

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to [PlanningCommission@TorranceCA.Gov](mailto:PlanningCommission@TorranceCA.Gov). Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA  
FEBRUARY 5, 2025  
REGULAR MEETING  
6:30 P.M. IN THE LeROY J. JACKSON COUNCIL CHAMBER  
AT 3031 TORRANCE BLVD.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM  
LISTED ON THE AGENDA**

**1. CALL MEETING TO ORDER**

**ROLL CALL:** Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

**2. FLAG SALUTE:** Commissioner Anunson

**3. REPORT OF STAFF ON THE POSTING OF THE AGENDA**

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Friday, January 31, 2025.

**4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS**

**5. ORAL COMMUNICATIONS**

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

**6. CONSENT CALENDAR**

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

**6A. Approval of Minutes: July 24, 2024, August 7, 2024, and August 21, 2024**

**7. ADMINISTRATIVE MATTERS**

**7A. Community Development – Consider Approval of EXT25-00001: RAR2 – DEL AMO CROSSING, LLC**

Recommendation of the Community Development Director that Planning Commission consider approval of a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the southwest portion of the Del Amo Financial Center site. This project is covered by the common sense exemption per CEQA Guidelines Section 15061(b)(3). (Res. No. 25-009)

**8. HEARINGS**

**8A. Community Development – Conduct a Public Hearing to Consider Approval of MOD24-00008, DVP24-00003: MCDONALD’S USA LLC**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Modification of a previously approved Conditional Use Permit (CUP84-49) in conjunction with a Development Permit to allow the demolition of an existing drive through restaurant and the construction of a new drive through restaurant, on property located in the H-PR Zone at 19009 Hawthorne Boulevard. This project is Categorically Exempt from CEQA per Guidelines Section 15302 – Replacement or Reconstruction. (Res. Nos. 25-002, 25-003)

**8B. Community Development – Conduct a Public Hearing to Consider Approval of PRE24-00013: ROBERT RIBLETT (AMY THOMSON)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Precise Plan of Development to allow two-story additions to an existing two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via la Selva. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-007)

**8C. Community Development – Conduct a Public Hearing to Consider Approval of PRE24-00014: LOERA DESIGNS (DONALD A. JR. AND RANDI YOUNG)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Precise Plan of Development to allow one-story additions and remodeling to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 634 Via los Miradores. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. Nos. 25-008)

**8D. Community Development – Conduct a Public Hearing to Consider Approval of LUS24-00005: CITY OF TORRANCE (TARGET DENSITY)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of proposed amendments to the Torrance Municipal Code pertaining to Target Density for all zoning districts which allow residential or mixed-use development. This project is exempt from CEQA pursuant to CEQA Guidelines Section 15162 – Subsequent EIRs and Negative Declarations (a)(3).

**8E. Community Development – Conduct a Public Hearing to Consider Approval of LUS24-00006: CITY OF TORRANCE (RELIGIOUS INSTITUTION HOUSING OVERLAY ZONE)**

Recommendation of the Community Development Director that Planning Commission conduct a workshop to introduce proposed amendments to the Torrance Municipal Code pertaining to Religious Institution Housing Overlay Zone. This item is exempt from the California Environmental Quality Act pursuant to CEQA Guidelines 15162 – Subsequent EIRs and Negative Declarations (a)(3).

**9. RESOLUTIONS**

**10. COMMISSION ORAL COMMUNICATIONS**

**11. ADJOURNMENT**

Adjournment of Planning Commission meeting to Wednesday, February 19, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber.

**AGENDA ITEM NO. 7A**

**DATE:** February 5, 2025

**TO:** Planning Commission

**FROM:** Lee Garcia, Planning Assistant

**SUBJECT:** Northeast corner of Carson Street and Del Amo Circle Drive (APNs 7525-023-034 and 7525-023-035)  
Time Extension (EXT25-00001)

Consideration of a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the southwest portion of the Del Amo Financial Center site.

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission consider adoption of Resolution No. 25-009 for approval of a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located within the Hawthorne Boulevard Corridor Specific Plan (HBCSP) in the H-DA1 Zone at the Northeast corner of Carson Street and Del Amo Circle Drive.

**EXECUTIVE SUMMARY**

The project applicant, RAR2 - Del Amo Crossing, LLC, requests approval by the Planning Commission to allow an extension of a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive.

The Subdivision Map Ordinance of the City of Torrance, in relation to the Subdivision Map Act of the State of California, are applicable to the project, and therefore require approval of the following:

- Time Extension (EXT) to allow an extension of a previously approved tentative parcel map or tentative subdivision map.

Staff has reviewed the project and determined the project complies with the provisions of the Subdivision Map Ordinance of the City of Torrance, in relation to the Subdivision Map Act of the State of California, and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**Environmental Determination**

The time extension request is covered by the common sense exemption that the California Environmental Quality Act (CEQA) does not apply where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment per CEQA Guidelines Section 15061(b)(3).

**Background**

In 2023, the Planning Commission approved a Conditional Use Permit (CUP22-00003) to allow a condominium development, in conjunction with a Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located at the northeast corner of Carson Street and Del Amo Circle Drive.

The subject Time Extension request was submitted to the Community Development Department on January 21, 2025, before the March 14, 2025 expiration date of the previously approved Tentative Tract Map (DIV22-00001).

**Time Extension**

In accordance with Torrance Municipal Code Section 92.29.13, the Planning Commission may grant a time extension not to exceed a two year period for a previously approved tentative parcel map or tentative subdivision map. As this item has no previous approvals for a time extension, the Planning Commission may grant a two year extension of DIV22-00001 that would expire on March 14, 2027. In granting an extension, new conditions may be added, and existing conditions may be revised that are specific to the approved tentative parcel map or tentative subdivision map.

The applicant notes the Tentative Parcel Map No. 83799 for DIV22-00001 has been submitted to the Los Angeles County Department of Public Works for review; but due to backlog issues, approval is taking longer than expected and the applicant anticipates having the Final Map approved and submitted to the City for approval in 2025. The map would not be recorded until after the original expiration date of DIV22-00001 on March 14, 2025; therefore, the applicant is requesting additional time for the map to be approved and the parcel map to be recorded.

**CONCLUSION**

Staff recommends approval of the subject request (EXT25-00001) to extend the approval of DIV22-00001 for a two year period to March 14, 2027.

**ATTACHMENTS**

1. Resolution No. 25-009
2. Letter of Request
3. Resolution No. 2023-27

**STAFF CONTACT**

Lee Garcia, Planning Assistant  
[BGarcia@TorranceCA.gov](mailto:BGarcia@TorranceCA.gov)

**ITEM 7A**  
**ATTACHMENT 1**  
**RESOLUTION NO. 25-009**

**PLANNING COMMISSION RESOLUTION NO. 25-009**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A TIME EXTENSION FOR A PREVIOUSLY APPROVED DIVISION OF LOT (DIV22-00001) TO MERGE TO PARCELS INTO ONE FOR A 200-UNIT APARTMENT COMPLEX AND PARKING STRUCTURE ON PROPERTY LOCATED IN THE H-DA1 ZONE AT THE NORTHEAST CORNER OF CARSON STREET AND DEL AMO CIRCLE DRIVE.

**EXT25-00001: RAR2 – DEL AMO CROSSING, LLC**

**WHEREAS**, the Planning Commission of the City of Torrance at its meeting of February 5, 2025 considered an application filed by RAR2 – Del Amo Crossing, LLC to allow a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive; and

**WHEREAS**, the time extension request is covered by the common sense exemption that the California Environmental Quality Act (CEQA) does not apply where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment per CEQA Guidelines Section 15061(b)(3); and

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** EXT25-00001, subject to conditions:

- AYES: COMMISSIONERS:
- NOES: COMMISSIONERS:
- ABSENT: COMMISSIONERS:
- ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that EXT25-00001 filed by RAR2 – Del Amo Crossing, LLC to allow a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That this Time Extension is valid until March 14, 2027; and (Planning)
2. That all conditions of DIV22-00001 as listed in Planning Commission Resolution No. 2023-27 shall be met.

Introduced, approved and adopted this 5th day of February 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE        )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of February, 2025, by the following roll call vote:

AYES: COMMISSIONERS:

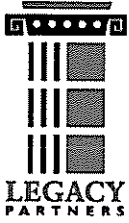
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**ITEM 7A**  
**ATTACHMENT 2**  
**LETTER OF REQUEST**



Rental Real Estate

Property Management

Marketing Services

Corporate Services

Acquisitions & Development

Design Services

Construction Management

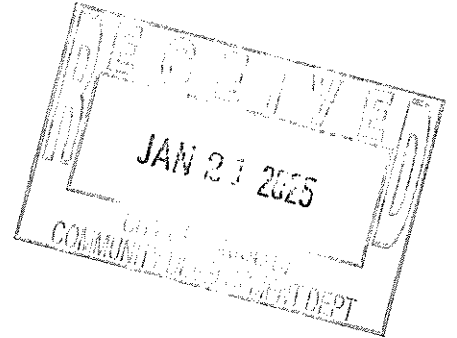
Financial Services

Ownership

January 9, 2025

City of Torrance  
Community Development Department/Planning Division  
3031 Torrance Blvd.  
Torrance, CA 90503

ATTN: Anthony Maatubang/ Leo Oorts



**RE: Tentative Tract Map No. 83799 Extension Request - Project located at 21507 Hawthorne Blvd.**

Dear Mr. Maatubang/Oorts,


Please accept this letter as our request for extension for the subject Tentative Tract Map No. 83799, pursuant to your letter dated November 12, 2024.

The Project was submitted for plan check for several months ago with but due to the jurisdiction's plan check backlog, approval is taking longer than expected; we hope to have the all Project approvals by the end of January 2025.

Please also find attached a check in the amount of \$660 for the extension fee.

