Torrance for over 30 years, and during that time, we've really come to love and appreciate our home and neighborhood. I'm writing today as a concerned neighbor, as our home is just about 60 feet away from the proposed second-story development at 23106 Carlow Road. Back in 2003, the townhomes that went up next door to the south took away our beautiful views of the Palos Verdes Peninsula—something we still miss to this day. Now, with this new project to the west, we're worried it's going to take away more than that, affecting our privacy, blocking sunlight from our home, and lowering our property's value. We understand that homes sometimes need updating, but we believe that changes should be made in a way that respects the privacy, sunlight, and value of homes nearby.

One of our biggest concerns is how this new second story will affect our privacy. We have a pool and a jacuzzi in our backyard that our family, especially our grandkids, enjoy all the time. With the new second story so close, those east-facing windows will look right into our backyard. It's going to make it hard for us to enjoy the space with the same level of privacy we've always had. The women and girls in our family won't feel comfortable sunbathing or relaxing in their bathing suits like they used to. While we respect the need for development, this project really overlooks the privacy of homes like ours that sit below Carlow Road, especially since our backyard is such an important part of our family life.

Another concern is how much sunlight we're going to lose. This new second-story addition, being so much taller than our single-story home, is going to block a lot of the natural light we currently enjoy. With the elevation difference between our properties, the new structure will cast shadows over our yard and home, especially in the afternoon, and we'll end up losing sunlight earlier in the day. That will really change how we use and enjoy our yard, something we've always cherished.

Losing privacy and sunlight doesn't just affect how we live—it'll also affect the value of our home. A backyard that's overlooked or shaded by a towering structure doesn't appeal to future buyers the same way. We believe that this project will lower our property value, and the Torrance Municipal Code (TMC section 91.41.6(d)) clearly states that developments shouldn't reduce land values. We're in the process of having an appraisal done to confirm this, and we'll submit a copy to the Commission as a supplemental report once it's completed.

Another point of concern is that we weren't contacted by the applicants about how this second story might affect our privacy and sunlight. My next-door neighbor, who lives directly below the development, wasn't contacted either, even though she's the most affected. It seems like only the neighbors on Carlow were reached out to, and we would have appreciated being part of the conversation, given how much this impacts us.

We respectfully ask the Planning Commission to take these concerns into account when reviewing the second-story development at 23106 Carlow Road. After 30 years in this neighborhood, we just want to make sure our home remains a private, sunny, and valuable place for our family. We support responsible development, but we think it's important that projects follow the Hillside Overlay Development Standards and consider all affected neighbors.

Thank you for your time and consideration.

Sincerely,
Mildred Bagheri

[REDACTED]
[REDACTED]

Gomez, Yolanda

From: Gomez, Yolanda
Sent: Tuesday, October 8, 2024 3:07 PM
To: The Sahakian Family
Cc: Gomez, Yolanda
Subject: RE: 23106 Carlow Road Development

Hi Holly,

I only need to visit your mom's house, if she, or you on her behalf, want to show me what the impacts are, I'm not able to assume on your behalf for the owner. If you will be there, let me know when (dates/times) and we'll make an appointment with you.

Regards,
Yolanda

YOLANDA GOMEZ

Planning Associate - Community Development Department
310-618-5862 | YGomez@TorranceCA.Gov

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From: The Sahakian Family <[REDACTED]>
Sent: Tuesday, October 8, 2024 1:43 PM
To: Gomez, Yolanda <YGomez@TorranceCA.Gov>
Subject: Re: 23106 Carlow Road Development

Yolanda,

This is Holly Sahakian, Donna's daughter. Donna is 97 and moved to a care facility about two years ago. My sister and I are renting the house to pay Donna's expenses. I can text the renters so that you can go and see the property. Do you need to go inside the house?

On Oct 8, 2024, at 8:50 AM, Gomez, Yolanda <YGomez@torranceca.gov> wrote:

Hi Ms. Alexander,

What time will you be home today to visit your property and you can show me the impacts indicated on your email below. My analysis report needs to be finished early this week, so the timing is crucial. Please let me know ASAP.