Sincerely,

RAR2 – Del Amo Crossing Owner, LLC

By:   
Title: General Manager

**ITEM 7A**  
**ATTACHMENT 3**  
**RESOLUTION NO. 2023-27**

**RESOLUTION NO. 2023-27**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO MERGE TWO PARCELS INTO ONE, ON PROPERTIES LOCATED IN THE H-DA1 ZONE AT THE NORTHEAST CORNER OF CARSON STREET AND DEL AMO CIRCLE DRIVE (APNS 7525-023-034 AND 7525-023-035).**

**DIV22-00001: LEGACY/COLLIER RESIDENTIAL LLC  
(DEL AMO 5, LLC AND HAWTHORNE PARCEL 3 OWNER, LLC)**

---

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on February 1, 2023 to consider an application filed by Legacy/Collier Residential LLC (Del Amo 5, LLC and Hawthorne Parcel 3 Owner, LLC) for adoption of a Sustainable Communities Environmental Assessment (SCEA) following an Initial Study (EAS22-00001), and approval of a Conditional Use Permit (CUP22-00003) and Development Permit (DVP22-00002) to allow the construction of a 200-unit apartment complex and parking structure, in conjunction with a Modification (MOD22-00003) of a previously approved Precise Plan of Development (PP65-38), and a Division of Lot (DIV22-00001) to merge two parcels into one, at the southwest portion of the Del Amo Financial Center site, on properties located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive (APNs 7525-023-034 and 7525-023-035), referred to as the “Del Amo Circle Residential Apartments Project” (the “Project”); and

**WHEREAS**, at the Planning Commission meeting of February 1, 2023, a motion for approval passed by a unanimous vote; and

**WHEREAS**, an appeal to the City Council was administratively filed on February 2, 2023; and

**WHEREAS**, an appeal to the City Council was filed on February 9, 2023; and

**WHEREAS**, the City Council of the City of Torrance conducted a duly noticed public hearing on March 14, 2023 to consider an application filed by Legacy/Collier Residential LLC (Del Amo 5, LLC and Hawthorne Parcel 3 Owner, LLC) for approval of a Division of Lot to merge two parcels into one, on properties located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive (APNs 7525-023-034 and 7525-023-035); and

**WHEREAS**, the City Council of the City of Torrance by roll call vote denied the appeal and approved the subject request; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Articles 29 and 36, and Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, pursuant to the California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq.) and the State CEQA Guidelines (California Code of Regulations Section 15000 et seq.), as amended, the City of Torrance is the Lead Agency responsible for preparation and consideration of the environmental review for the Project; and

**WHEREAS**, the Project was reviewed under the criteria of a SCEA. A SCEA may be prepared for a project that (a) is consistent with the general use designation, density, building intensity, and applicable policies specified for the project area in a sustainable communities strategy (see California Public Resources Code [PRC] Section 21155(a)), and (b) is a “transit priority project” (as defined in California PRC Section 21155(b)). As further described below, the Project meets these criteria and, thus, is eligible for certain CEQA streamlining benefits by way of preparing a SCEA for purposes of clearance under CEQA. Specifically, Section 21155(b) applies to a project that is consistent with the general use designation, density, building intensity, and applicable policies specified for the project area in either a sustainable communities strategy or an alternative planning strategy, for which the California Air Resources Board (CARB) has accepted a metropolitan planning organization’s determination that the sustainable communities strategy or the alternative planning strategy would, if implemented, achieve the greenhouse gas (GHG) emission reduction targets established by CARB; and

**WHEREAS**, the Project is considered a Transit Priority Project (TPP) pursuant to SB 375 (The Sustainable Communities and Climate Protection Act of 2008). The Project meets all the criteria for approval under the Public Resources Code Section 21155 including: consistency with the City’s General Plan land use designation, permitted density, and building intensity as provided for in the General Plan and zoning regulations; consistency with applicable policies specified for the project area in the SCAG 2016-2040 RTP/SCS and 2020-2045 RTP/SCS as noted in the SCEA prepared for the project; contains at least 50 percent residential use, based on total building square footages; provides a minimum net density of at least 20 units per acre; and the Project site is located within one-half mile of a major transit stop or high-quality transit corridor included in a regional transportation plan; and

**WHEREAS**, notices of the Initial Study/SCEA and its availability for review and comment were filed and circulated for a thirty (30) calendar day period commencing on December 16, 2022 and ending on January 17, 2023; and

**WHEREAS**, during the review and comment period, affected public agencies and any interested parties were able to comment on the adequacy of the Initial Study/SCEA in identifying and analyzing the potential environmental impacts associated with the Project and the ways in which potentially significant effects will be avoided or mitigated, and the City released a Responses to the Comments that provides reasoned, good faith responses to each of the comments received during the comment period. In accordance with CEQA, the MMRP provides the means to ensure that all mitigation measures are fully enforceable, and all project impacts will be less than significant; and

**WHEREAS**, a Mitigation Monitoring and Reporting Program (MMRP) has been prepared that lists all of the applicable and feasible mitigation measures that the City has either required in the Project or made a condition of approval to mitigate or avoid all the Project's potential significant environmental impacts, specifies the appropriate responsible party for implementing each mitigation measure, and identifies approximate time frames for implementing of each mitigation measure. In accordance with CEQA, the MMRP provides the means to ensure that all mitigation measures are fully enforceable; and .

**WHEREAS**, based on all the evidence found and public testimony considered, at its meeting of February 1, 2023, the City Council of the City of Torrance adopted a SCEA for the Project; and

**WHEREAS**, the City Council of the City of Torrance does hereby find and determine as follows:

- a) That the properties under consideration are identified as APNs 7525-023-034 and 7525-023-035;
- b) That the properties are described as Parcels 2 and 3 of Parcel Map No. 74853 in the City of Torrance, County of Los Angeles, State of California, as per map recorded in Book No. 399, pages 45 through 49 of Parcel Maps, in the Office of the County Recorder of said County;
- c) That the Project, as conditioned, together with provision for its design and improvement, is consistent with the Commercial Center land use designation;
- d) That the Project, as conditioned, is conditionally permitted within the H-DA1 Zone, and complies with the applicable provisions of this Division;
- e) That the site is physically suitable for the Project, as conditioned, and will not interfere with the orderly development of the City as the resulting parcel is consistent with the development pattern in the area and is consistent with the H-DA1 Zone development standards;
- f) That the design of the development and map action will not cause serious public health problems as the Project, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;
- g) That the SCEA, prepared in compliance with CEQA as the environmental assessment for the Project, determined that the Project would not result in any significant adverse environmental impacts affecting the Project site and surrounding land uses after the implementation of the proposed mitigation measures as noted in SCEA and included in the MMRP. In addition, the Project complies with applicable, objective general plan, zoning, and subdivision standards and criteria, including design review standards, in effect at the time that the application was deemed complete, and the SCEA, Responses to Comments, and MMRP support the conclusion that the Project will not result in a specific, adverse impact upon on the environment and the public health or safety; and

- h) That the Project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, as the environmental impacts associated with the Project have been properly assessed through a SCEA under established CEQA guidelines. The Project would not have any significant impacts on the environment, after the mitigation measures set forth in the SCEA are incorporated, and therefore the SCEA was adopted.

**NOW, THEREFORE, BE IT RESOLVED** that DIV22-00001 filed by Legacy/Collier Residential LLC (Del Amo 5, LLC and Hawthorne Parcel 3 Owner, LLC) to merge two parcels into one, on properties located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive (APNs 7525-023-034 and 7525-023-035), on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for the Del Amo Circle Residential Apartments Project shall be subject to all conditions imposed in City Council case DIV22-00001; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the City Council relied in granting approval;
2. That if this Division of Lot is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of CUP22-00003, DVP22-00002, and MOD22-00003 shall be met; (Planning)
4. That centerline ties shall be filed with and checked by the Community Development Department, Engineering Division; (Engineering)
5. That the existing Fire Lane shall be extended to Carson Street. The Fire Lane easement shall be shown on Final Parcel Map; (Engineering)
6. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval, including any challenge to the SCEA or any determination made pursuant to CEQA. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval of this Division of Lot, or the project, or any CEQA document in connection therewith. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; and

7. That all conditions of all other City departments received prior to or during the consideration of this case by the City Council shall be met.


**INTRODUCED, APPROVED, and ADOPTED** this 14th day of March 2023.

  
\_\_\_\_\_  
Mayor Pro Tem Sharon Kalani

APPROVED AS TO FORM:  
Patrick Q. Sullivan, City Attorney

  
\_\_\_\_\_  
Tatia Y. Strader, Assistant City Attorney

ATTEST:

  
\_\_\_\_\_  
Rebecca Poirier, MMC, City Clerk


**TORRANCE CITY COUNCIL RESOLUTION NO. 2023-27**

STATE OF CALIFORNIA            )  
COUNTY OF LOS ANGELES    )    ss  
CITY OF TORRANCE             )

I, Rebecca Poirier, City Clerk of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Torrance at an adjourned regular meeting of said Council held on the 14<sup>th</sup> day of March 2023 by the following vote:

AYES:        COUNCILMEMBERS       Griffiths, Kaji, Lewis, Mattucci, and Mayor Pro Tem Kalani  
NOES:        COUNCILMEMBERS        Sheikh  
ABSTAIN:    COUNCILMEMBERS        None.  
ABSENT:     COUNCILMEMBERS        Mayor Chen

Date:           3/14/23          

  
\_\_\_\_\_  
Rebecca Poirier, MMC  
City Clerk of the City of Torrance

**AGENDA ITEM NO. 8A**

**DATE:** February 5, 2024

**TO:** Planning Commission

**FROM:** Natalie Niemeyer, Planning Associate

**SUBJECT:** 19009 Hawthorne Boulevard (APN 7522-001-014)  
Modification (MOD24-00008)  
Development Permit (DVP24-00003)

Consideration of a Modification of a previously approved Conditional Use Permit (CUP84-49) in conjunction with a Development Permit to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard.

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 25-002 and 25-003 for approval of a Modification of a previously approved Conditional Use Permit (CUP84-49) in conjunction with a Development Permit to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15302 (Replacement or Reconstruction).

**EXECUTIVE SUMMARY**

The project applicant, McDonald’s USA LLC, requests approval by the Planning Commission to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard.

The development standards of the Hawthorne Boulevard Corridor Specific Plan and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Modification (MOD) to allow revisions to the site and to past entitlements; and
- Development Permit (DVP) to allow new structures within the Hawthorne Boulevard Corridor Specific Plan area.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the Torrance Municipal Code, and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**Environmental Determination**

Reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as

the structure replaced is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15302 (Replacement or Reconstruction).

**General Plan Land Use Designation**

This site has a General Plan land use designation of General Commercial (C-GEN) which allows a maximum Floor Area Ratio of 0.6. The General Commercial designation is intended to permit a wide range of commercial uses which serve both community and regional needs. Regional shopping centers, professional and medical office projects, corridor commercial districts, food and beverage establishments, entertainment facilities, financial institutions, and automotive sales and repair operations are all permitted or conditionally permitted uses in the General Commercial areas.

The zoning designation for this property is H-PR (Hawthorne Boulevard Corridor Specific Plan-Promenade Sub-District), which is consistent with the General Commercial land use designation. The proposed new building for a restaurant with drive through lane is consistent with the C-GEN land use designation and the H-PR Zone.

**Zoning Designation and Adjacent Land Uses**

The project site is designated as H-PR Zone (Hawthorne Boulevard Corridor Specific Plan-Promenade Sub-District) (Attachment 2) and shares the same zoning designation as the properties to the south and east, with both sites developed as commercial. The adjacent parcel to the north, across 190th Street, is the City of Redondo Beach, developed as commercial and residential. The adjacent parcels to the west are zoned R-1 and developed as residential.