Regards,
Yolanda
310.618.5862 direct line

YOLANDA GOMEZ

Planning Associate - Community Development Department
310-618-5862 | YGomez@TorranceCA.Gov

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From: The Sahakian Family <[REDACTED]>
Sent: Tuesday, October 8, 2024 8:06 AM
To: Gomez, Yolanda <YGomez@TorranceCA.Gov>
Subject: 23106 Carlow Road Development

Dear Ms. Gomez and Members of the Planning Commission,

My name is Donna Alexander, and I've owned my home right below the proposed second-story development at 23106 Carlow Road for over 65 years. This house has been in my family for generations, and when my current tenants move out, I plan to pass it down to my children. I'm worried that this new addition will have a big impact on our privacy, sunlight, and the long-term value of the property.

The new second story would be right above my house, and with those windows looking directly into the backyard and inside the house, there won't be much privacy left. My tenants spend a lot of time outside, and I know anyone living there in the future—whether it's them, my kids, or my grandkids—won't feel comfortable knowing they're always in view. I've always believed folks should feel safe and private in their own home and backyard, and that won't be possible with this project so close and so high.

I'm also concerned about losing sunlight. The way this second story will be positioned, it's going to block a lot of the afternoon sun. That will make both the house and the yard feel darker, which changes how we've always enjoyed the space. Sunlight is important, not just for how the house looks but for how it feels to live in, and losing that would be a real shame.

Of course, with the loss of privacy and sunlight, I'm also worried about what this will do to the value of my home. Homes that are overlooked like this don't attract the same interest from buyers, and that's a problem for the future. I've worked hard to take care of this house, and I want to make sure it stays valuable, whether my children live in it or we choose to sell down the line. The Torrance Municipal Code says new developments shouldn't hurt property values, but I'm afraid this one will.

We're in the process of having an appraisal done to confirm the impact this development will have on the value of my home and I plan to send you the appraisal when it's completed. I expect it will show that the loss of privacy and sunlight will significantly lower its worth.

I ask that the Planning Commission take these concerns into account when reviewing the second-story project at 23106 Carlow Road. After 65 years of owning this home, I want to make sure it stays private, sunny, and valuable for my family's future. I trust you will consider the impact this will have on neighbors like me who've been here a long time.

Thank you for your time and attention.

Sincerely,

Donna Alexander
[REDACTED]

ITEM 8F
ATTACHMENT 7

SITE PLAN AND MASSING DIAGRAM

PROJECT FOR Mr. & Mrs. CHEUNG 23106 CARLOW ROAD TORRANCE CALIFORNIA

CITY OF TORRANCE COMMUNITY DEVELOPMENT DEPT.
BEST MANAGEMENT PRACTICES FOR ALL CONSTRUCTION ACTIVITIES

PROJECT ADDRESS: 23106 CARLOW ROAD CASE No. BLD24-
THE FOLLOWING ARE MINIMUM WATER QUALITY PROTECTION REQUIREMENTS FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS:

ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETPILING, SHALES, AND AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.

NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.

EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON THE SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.

TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAIN WATER AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SHEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

ANY SLOPE WITH DISTURBED SOILS OR DENIVED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

OTHER

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME (OWNER OR AUTHORIZED AGENT OF THE OWNER)
SIGNATURE (OWNER OR AUTHORIZED AGENT OF THE OWNER)

GRADING NOTES

ALL SITE DRAINAGE TO COMPLY WITH 2022 CRC AND DRAIN TO STREET AT 1% MIN. SLOPE OR PROVIDE DRAINAGE SYSTEM FOR REVIEW TO GRADING DIVISION PRIOR TO FINAL INSPECTION

GRADE TO BE SUCH THAT SURFACE WATER DRAINS AT A MIN. FALL OF 6" WITHIN THE FIRST 6" WITHIN THE FIRST 10 FEET (5%) OF A FOUNDATION WALL

ALL SITE GRADING SHALL BE DONE WITH SEPARATE PERMIT. A GRADING PLAN W/ SOILS REPORT AND SURVEY SHALL BE SUBMITTED FOR SEPARATE PLAN CHECK