NORTH:	City of Redondo Beach	Commercial and Multi-Family Residences
SOUTH:	H-PR	Commercial
EAST:	H-PR	Commercial/ Medical Offices
WEST:	R-1	Single Family Residences

**Project Site**

The project site is located on the southwest corner of Hawthorne Boulevard and 190th Street. The subject property measures 54,389 square feet and is currently developed with an existing restaurant with drive through lane, originally constructed in 1986. There are no outstanding natural features on the subject property. Past entitlements associated with the property include a Conditional Use Permit (CUP84-49) which allowed the construction of a drive through restaurant, an Administrative Approval (MIS94-0145) to allow the addition of a modular order booth/attendant shelter in the drive through queue, a Modification (MOD94-0019) to allow an addition to the existing restaurant to accommodate an indoor playground, and a Minor Development Permit (MDP11-00012) to allow the expansion from one drive through lane to two in addition to façade improvements.

Existing vehicular access to the site is provided via the primary driveway on Hawthorne Boulevard, at the southeast corner, with two additional access points; one along the alley to the west of the site and one to the south along the open space easement with the adjacent property to the south. Pedestrian access is provided along Hawthorne Boulevard. Changes to the existing vehicular access are proposed to encourage efficient vehicular access throughout the site including new wayfinding signage and exit only locations at the alley and southwest corner of the site to encourage all vehicles to enter the site through the existing primary entrance off Hawthorne Boulevard.

**Scope of Work**

The applicant proposes to demolish the existing restaurant building, totaling 6,383 square feet; to be replaced by a new restaurant building, totaling 5,113 square feet. The new drive through queue will be roughly in the same location but has been modified to increase the queue capacity from 10 vehicles to 13, as well as minor changes to the turning radius and the addition of an auxiliary lane

prior to the pick-up windows. Site enhancements include new landscaping and minor reconfigurations to the parking layout.

**Building Height, Setbacks and Floor Area Ratio**

The proposed building will be one-story and measures 20’ in height to the roof and 21’-7” to the topmost portion of the parapet. The proposed building height is well below the height limit of 45’ in the H-PR Zone, is consistent with the height of other buildings in the surrounding area, and neighboring multi-story buildings to the north and east.

The proposed building provides a 53’ street setback to 190th Street, a 77’ street setback to Hawthorne Boulevard, a 118’ setback to the alley along the west of the property, and a 68’ setback to the neighboring commercial site to the south. The H-PR Zone requires a minimum 12’ street setback and a 20’ setback from any residential district boundary. The proposed new building meets or exceeds all setback requirements.

As mentioned, the proposed building totals 5,113 square feet. The proposed FAR (Floor Area Ratio) is 0.09, which is significantly below the Maximum FAR allowed within the H-PR Zone and General Commercial land use designation of 0.6.

**Building Architecture**

The proposed building features a contemporary architecture style that is consistent with recent commercial developments as well as McDonald’s branding such as fiber cement siding, metal paneling, wood grain battens, and aluminum canopies. The proposed building design complies with the development standards in the Torrance Municipal Code as well as the design guidelines of the Hawthorne Boulevard Corridor Specific Plan.

**Floor Plan**

The proposed floor plan consists of the staff area which includes the kitchen, support area, freezer, cooler, crew room and manager area as well as the area available to the public which includes the customer service counter, dining area, restrooms, and an indoor playground. The new floorplan allows for enhanced efficiency in the work stations and a more open dining area for customers.

Provided below is summary of the project statistics:

<b>19009 Hawthorne Boulevard</b>	
Lot Area	54,317 sf
Proposed Building Height	20 ft
Existing Building Area	6,383 sf
Proposed New Building	5,113 sf
Proposed Floor Area Ratio (0.6 Allowed)	0.09
Parking Required	52
Parking Provided	53

**Business Operation**

The hours of operation would remain the same with the drive through open 24 hours and the indoor dining area open from 5:00 a.m.-1:00 a.m. daily. Employee occupancy would remain the same with 10-12 employees onsite at a time. Staff notes that no sales of alcohol are proposed and no Code

Enforcement complaints regarding hours of operation or noise have been received for this property. Staff has no concerns with the proposed hours of operation.

**Parking Requirements**

Restaurants are parked at one space per 100 square feet (1:100) of floor area. The proposed building area requires 52 spaces; 53 total spaces are proposed. Minor changes to the existing parking layout are proposed to meet current code requirements including providing electrical vehicle capable stalls. Staff has no concerns with the parking layout as proposed.

**Site Improvements**

The proposed scope of work will result in changes to the existing landscaping on site. Staff has included conditions of approval to ensure the new landscaping will comply with all code requirements and will efficiently screen all proposed ground equipment. No changes to the existing trash enclosure, pole sign, monument sign and flag poles are proposed. Conditions of approval have been included to address any changes to signage on site. Additionally, staff has included conditions of approval to mitigate impacts to the neighboring residential properties including headlight screening and spike strips adjacent to the alley on the west of the property to eliminate ingress onto the site from the alley.

In addition to the above site improvements, staff also recommends typical conditions of approval related to such facilities such as all persons associated with the use shall park onsite, no outdoor storage, and all loading and unloading shall be onsite.

**CONCLUSION**

In the judgment of staff, the proposed project, as conditioned, is compatible with the existing and surrounding uses, and will not adversely impact the orderly and harmonious development of the area, nor will it adversely affect the general welfare of the City. The new building continues the existing longstanding use of the site for a drive through restaurant and will not change the nature of the existing operation. The plans reflect a high quality design and the new facility will better serve the area. Therefore, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

**FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

**CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

**PUBLIC NOTICE**

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on January 16, 2025, to the registered owner of properties located within

a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

### **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

### **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

### **ATTACHMENTS**

1. Resolution Nos. 25-002 and 25-003
2. Location and Zoning Map
3. Project Narrative
4. Code Requirements
5. Project Plans

### **STAFF CONTACT**

Natalie Niemeyer, Planning Associate  
[NNiemeyer@TorranceCA.gov](mailto:NNiemeyer@TorranceCA.gov)

**ITEM 8A**  
**ATTACHMENT 1**

Resolution Nos. 25-002 and 25-003

**PLANNING COMMISSION RESOLUTION NO. 25-002**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP84-49) AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE, IN CONJUNCTION WITH A DEVELOPMENT PERMIT TO ALLOW THE DEMOLITION OF EXISTING RESTAURANT BUILDING WITH DRIVE THROUGH LANE AND THE CONSTRUCTION OF A NEW RESTAURANT BUILDING WITH DRIVE THROUGH LANE, ON PROPERTY LOCATED IN THE H-PR ZONE AT 19009 HAWTHORNE BOULEVARD.

**MOD24-00008: MCDONALD'S USA LLC**

**WHEREAS**, the Planning Commission approved CUP84-49 on November 21, 1984 to allow the construction of a drive through restaurant on the subject property; and

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on February 5, 2025, to consider an application for a Modification of a previously approved Conditional Use Permit (CUP84-49) filed by McDonald's USA LLC to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 19009 Hawthorne Boulevard (APN 7522-001-014);
- b) That the property is described as "PARCEL MAP AS PER BL183 P 92 OF PM LOT 1" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That replacement or reconstruction of an existing private structure involving negligible or no expansion of use beyond that previously existing is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15302 – Replacement or Reconstruction;
- d) That the restaurant with drive through lane is conditionally permitted within the H-PR Zone and complies with all of the applicable provisions of the Torrance Municipal Code, including the H-PR Zone and all conditions imposed on the property;
- e) That the proposed modification to the previously approved restaurant with drive through lane, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses, and is conditionally permitted within the H-PR Zone;
- f) That the subject site is physically suitable for the proposed modification, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure.

Furthermore, the project complies with setback standards and the proposed building heights are compatible with the surrounding area;

- g) That the proposed modification, as conditioned, will be compatible with existing and proposed future land uses within the H-PR Zone and the general area because the project site is surrounded by urban uses that include commercial to the north, east, and south, as well as, residential to the north and west;
- h) That the proposed project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as General Commercial, because the proposed modification does not change the existing, longstanding use;
- i) That the proposed modifications, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the site will continue to be the previously approved restaurant with drive through lane and will remain compatible with existing surrounding uses;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed modifications are not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the modified project, as conditioned, because the project maintains the driveway on Hawthorne Boulevard, as well as pedestrian circulation;
- l) That the proposed location, size, design, and operating characteristics of the proposed modifications, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the H-PR Zone and is consistent with the General Commercial land use designation; and
- m) That the proposed modifications, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** MOD24-00008, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that MOD24-00008 filed by McDonald's USA LLC to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at

19009 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property as a restaurant with drive through lane shall be subject to all conditions imposed in Modification 24-00008; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if MOD24-00008 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of the signed Planning Commission Resolutions shall appear on the construction plans associated the subject building, to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That a landscape plan, including onsite and offsite areas, shall be submitted to the Community Development Department for approval prior to final inspection of the building permits and shall be implemented prior to occupancy. The plan shall utilize drought tolerant, California friendly vegetation, shade-producing trees, and shall provide state-of-the-art water saving irrigation system and/or drip irrigation for larger shrubs and trees. The landscape plan shall incorporate landscape elements of different heights, colors, and textures in order to provide an attractive and water efficient design. Proposed landscape layout should include landscape elements of high quality and embrace a cohesive landscape design theme throughout the property. The landscape plan shall provide landscaping of sufficient height and texture to provide an effective screen of all trash enclosures, transformers, utility connections, backflow devices, and vehicle headlights positioned toward adjacent uses and street frontages. All trees planted along the site perimeter and street frontage shall not be less than 24 inch box in size, and all shrubs shall not be less than 5 gallon in size. The project shall comply with the current State Water Efficient Landscape Ordinance. Landscaping shall be maintained in good condition to the satisfaction of the Community Development Director; (Planning)
5. That the location of any electrical transformer(s), backflow preventer, double detector check assembly, etc. shall be shown on the final working drawings and landscape plan, and shall be screened from public view or undergrounded, if applicable, to the satisfaction of the Community Development Director prior to the issuance of Building Permits; (Planning)
6. That the project shall provide a utility management plan that establishes the placement, design, and screening/camouflaging of all new utility and related equipment, including but not limited to: transformers, panels, meters, backflow preventers, double detector check assemblies, etc. Screening shall comply with all utility company access requirements. All related mounting or ancillary equipment such as conduits and piping, etc., shall also be screened or painted, to the satisfaction of the Community Development Director; (Planning)
7. That an exterior lighting plan incorporating the design themes of the District shall be submitted to the Community Development Department for approval, prior to the issuance of any Building Permits, to ensure adequate lighting for exterior doorways, parking spaces, and pedestrian walkways, and to ensure that lighting, including vehicle headlights, is shielded from the abutting and nearby residential properties to the west, to the satisfaction of the Community Development Director; (Planning)