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT ADOPTED EDITION (2022) OF THE CBC, CMC, CFC, CEC & NATIONAL ELECTRICAL CODE, CRC, CCG & ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK. ALL CONTRACTORS & SUB CONTRACTORS SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK TO THE APPLICABLE SECTIONS OF THE CODES NOTED ABOVE. W. CALIF. GREEN CODE
- ALL NEW TOILETS SHALL BE LOW FLUSH WATER SAVING TYPE. 1.28 GAL. MAX.
- PROVIDE NEW 200 AMP. ELECTRICAL SERVICE IF REQUIRED BY BUILDING DEPARTMENT.
- PROVIDE STREET ADDRESS NUMBERS MIN. 4" IN HEIGHT WITH A CONTRASTING BACKGROUND
- IFER GROUND IS REQUIRED AT ELECT. SERVICE PANEL. FOR EXISTING CONST. THE GROUNDING ELECTRODES MAY REMAIN & IN ADDITION A BURIED PLATE ELETRODODE 24" DEEP OR DRIVEN ELECTRODES 8" DEEP OF 3/4" Ø GALVANIZED PIPE OR 1/2" Ø COPPER COATED ROD (CITY ORDINANCE)
- ELECTRICAL, CABLE T.V. AND TELEPHONE SERVICE ARE REQUIRED TO BE UNDERGROUND PER CITY REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL FIELD CONDITIONS (ELECTRICAL, AND SEWER) AND NOTIFY DESIGNER OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY
- PROVIDE A MIN 12" SQ. TUB ACCESS PANEL EXCEPT WHERE CONCEALED FIXTURE CONNECTIONS ARE MADE WITHOUT SLIPJOINTS
- A SEPARATE SUBMITTAL AND PLAN CHECK AND PERMIT ARE REQUIRED FOR FIRE SPRINKLERS FOR THIS PROJECT
- THIS PROJECT SHALL COMPLY WITH 2010 CALIFORNIA GREEN MANDATORY MEASURES

PROJECT DIRECTORY

OWNER / CLIENT

MR & MRS CHEUNG
23106 CARLOW ROAD
TORRANCE CALIF. 90505
(310)

DESIGNER

DAVID A. COLE DESIGN & DEV.
23314 FALENA AVE.
TORRANCE CALIFORNIA 90501
PHONE (310) 326-6652

STRUCTURAL ENGINEER

PROJECT DATA

REMODEL EXISTING SINGLE STORY RESIDENCE INTO A SECOND STORY RESIDENCE

ADD TO EXISTING GARAGE ON GROUND FLOOR AND PROVIDE NEW PATIO TRELLIS

SECOND STORY TO ADD 2-NEW BEDROOM'S AND NEW MASTER BEDROOM SUITE

BUILDING TO COMPLY WITH ALL HILLSIDE OVERLAY REQUIREMENTS

SHEET INDEX

- A-1 SITE PLAN TITLE SHEET
- C-1 SURVEY
- A-2 EXIST & DEMO FLOOR PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 ROOF PLAN / SECTIONS

BUILDING DATA

LOT AREA	57.01'x119.8' = 6,828.6 S.F.
F.A.R.	6,828.6 x .6 = 4,097.46 S.F.
AREA	SQ. FT.
EXIST. RES.	1,507 S.F.
FIRST FLOOR REDUCTION (TO ALLOW FOR GARAGE)	12 S.F.
FIRST FLOOR ADDITION (ENTRY EXTENTION)	25 S.F.
SECOND FLOOR ADDITION	1,255 S.F.
TOTAL LIVING	2,775 S.F.
EXISTING GARAGE	400 S.F.
GARAGE ADDITION	139 S.F.
TOTAL GARAGE	539 S.F.
NEW PATIO	175 S.F.
LOT COVERAGE	SQ. FT.
FIRST FLOOR	1,520 S.F.
GARAGE	517 S.F.
TOTAL	2,037 S.F. = 31%
FAR BUILD AREA (INCLUDING OPEN PORCH AREA)	
FIRST FLOOR W/ GARAGE	2,045 S.F.
SECOND FLOOR ADDITION	1,255 S.F.
TOTAL	3,300 S.F.
BUILD AREA=6,826 / 3,300 = .49 FAR.	