8. That rooftop equipment, such as, air conditioning units, venting, etc., shall be screened from the surrounding view and right-of-way by a parapet that is designed as an integral part of the façade, and shown on the final Building Plans, to the satisfaction of the Community Development Director, prior to Building Permit issuance; (Planning)
9. That a roof plan shall be submitted prior to issuance Building Permits. The roof plan shall identify the parapet heights and setbacks to ensure all new roof appurtenances, such as ducts and vents, all mechanical equipment, electrical boxes, meters, pipes, transformers, air conditioners and all other equipment on the roof shall be completely screened from public view and nearby taller buildings with materials compatible with the building. Such equipment or screening material shall be constructed in such a manner that noises emanating from the roof appurtenances shall not be audible beyond the property lines; (Planning)
10. That pedestrian accessibility shall be provided along 190th Street to the satisfaction of the Community Development Director; (Planning)
11. That the applicant shall provide a site-wide signing and striping plan that demonstrates, but is not limited to: way-finding signage (for automobiles and pedestrians), pavement markings, directional arrows, stop and yield control devices, etc., to the satisfaction of the Community Development Director; (Planning)
12. That a material and color samples board shall be provided to the Community Development Department for approval prior to the issuance of Building Permits; (Planning)
13. That the applicant shall incorporate the use of the Promenade Sub-District Color, burgundy, into the design features of the proposed project, to the satisfaction of the Community Development Director; (Planning)
14. That a graffiti-proof finish shall be used on walls where applicable, including building walls, fence walls, and screen walls, and that all windows shall be provided with a protective film to prevent graffiti; (Planning)
15. That a detail of any new walls and fencing shall be provided to the Community Development Department for approval prior to the issuance of Building Permit; (Planning)
16. That a spike strip shall be installed at the northwest driveway to eliminate ingress onto the site from the alley to the satisfaction of the Community Development Director; (Planning)
17. That there shall be no outdoor or exterior telephones, newspaper racks/magazine stands, independent speakers/sound system, vending machines, kiosks, storage containers, unattended collection boxes, etc. permitted onsite. Outdoor storage shall be prohibited; (Planning)
18. That no public address speakers, radios, paging, telephone bells, buzzers, or similar signaling devices shall be used in conjunction with the use of the proposed building; (Planning)
19. That all persons associated with the use shall be required to park onsite, including visitors, employees, deliveries, etc.; (Planning)
20. That should parking, traffic, or circulation issues arise, the project shall be reevaluated, and that the applicants shall continue to work with staff on securing a resolution, to the satisfaction of the Community Development Director; (Planning)
21. That the business name and address shall be visible from street, and that hours of operation shall be visible at or near the business entrance; (Police/Planning)
22. That there shall be non-glare security lighting for all parking areas, common pedestrian stairways, and walkways; (Police/Planning)

23. That all supply vehicles shall complete delivery/pickup on property; (Planning/Police)
24. That the applicants shall install alarmed doors for main access points; (Police/Planning)
25. That the applicants shall install surveillance cameras to monitor entry/exits, loading areas, cash handling areas (as applicable), offices housing store assets, and parking lot. Security cameras shall be maintained in proper working order at all times and stored video data shall be made available to Police upon request. Surveillance footage shall be stored for no less than 60 days; (Police/Planning)
26. That prohibited signage for this use shall include: freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
27. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
28. That 9" (minimum) contrasting address numerals shall be provided for non-residential uses; (Environmental)
29. That the site shall provide bicycle rack(s). The applicant shall install onsite bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
30. That the drive through menu speaker volume shall be reduced to 45 decibels after 10:00 p.m. and turned off (mute) at 12:00 a.m. (midnight) daily, and that the silent order confirmation board (OCB) shall be utilized between 12:00 a.m. and 6:00 a.m. daily to the satisfaction of the Community Development Director; (Environmental)
31. That the trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion and provide bins/containers within the trash enclosure for the storage and retrieval of trash and recycling materials to meet current NPDES requirements; (Environmental)
32. That the applicant shall install rooftop numbers onto the new building in order to assist law enforcement and other emergency personnel locate the property. The numbers shall be 4 feet high and 2 feet wide, spaced 12 inches apart, be parallel to the street, and be a non-reflective color that contrasts the color of the roof; (Environmental/Police)
33. That upon completion of the project, the applicant shall hire a Certified Access Specialist (CAsp) to verify that project(s) are in compliance with California Building Code. All deficiencies shall be addressed to the satisfaction of the Building Official; and (Grading)
34. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of February 2025.

ATTEST:

---

Secretary, Torrance Planning Commission

---

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of February 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

---

Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-003**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A DEVELOPMENT PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 36 OF THE TORRANCE MUNICIPAL CODE, IN CONJUNCTION WITH A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP84-49) TO ALLOW THE DEMOLITION OF EXISTING RESTAURANT BUILDING WITH DRIVE THROUGH LANE AND THE CONSTRUCTION OF A NEW RESTAURANT BUILDING WITH DRIVE THROUGH LANE, ON PROPERTY LOCATED IN THE H-PR ZONE AT 19009 HAWTHORNE BOULEVARD.

**DVP24-00003: MCDONALD'S USA LLC**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on February 5, 2025, to consider an application filed by McDonald's USA LLC for a Development Permit to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 36 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 19009 Hawthorne Boulevard (APN 7522-001-014);
- b) That the property is described as "PARCEL MAP AS PER BL183 P 92 OF PM LOT 1" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That replacement or reconstruction of an existing private structure involving negligible or no expansion of use beyond that previously existing is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15302 – Replacement or Reconstruction;
- d) That the restaurant with drive through lane is consistent with the purpose and requirements of the Promenade Sub-District, complies with all applicable provisions of the Hawthorne Boulevard Corridor Specific Plan, and as conditioned, is consistent with the objectives, policies, and programs of the General Plan and with the land use designation of General Commercial;
- e) That the restaurant with drive through lane, as conditioned, conforms with all applicable design guidelines and review criteria of the Hawthorne Boulevard Corridor Specific Plan;
- f) That the subject site is physically suitable for the type and intensity of development, and for the types of land uses being proposed because the property is maintaining the existing use of a restaurant with drive through lane;
- g) That by virtue of high quality design and construction, the restaurant with drive through lane will continue to positively contribute to the orderly and harmonious development of the Hawthorne Boulevard Corridor and the general welfare of the City as it will be implementing the District design guidelines, as conditioned;

- h) That the restaurant with drive through lane, as conditioned, will enhance the commercial development of the area so as to increase the taxable value of real property and sales tax return to the City, and to maintain the stability and value of the property and of the Hawthorne Boulevard Corridor as it will be implementing the District design guidelines, as conditioned;
- i) That traffic impacts have been mitigated, in whole or in part by the design of the on-site circulation system so as to minimize hazard and congestion, to facilitate on-site movements between adjacent properties, and to maximize opportunities for pedestrian connections, as conditioned;
- j) That there are adequate provisions for water, sanitation, and public utilities and services to ensure that the restaurant with drive through lane is not detrimental to public health and safety as the site is located in an area surrounded by urban uses, as conditioned;
- k) That the restaurant with drive through lane is consistent with the objectives, policies, general land uses and programs of the Torrance General Plan, as conditioned; and
- l) That the restaurant with drive through lane would not be detrimental to the public interest, health, safety, convenience or welfare, as conditioned.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** DVP24-00003, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that DVP24-00003 filed by McDonald’s USA LLC to allow the demolition of an existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property as a restaurant with drive through lane shall be subject to all conditions imposed in Modification 24-00008 and Development Permit 24-00003; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if DVP24-00003 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of Modification 24-00008 shall be met; and

4. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of February 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE        )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of February 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

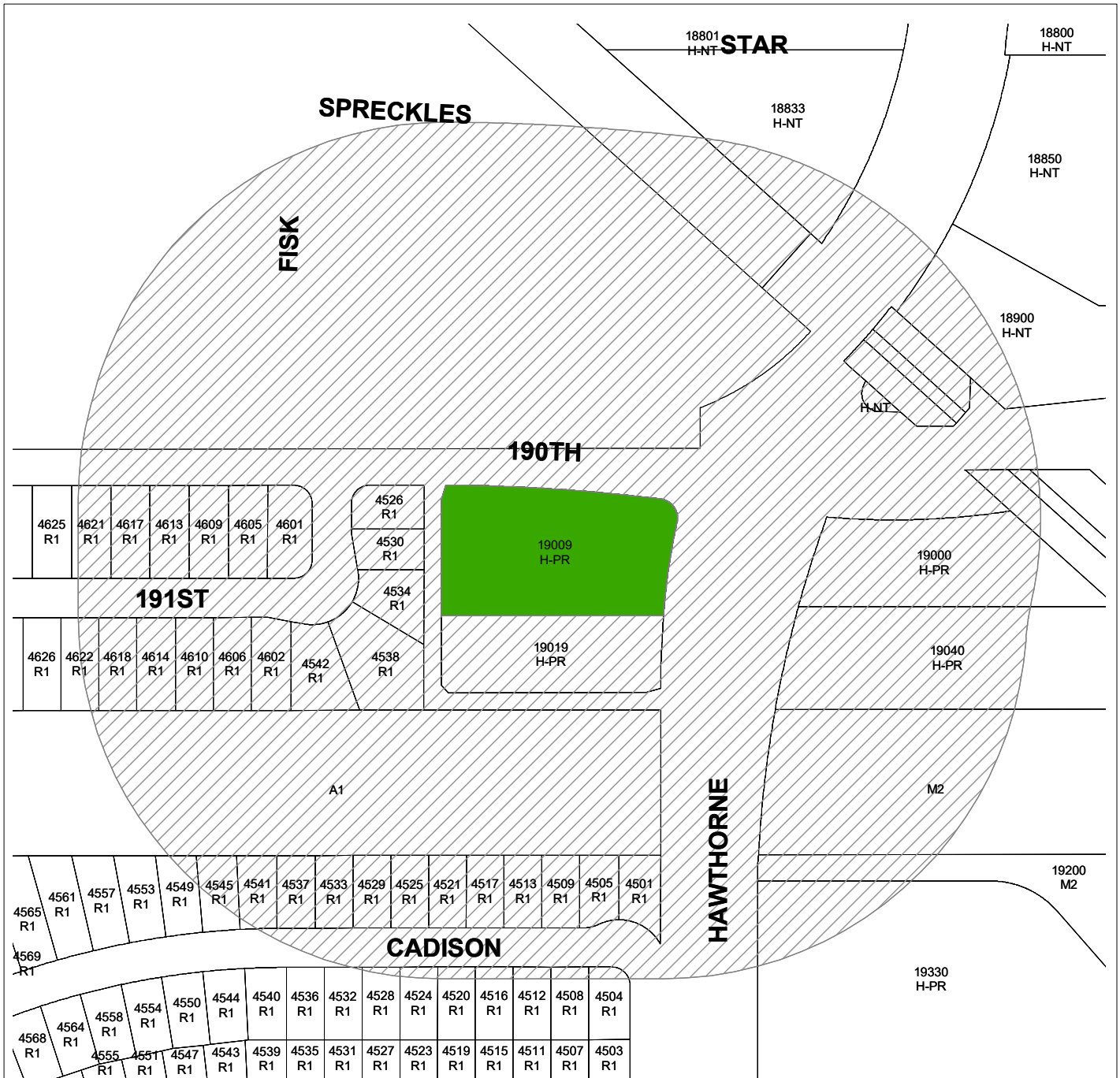
ABSTAIN: COMMISSIONERS:

---

Secretary, Torrance Planning Commission

**ITEM 8A**  
**ATTACHMENT 2**

Location and Zoning Map



## LOCATION AND ZONING MAP

MOD24-00008, DVP24-00003  
19009 Hawthorne Blvd



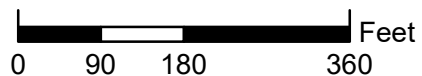
## LEGEND



Notification Area



19009 Hawthorne Blvd



**ITEM 8A**  
**ATTACHMENT 3**

Project Narrative



October 11, 2024

**City of Torrance**  
Community Development Department  
3031 Torrance Blvd  
Torrance, CA 90503  
Attn: Soc Angelo Yumul, Planning Associate

Re: **Letter of Project Description**  
**McDonald's**  
**19009 Hawthorne Blvd, Torrance, CA**

Dear Soc,

As required per your emailed comments from September 27, 2024, please find the project description below.

*Operational Info:*

The proposed scope of work includes building a new McDonald's Restaurant with Dual Order Point Drive-through in place of the existing. The new building will open up to 24 hours for the drive-thru, with an anticipated employee roster of about 30-40 employees. A max shift would be 10-12 employees on site at once. There will also be an indoor dining area which will Operate from 5am - 1am 7 days and will include an attached interior Playplace for children. No alcohol license or co-tenants are proposed.

*Pedestrian Access:*

The existing accessible path of travel from Hawthorne Blvd will be improved as part of the site work. This is depicted on the provided site plan.

*Building and Site Design:*

The proposed exterior finishes will be consistent with McDonald's branding and will help customers to identify the location as they are approaching. As shown on the elevations, all roof top mounted equipment will be screened from view.

The three service windows are the latest in McDonald's efforts to provide a seamless and efficient experience for customers. The first window a guest pulls up to is where they pay, the second is the primary service window where food would be delivered. If an order is taking longer than normal, employees will ask that car to pull forward to the third window and wait. This allows the rest of the queue to continue processing through the primary service window, and the bypass lane shown allows cars to continue exiting the drive-through lane as needed.

McDonald's also implements mobile order pick-up stalls (depicted on the site plan as "M.O."), as well as what they call 'Pull Forward' stalls – for out-of-sequence-presentation – for those orders that may take so long they need even more time than the third window option would allow. All these efforts are

to reduce queuing length and time, and to prevent the drive-through from backing up and affecting the right-of-way traffic.

A portion of the site plan will be existing to remain and no construction will occur in those areas. This is depicted on the site plan with the light grey hatch.

*Construction Schedule:*

The anticipated construction start date is July 2025 with anticipated construction completion in February 2026.

Please let us know if you have any questions.

We look forward to bringing this project to fruition with the City of Torrance.

Sincerely,



Jamie Pham, AIA  
Project Manager

**ITEM 8A**  
**ATTACHMENT 4**  
Code Requirements

## CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### BUILDING AND SAFETY

1. Comply with 2022 CBC, CMC, CEC, CPC, and CGBC.

### GRADING

2. The applicant shall apply for a grading permit from Building and Safety Division. Grading permit shall be accompanied by two sets of plans and specifications and supporting data consisting of, but not limited to, a geotechnical report. TMC 81.2.49(J103) and TMC 82.2.50 (J104.3).
3. The applicant shall submit a precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. TMC 81.2.49 (J103) and TMC 81.2.50(J104).
4. The applicant shall submit a detailed geotechnical report prepared by a Geotechnical Engineer/Engineering Geologist. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.
5. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6).
6. Retaining wall proposed to accommodate the cuts and fills shall be obtained through a separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
7. All undocumented fill shall be removed, until competent native soils are reached, and recompacted from property line to property line. TMC 81.2.50 (J104.5)
8. Cover sheet of construction document shall include area (acres) of disturbed soil; disturbed soil of 1 acre or more requires the owner to file a Notice of Intent with the Division of Water Quality of State Water Resources Control Board and prepare a SWPPP per TMC 410.1.070, if applicable.

9. Per TMC 410.1.070 the owner/owner's agent shall submit an erosion control plan to Building and Safety for review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion-susceptible slopes.
10. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6).
11. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per 81.2.52.

#### **ENGINEERING**

12. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on 190th Street and the public alley. (City Code Sec. 74.6.2)
13. Install approved landscaping with irrigation system in public parkway along property frontage on 190th Street. (City Code Sec. 75.1.13)
14. Install a street tree in the City parkway every 50' for the width of this lot on 190th Street (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
15. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.
16. Replace damaged portions of the public alley along the property frontage which includes the AC pavement and the PCC center gutter per City of Torrance standards.

#### **ENVIRONMENTAL**

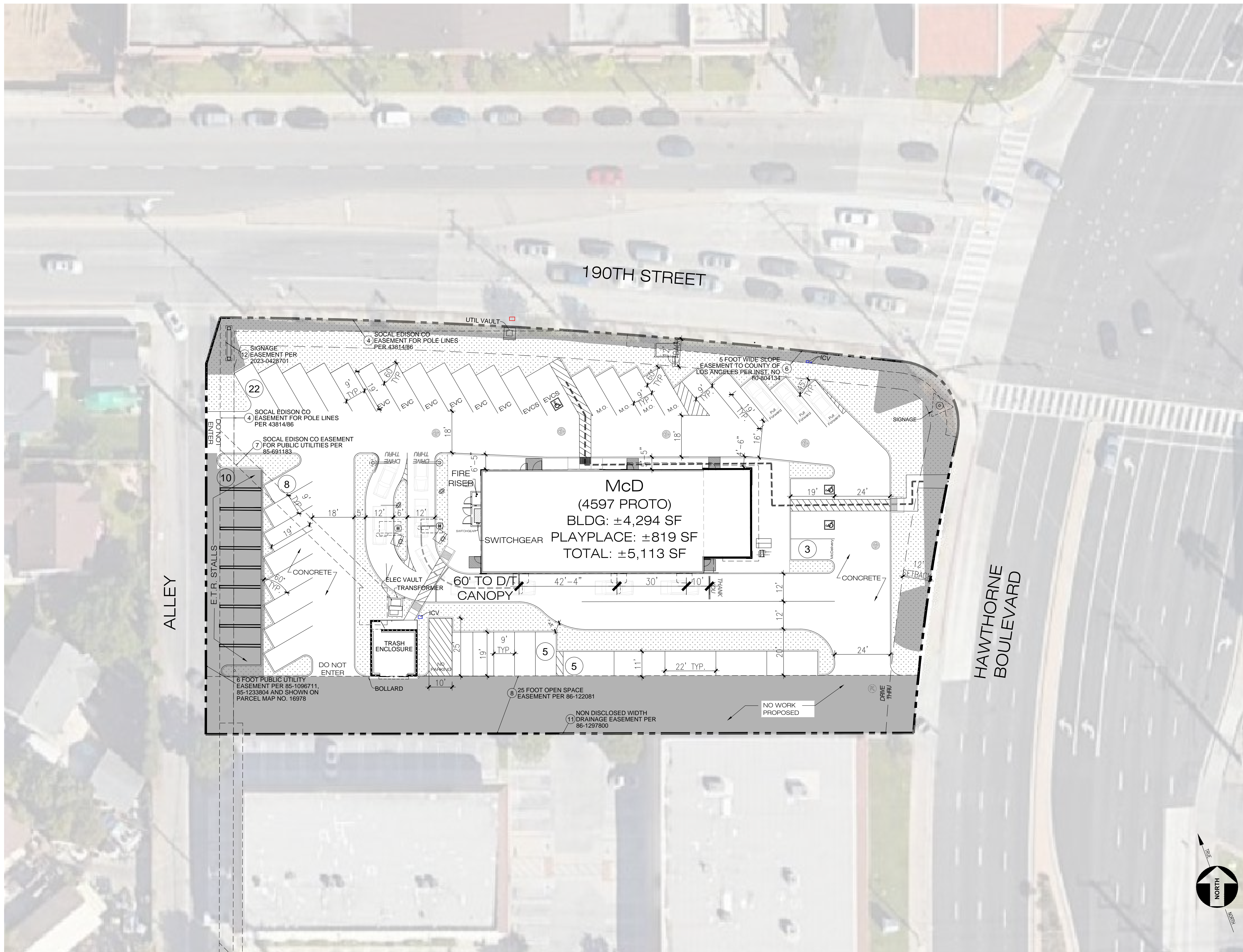
17. All parking spaces, including handicap accessible spaces, must be double-lined striped and sized to meet Code (93.4.6).
18. Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per Torrance code(92.30.4).
19. Screen all roof equipment from public view per Torrance code(92.30.2).
20. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
21. Direct lighting away from residential land uses per Torrance code(92.30.5).

#### **FIRE**

17. Comply with California Fire Code.
18. Fire sprinklers and fire alarm will be required.

**ITEM 8A**  
**ATTACHMENT 5**

Project Plans



**SITE INFORMATION**

APN: 7522-001-014

LEGAL DESCRIPTION:  
 PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE,  
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP  
 FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY  
 RECORDER OF SAID COUNTY.