NOTE

A SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING ITEMS

- A. RETAINING WALLS OR BLOCK FENCE WALLS
- B. ALL GRADING WORK
- C. DEMOLITION OF ALL EXISTING STRUCTURES
- D. FIRE SPRINKLER SYSTEMS

NOTICE

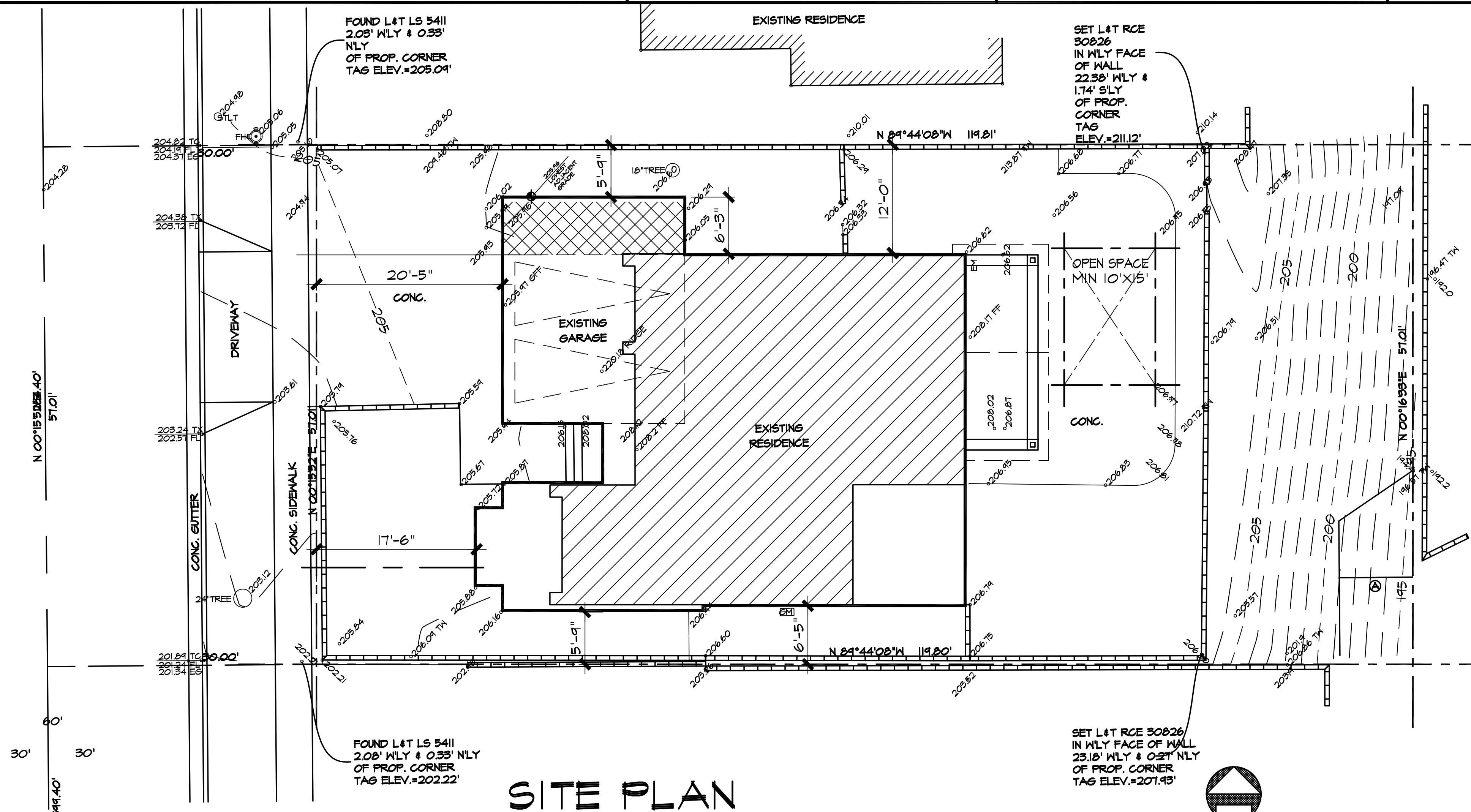
THE CONTRACT DRAWINGS & SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE & DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REP. OF THE DESIGNER AND HIS ENGINEERS SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQ'D. FOR THE SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE DESIGNER AND HIS ENGINEERS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS & DETAILED INSPECTION SERVICES PERFORMED BY THE DESIGNER & HIS ENGINEERS WHETHER OF MATERIAL WORK AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL & IN ACHIEVING CONFORMANCE WITH THE CONTRACT DRAWINGS & SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTORS PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