TOTAL GROSS ACREAGE: ±54,317 SF (1.25 AC)

TOTAL BUILDING AREA: ±5,113 SF  
 (NOT INCLUDING UTILITY AREAS)

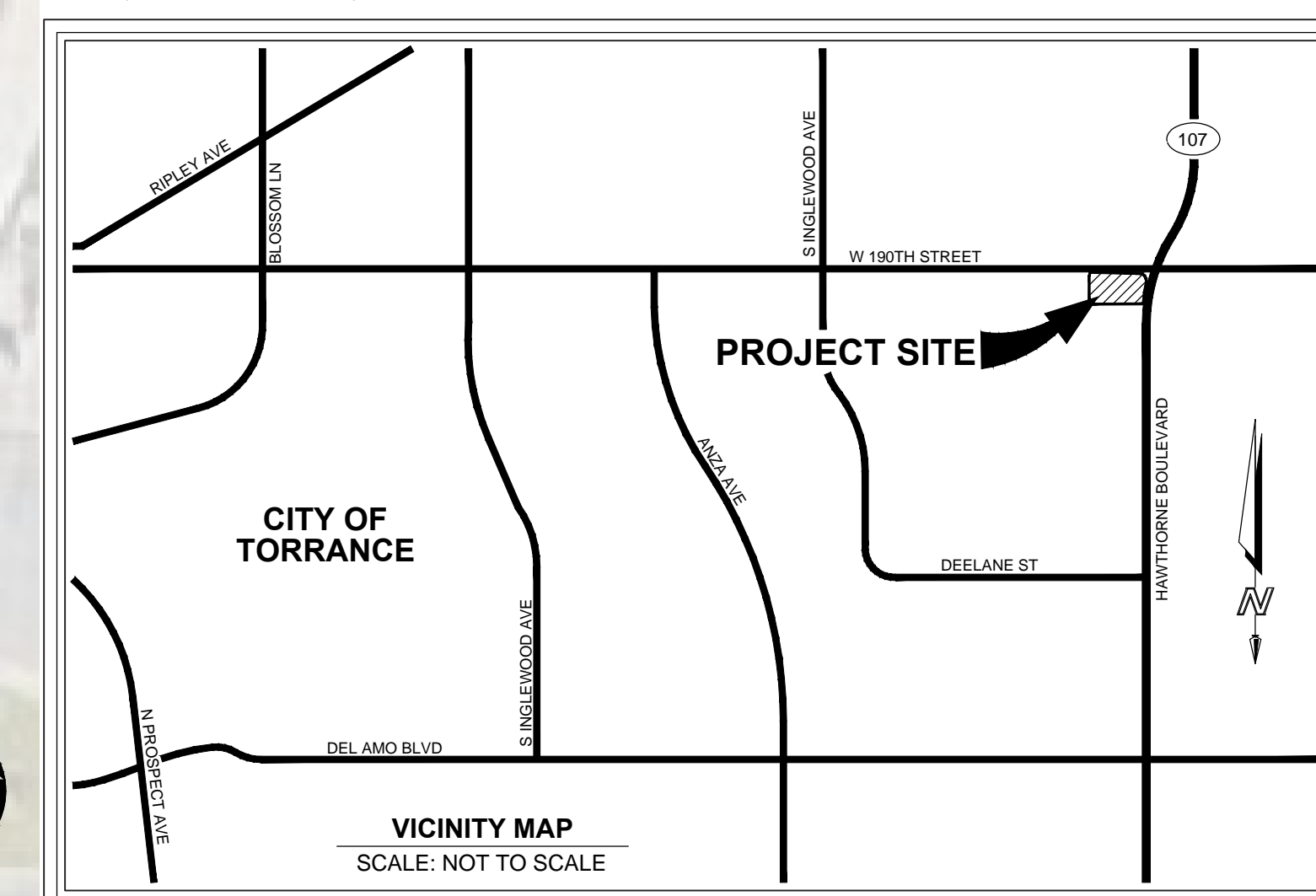
PARKING REQUIREMENT:  
 RESTAURANT = 1/100 SF

STALLS REQUIRED: 52 STALLS  
 STALLS PROVIDED: 53 STALLS  
 INCLUDES 2 ADA PARKING STALLS (1 VAN + 1 STANDARD)  
 INCLUDES 2 EV PARKING STALLS (1 VAN CHARGING STALL)

**LEGEND:**

- ADA PATHWAY
- EVC ELECTRICAL VEHICLE CAPABLE STALLS
- EVCS ELECTRICAL VEHICLE CAPABLE STALLS WITH EVSE
- SHORT TERM BICYCLE PARKING
- LONG TERM BICYCLE PARKING
- PROPERTY LINE
- EXISTING AREA TO REMAIN

**VICINITY MAP**  
 (NOT TO SCALE)



# MCDONALD'S 004-1279

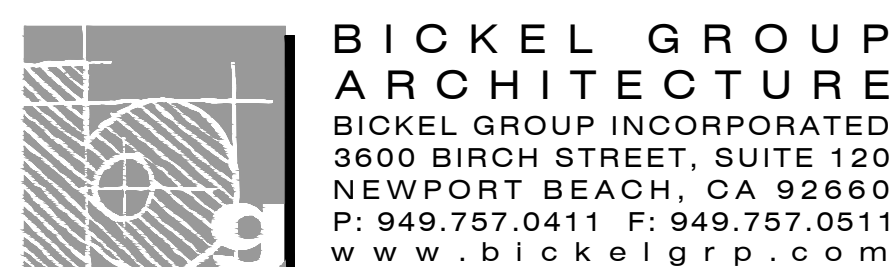
19009 HAWTHORNE BLVD.  
 TORRANCE, CALIFORNIA

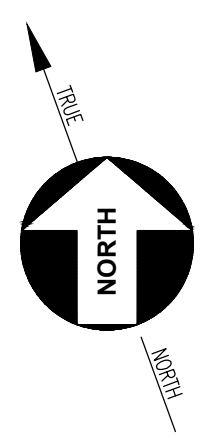
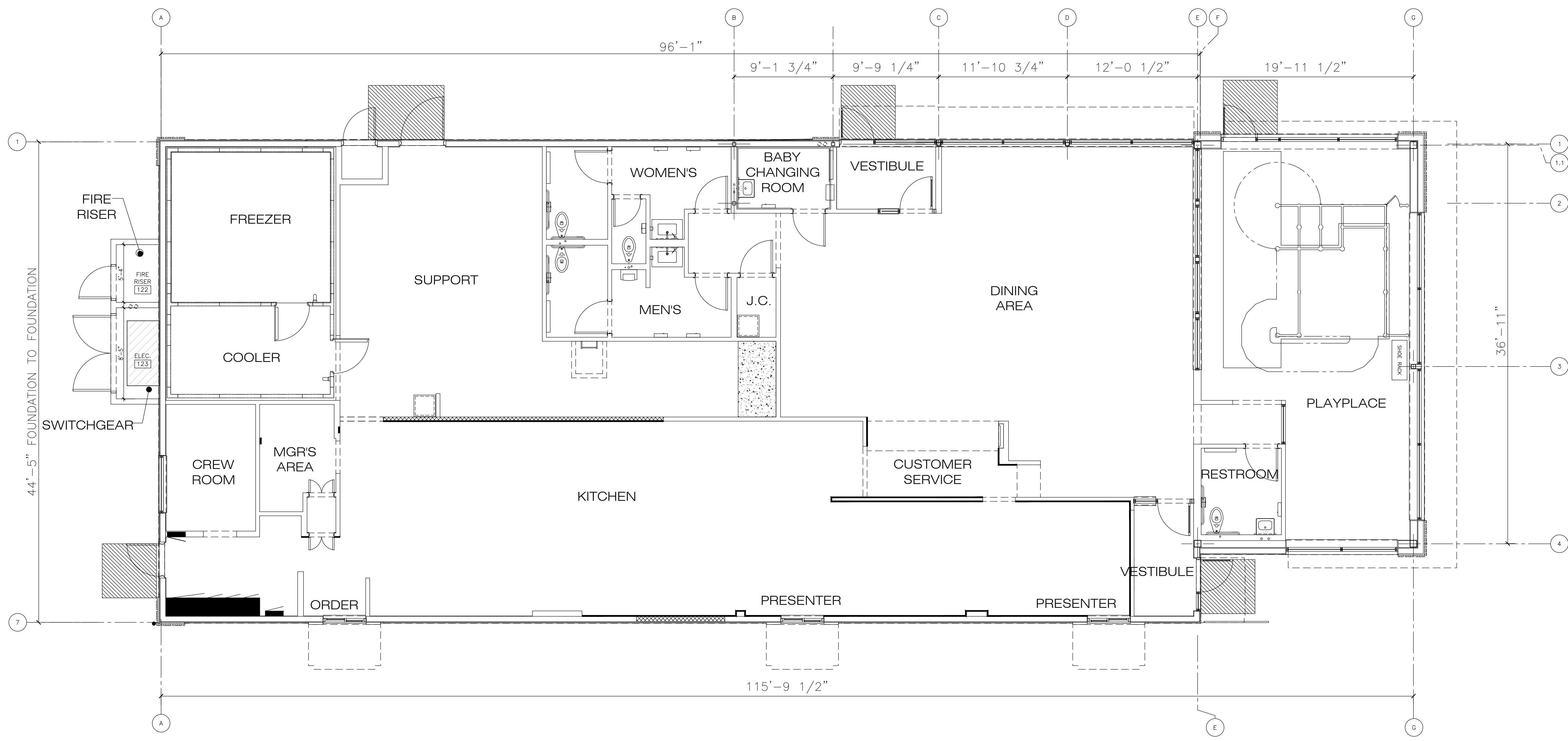
**SITE PLAN**

Scale: 1" = 20'  
 December 23, 2024

P:\23\23870 - McD Torrance, 19009 Hawthorne Blvd  
 004-1279\Design\Site\23870 - Site Plan.dwg

The plans, ideas, arrangements and designs indicated or represented by this drawing are owned by, and are the property of BICKEL GROUP, and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from BICKEL GROUP © 2011.





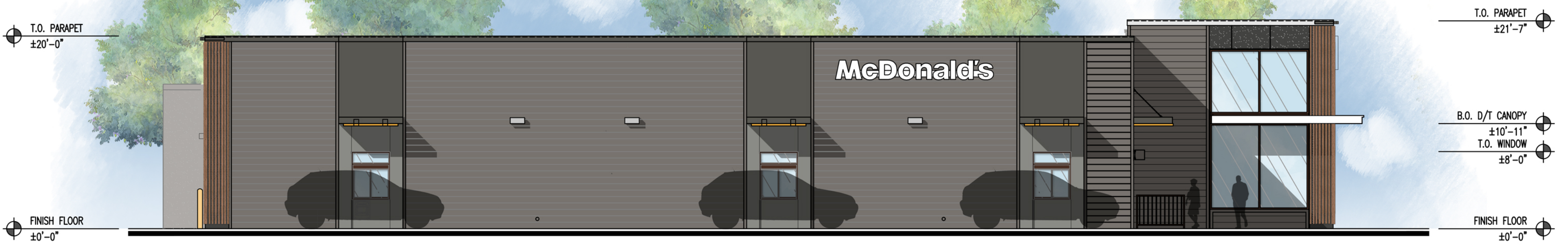
**BICKEL GROUP ARCHITECTURE**  
 BICKEL GROUP INCORPORATED  
 3600 BIRCH STREET, SUITE 120  
 NEWPORT BEACH, CA 92660  
 P: 949.757.0411 F: 949.757.0511  
 www.bickelgrp.com

# McDONALD'S 004-1279

19009 HAWTHORNE BLVD.  
 TORRANCE, CALIFORNIA

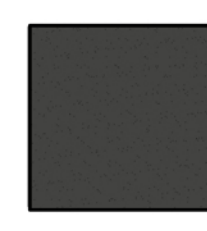
**FLOOR PLAN**  
 Scale: 3/16" = 1'-0"  
 July 18, 2024

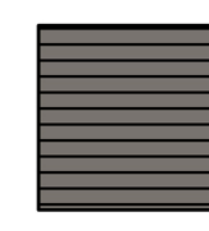
P:123/23870 - McD Torrance, 19009 Hawthorne Blvd  
 004-1279/Design/Floor Plan/x23870 - 4597+PP xa-base.dwg  
The plans, ideas, arrangements and designs indicated or recommended by this drawing are owned by, and are the property of, BICKEL GROUP, and were created and developed solely for use on, and in connection with, the specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from BICKEL GROUP © 2017.