DISCLAIMER: THE PROJECT DESIGNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY, OMISSION, OR AMBIGUITY IN THE CALCULATIONS, DRAWINGS OR SPECS. UNTIL THE PROJECT DESIGNER OR ENGINEER HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE INCLUSION OR MORE CLEARLY EXPLAINED THE INTENT OF THE CALCULATIONS, DRAWINGS OR SPECIFICATIONS.

ALL AS-BUILT AND SITE MEASUREMENTS SHALL BE TREATED AS A GENERAL REFERENCE FOR DESIGN PURPOSES AND IS NOT TO BE MISTAKEN FOR EXACT AS-BUILT CONDITIONS. ALL SITE MEASUREMENTS AND VERIFICATION IS VISUAL AND WITHOUT DEMOLITION TO OPEN ALL FRAMING AND FOUNDATION WORK THE DESIGNER CAN NOT VERIFY ALL EXISTING AS-BUILT CONDITIONS AND THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY AS-BUILT CONDITIONS OR DEFECTS FOUND DURING CONSTRUCTION

ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO THE EXISTING SITE CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS ARE FOUND TO CONFLICT WITH THE DRAWINGS THEY SHALL BE REPORTED TO THE DESIGNER / ENGINEER SO THAT PROPER REVISIONS SHALL BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE DESIGNER /ENGINEER

CARLOW ROAD

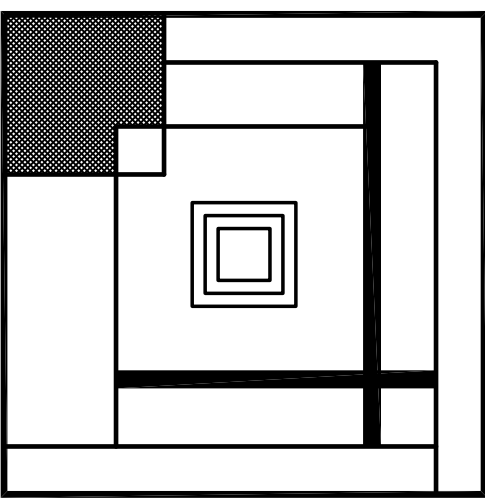


SITE PLAN

SCALE 1/8" = 1'-0"



NORTH



DAVID A COLE
DESIGN AND
DEVELOPMENT

CUSTOM HOMES
RESIDENTIAL REMODELS
DESIGN & PLANNING

23314 FALENA AVE.
TORRANCE CALIF. 90501
PHONE (310) 326-6652
FAX (310) 326-6652
E-MAIL cadc@pacbell.net

REVISIONS

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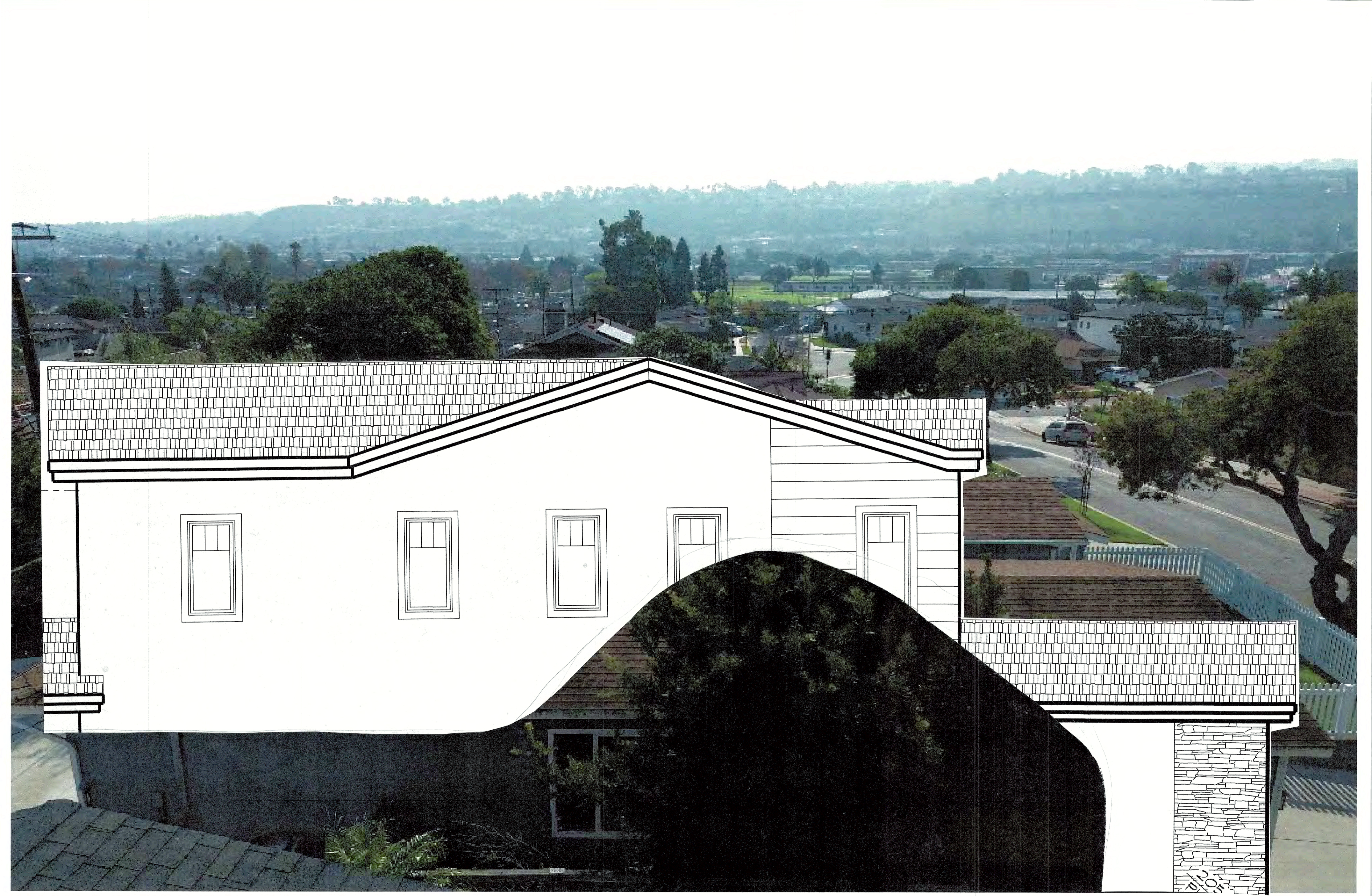
PROJECT FOR:
CHEUNG RESIDENCE
23106 CARLOW ROAD
TORRANCE CALIFORNIA