COLOR SCHEME: STEEL

- 

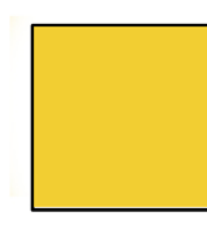
2"X2" ALUMINUM BATTEN  
B+N INDUSTRIES  
WOOD GRAIN
- 

E.I.F.S.  
SHERWIN WILLIAMS  
"IRON ORE"  
SW 7069
- 

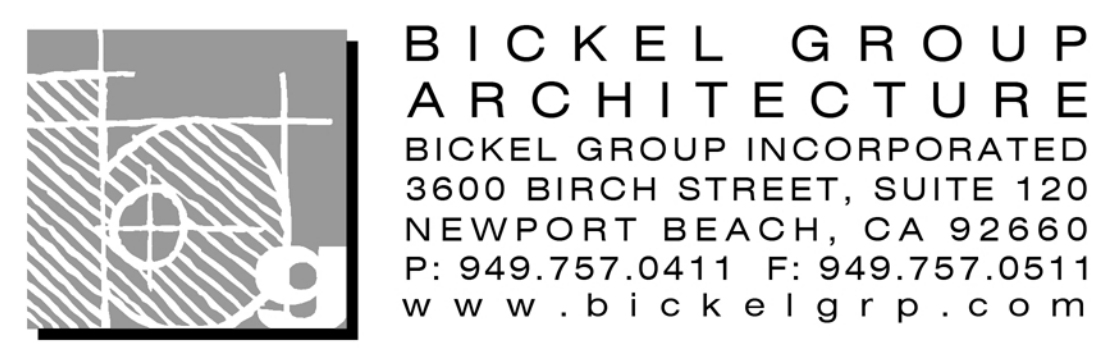
FIBER CEMENT SIDING  
SHERWIN WILLIAMS  
"GAUNTLET GRAY"  
SW 7019
- 

ALUMINUM CANOPY  
RAL 7022
- 

ALPOLC METAL PANEL  
COLOR: DON GRAY
- 

STOREFRONT  
DARK BRONZE  
ALUMINUM
- 

PANTONE 123



# MCDONALD'S 004-1279

19009 HAWTHORNE BLVD.  
TORRANCE, CALIFORNIA

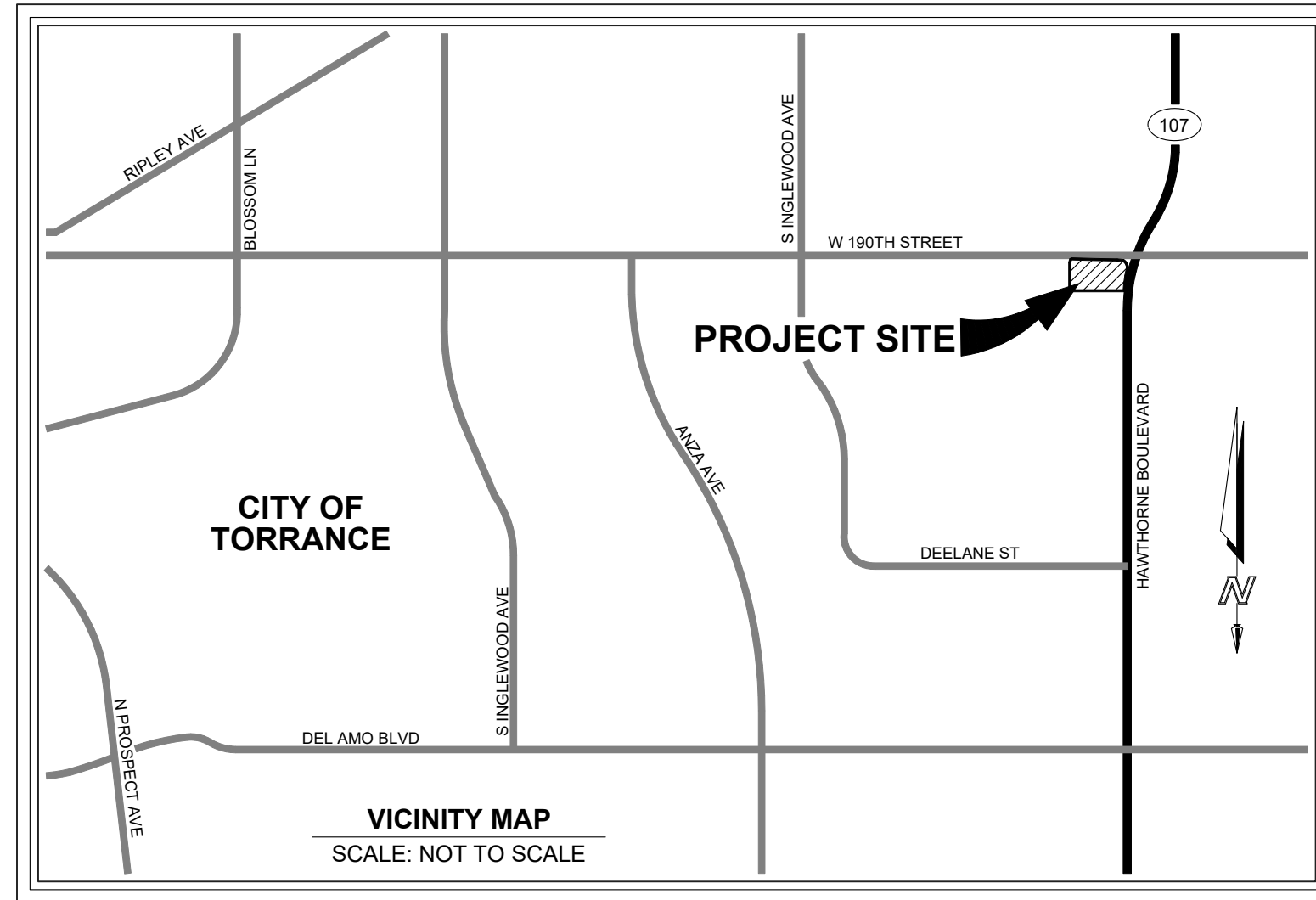
## ELEVATIONS

Scale: 1/8" = 1'  
July 29, 2024

P:23/23870 - McD Torrance, 19009 Hawthorne Blvd  
004-1279(DesignElevations)x23870 - Elevations.dwg  
The plans, ideas, arrangements and designs indicated or represented by this drawing are owned by, and are the property of BICKEL GROUP, and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from BICKEL GROUP © 2017.

# ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.



## LEGAL DESCRIPTION TITLE COMMITMENT ORDER NO: CA2400599C

**SUBJECT PARCEL**  
PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING AND RESERVING ALL WATER, MINERAL, OIL, GAS, HYDROCARBON AND OTHER SIMILAR SUBSTANCES IN AND UNDER THE PROPERTY, THE RIGHT TO REMOVE AND REMOVE ALL SUCH SUBSTANCES FROM THE PROPERTY AND TO DRILL, UNDER OR THROUGH THE PROPERTY BUT WITHOUT THE RIGHT OF ENTRY ON THE SURFACE OF THE PROPERTY OR AT A DEPTH OF LESS THAN TWO HUNDRED (200) FEET BELOW THE PRESENT SURFACE OF THE PROPERTY AS SHOWN ON DEED RECORDED JANUARY 7, 1985 AS INSTRUMENT NO. 11743 OF OFFICIAL RECORDS.

## SCHEDULE B - SECTION II EXCEPTIONS

NOTE: THE INFORMATION SHOWN HEREON IS PER TITLE COMMITMENT ORDER NO. CA2400599C DATED JANUARY 4, 2024 BY CHICAGO TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF COMPLETENESS OR ACCURACY OF SAID TITLE COMMITMENT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

CIRCLED INDEX NUMBERS SHOWN BELOW INDICATE SCHEDULE B ITEMS WHICH BOTH AFFECT THE PROPERTY, AND HAVE SUFFICIENT MATHEMATICAL DATA TO BE SHOWN GRAPHICALLY. THESE ITEMS ARE SHOWN ON SHEETS 2 & 3. ITEMS SHOWN WITHOUT CIRCLES ARE DEEMED TO BE "NOT PLOTTABLE" DUE TO THE LACK OF SUFFICIENT MATHEMATICAL DATA, OR THEY DO NOT DIRECTLY AFFECT THE SUBJECT PROPERTY.

A PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2024-2025. (AFFECTS, NOT A SURVEY MATTER)  
TAX IDENTIFICATION NO.: 7522-001-014

B PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

TAX IDENTIFICATION NO.: 7522-001-014  
FISCAL YEAR: 2023-2024  
1ST INSTALLMENT: \$30,055.78, PAID  
2ND INSTALLMENT: \$30,055.76, OPEN  
PENALTY AND COST: \$3,015.57 (DELINQUENT AFTER APRIL 10)  
HOMEOWNERS EXEMPTION: \$0.00  
CODE AREA: 09340 (AFFECTS, NOT A SURVEY MATTER)

C THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY. (AFFECTS, NOT A SURVEY MATTER)

1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: STATE OF CALIFORNIA  
PURPOSE: HIGHWAY, SLOPE AND DRAINAGE  
RECORDING DATE: JULY 29, 1982  
RECORDING NO.: IN BOOK 39484, PAGE 223, OFFICIAL RECORDS (DOES NOT AFFECT, PLOTTABLE AS SHOWN)  
AFFECTS: THE EASTERLY 5 FEET OF SOUTHERLY 66 FEET OF LOT 67 OF TRACT 19102

3 WAIVER OF ANY CLAIMS FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF THE STREET OR HIGHWAY ADJOINING SAID LAND, AS CONTAINED IN THE DEED TO

COUNTY/CITY/STATE: STATE OF CALIFORNIA  
RECORDING DATE: JULY 29, 1982  
RECORDING NO.: IN BOOK 39484, PAGE 223, OFFICIAL RECORDS (DOES NOT AFFECT, PLOTTABLE AS SHOWN)

4 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY  
PURPOSE: POLE LINES  
RECORDING DATE: FEBRUARY 11, 1954  
RECORDING NO.: AS INSTRUMENT NO. 2478, IN BOOK 43814, PAGE 86, OFFICIAL RECORDS  
AFFECTS: THE WESTERLY 6 FEET AND NORTHERLY 6 FEET OF LOT 67 (AFFECTS, PLOTTABLE AS SHOWN)

5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: DOMINGUEZ WATER CORPORATION  
PURPOSE: WATER LINES, PIPES AND PIPE LINES  
RECORDING DATE: AUGUST 20, 1971  
RECORDING NO.: AS INSTRUMENT NO. 3345, OFFICIAL RECORDS  
AFFECTS: ANY PORTION OR PORTIONS WHICH SHALL HEREAFTER BE OFFERED AND THEREAFTER ACCEPTED BY A PUBLIC BODY FOR PUBLIC USE FOR ROADS

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF THE SAID DOCUMENT, AS THEREIN PROVIDED  
RECORDING DATE: MARCH 17, 1975  
RECORDING NO.: AS INSTRUMENT NO. 3060, OFFICIAL RECORDS (AFFECTS, BLANKET IN NATURE)

6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CONDEMNED BY AN INSTRUMENT.