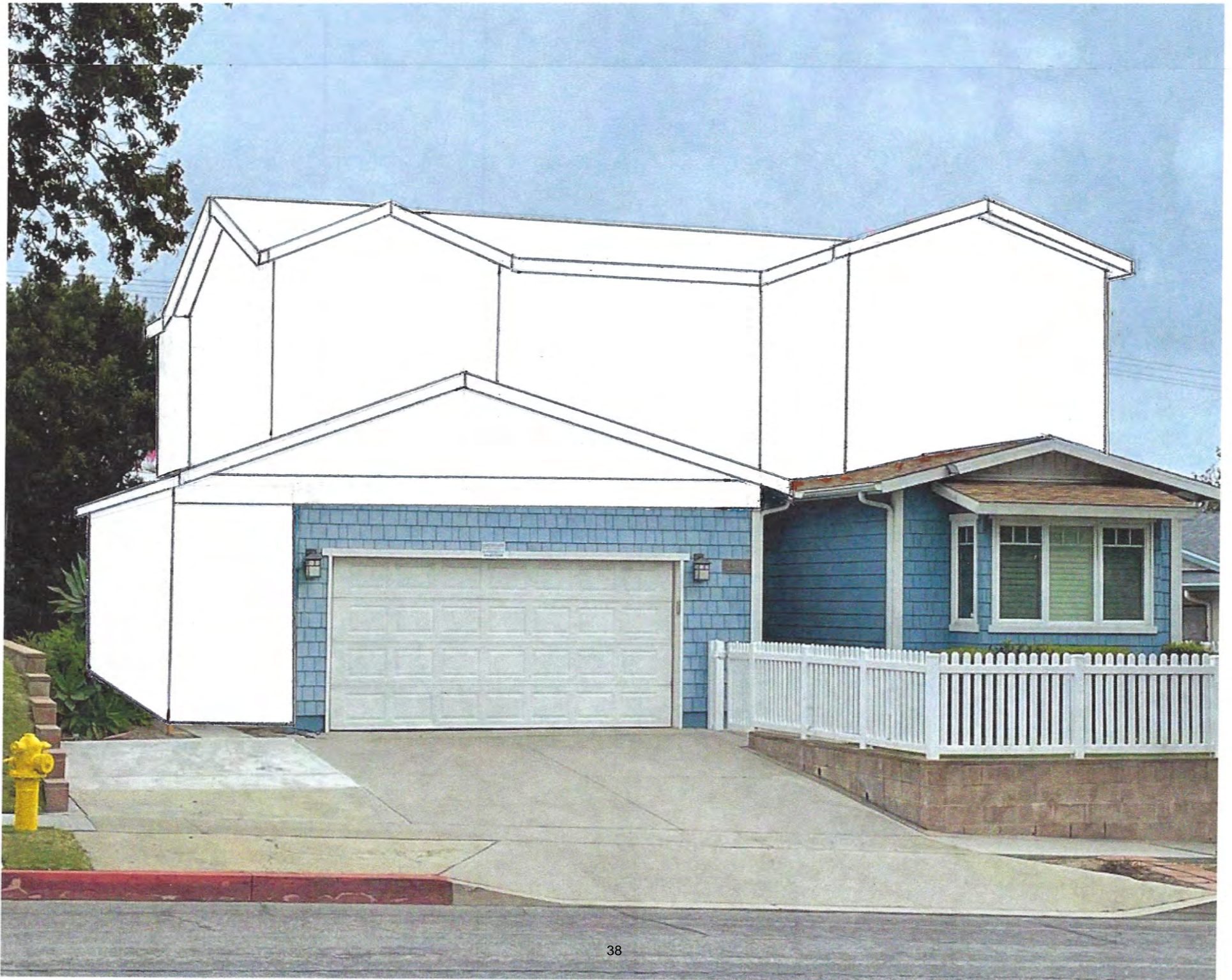
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If these drawings are not reproduced on pink paper with blue lines then they are NOT FOR CONSTRUCTION and were issued before Building Department approval and MUST BE DESTROYED.

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DAC
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DAC
SCALE
AS NOTED
JOB NO.
15-1
DATE
03/27/15
SHEET
1
OF X SHEETS







ITEM 8F
ATTACHMENT 8

PROJECT PLANS (LIMITED DISTRIBUTION)

AGENDA ITEM NO. 8G

DATE: October 16, 2024
TO: Planning Commission
FROM: Oscar Martinez, Planning Manager
SUBJECT: Land Use Study (LUS24-00003)

Consideration of proposed amendments to the Torrance Municipal Code pertaining to solar energy systems and expedited permitting process for Electric Vehicle Supply Equipment (EVSE) Citywide. This item is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15060(c)(3) and 15061(b)(3).

POSTPONEMENT

Staff recommends postponement to a date uncertain to allow for renotification.

STAFF CONTACT

Oscar Martinez, Planning Manager
OMartinez@TorranceCA.Gov