ENTITLED: ORDER OF CONDEMNATION  
COURT: SUPERIOR  
CAUSE NO.: C16080  
IN FAVOR OF: COUNTY OF LOS ANGELES  
PURPOSE: SLOPES  
RECORDING DATE: AUGUST 20, 1980  
RECORDING NO.: AS INSTRUMENT NO. 80-804134, OFFICIAL RECORDS (AFFECTS, PLOTTABLE AS SHOWN)  
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION  
PURPOSE: PUBLIC UTILITIES  
RECORDING DATE: JUNE 14, 1985  
RECORDING NO.: AS INSTRUMENT NO. 85-891183, OFFICIAL RECORDS  
AFFECTS: A STRIP OF LAND SIX (6) FEET IN WIDTH (AFFECTS, PLOTTABLE AS SHOWN)

8 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: MAINTENANCE OF YARD FOR OPEN SPACE PURPOSES  
DATED: JANUARY 3, 1986  
EXECUTED BY: MCDONALD'S CORPORATION AND PLAZA 190 ASSOCIATES  
RECORDING DATE: JANUARY 30, 1986  
RECORDING NO.: AS INSTRUMENT NO. 86-122081, OFFICIAL RECORDS (AFFECTS, PLOTTABLE AS SHOWN)

9 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: EASEMENT AGREEMENT  
DATED: JANUARY 27, 1986  
EXECUTED BY: MCDONALD'S CORPORATION AND PLAZA 190 ASSOCIATES  
RECORDING DATE: JANUARY 30, 1986  
RECORDING NO.: AS INSTRUMENT NO. 86-122082, OFFICIAL RECORDS (AFFECTS, PLOTTABLE AS SHOWN)

10 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: AGREEMENT  
DATED: JANUARY 27, 1986  
EXECUTED BY: MCDONALD'S CORPORATION AND PLAZA 190 ASSOCIATES  
RECORDING DATE: JANUARY 30, 1986  
RECORDING NO.: AS INSTRUMENT NO. 86-122083, OFFICIAL RECORDS (AFFECTS, NOT A SURVEY MATTER)

11 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: PLAZA 190 ASSOCIATES  
PURPOSE: DRAINAGE  
RECORDING DATE: SEPTEMBER 29, 1986  
RECORDING NO.: AS INSTRUMENT NO. 86-1297800, OFFICIAL RECORDS  
AFFECTS: AS DESCRIBED THEREIN (AFFECTS, PLOTTABLE AS SHOWN)

## SCHEDULE B - SECTION II EXCEPTIONS CONTINUED

12 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: EASEMENT AGREEMENT  
DATED: JUNE 29, 2023  
EXECUTED BY: MCDONALD'S CORPORATION, A DELAWARE CORPORATION AND JAMES G. WELLBAUM, SUCCESSOR TRUSTEE OF THE DAVID POIRY TRUST DATED JUNE 27, 2002  
RECORDING DATE: JUNE 30, 2023 (AFFECTS, PLOTTABLE AS SHOWN)  
RECORDING NO.: AS INSTRUMENT NO. 20230428701, OFFICIAL RECORDS

13 PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

14 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

15 ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

16 MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

17 ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. (AFFECTS, NOT PLOTTABLE FROM AVAILABLE RECORDS)

THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.

THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

## SURVEY NOTES

1 THIS SURVEY WAS PERFORMED ON JANUARY 17, 2024.

2 NO UTILITY PLANS/OR REPORTS WERE PROVIDED BY THE CLIENT. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL LOCATING, SURFACE EVIDENCE AND INFORMATION THAT COULD BE ACQUIRED FROM THE PUBLIC WORKS DEPARTMENT OF THE CITY OF TORRANCE (IF ANY). ATLAS GEOSPATIAL PROVIDES GEOPHYSICAL LOCATING AS A BEST EFFORT SERVICE WITH NO GUARANTEE OF ACCURACY OR COMPLETENESS. THE RESULTS OF GEOPHYSICAL LOCATING MAY BE LIMITED OR AFFECTED BY SITE CONDITIONS, SOIL TYPES AND OTHER BURIED IMPEDIMENTS. DEPTHS PROVIDED HEREON REPRESENT THE RESULTS OF THIS BEST EFFORT SERVICE. GEOPHYSICAL LOCATING DOES NOT REPLACE THE NEED FOR EXCAVATION OR "POTHOLING" TO ASCERTAIN PRECISE DEPTHS AND LOCATIONS OF BURIED UTILITIES.

3 A DILIGENT INQUIRY WAS MADE WITH THE GAS PROVIDER REGARDING THE DEPTHS OF EXISTING NATURAL GAS LINES. NO RECORDS WERE AVAILABLE REGARDING THIS DEPTH.

4 THERE ARE NO SPRINGS, STREAMS, RIVERS, PONDS OR LAKES BORDERING ON OR RUNNING THROUGH THE PROPERTY.

5 THERE WAS NO EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON PROPERTY. HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST ARCHEOLOGICAL REPORTS, OR SUFFICE IN LIEU OF AN ARCHEOLOGICAL REPORT IN THE FUTURE.

6 THERE WAS NO EVIDENCE OF THE PROPERTY USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST SOILS REPORTS OR SUFFICE IN LIEU OF AN SOILS REPORT IN THE FUTURE.

7 NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE OBSERVED OR MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION OR CLIENT. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON (IF ANY).

8 AT THE TIME OF WHICH THE SURVEY WAS PERFORMED THERE WAS NO EARTH MOVING, CONSTRUCTION, OR BUILDING ADDITIONS IN PROCESS.

9 THERE ARE NO ENCROACHMENTS.

10 THIS ALTA SURVEY COMPLIES WITH THE REQUIREMENTS SET FORTH IN THE MCDONALD'S ORDER FORM AND THE MINIMUM STANDARDS.

11 THERE ARE NO GAPS OR GORES BETWEEN THE PROPERTIES LISTED WITHIN THE TITLE REPORT LISTED HEREON.

12 SUBJECT PROPERTY HAS DIRECT ACCESS FROM HAWTHORNE BOULEVARD AND ALLEY. LOCATIONS SHOWN ON SHEET 3

13 THE LANDS SHOWN HEREON ARE THE SAME AS DESCRIBED IN TITLE COMMITMENT ORDER NO. CA2400599C PROVIDED BY CHICAGO TITLE INSURANCE COMPANY.

## BASIS OF BEARING

BEING THE CENTERLINE OF 190TH STREET PER PARCEL MAP NO. 16978, RECORDED IN BK 183, PG 92 OF PARCEL MAPS, HAVING A BEARING OF N89°56'33"E.

## BENCHMARK INFORMATION

THE OFF-SITE BENCHMARK IS BASED ON TORRANCE CITYWIDE DATUM (1960 ADJUSTMENT), BENCHMARK USED IS CITY OF TORRANCE BENCHMARK NO. 523, BEING L.A. CO. WELL MON @ CL INT. OF BURIN AVENUE AND 186TH STREET. ELEVATION= 100.91 FEET.

THE ON-SITE BENCHMARK IS BASED ON TORRANCE CITYWIDE DATUM (1960 ADJUSTMENT), AND IS A SET MAG NAIL AND SHINER LOCATED NORTHEASTERLY OF SUBJECT PARCEL AS SHOWN ON SHEET 3. ELEVATION = 87.81 FEET.

## ZONING & SETBACKS

**SUBJECT PARCEL**  
STREET SETBACK: 12 FEET  
REAR: 0 FEET  
SIDES: 0 FEET  
MAX BUILDING HEIGHT: 45 FEET  
MAX BUILDING COVERAGE: NONE LISTED  
ZONE: H-PR (HAWTHORNE BOULEVARD CORRIDOR SP)

CONTAINS 70 STANDARD PARKING STALLS  
CONTAINS 3 HANDICAP STALLS  
CONTAINS 0 MOTORCYCLE STALLS  
73 TOTAL STALLS

NOTES:  
1 NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT TO THE SURVEYOR. ALL SETBACK INFORMATION WAS PROVIDED BY THE CITY OF TORRANCE PLANNING DEPARTMENT WEBSITE <HTTP://TORRANCECA.GOV>. ANY QUESTIONS OR DISCREPANCIES SHOULD BE DIRECTED TO THE CITY AT PHONE NUMBER 310-618-5930, OR AT THE COUNTER AT 3031 TORRANCE BOULEVARD, TORRANCE CA, 90503. IT IS NOT OUR POLICY TO MAKE CALCULATIONS TO DETERMINE REQUIREMENTS FOR THE SITE, BUT ONLY TO REPORT INFORMATION AS DISCOVERED.

2 NO SUBDIVISION OR RE-PLAT IS REQUIRED TO CONVEY THE SURVEYED PROPERTY.

## FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 06037C1930F PROJECT SITE LIES IN FLOOD ZONE "X".  
FLOOD "X" DESIGNATION IS DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN." PER THE FEMA WEB SITE. MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

## SHEET INDEX

SHEET 1: PROPERTY / TITLE INFORMATION  
SHEET 2: PROPERTY BOUNDARY / PROCEDURE OF SURVEY  
SHEET 3: TOPOGRAPHY

## OWNERS

MCDONALD'S CORPORATION, A DELAWARE CORPORATION

## SURVEYOR'S CERTIFICATE

TO CHICAGO TITLE INSURANCE COMPANY AND MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY; MCDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION; AND MCDONALD'S CORPORATION, A DELAWARE CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2 THROUGH 5, 6 (A)(B), 7 (A)(B)(C), 8, 9, 10, 13 THROUGH 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 17, 2024.

DATE OF PLAT OR MAP: \_\_\_\_\_

FOR LEGAL AND TITLE REVIEW ONLY

Atlas Geospatial - Surveying more by accident than most firms do on purpose, since 2009.  
Surveying • Mapping • Problem Solving  
www.AtlasGeospatial.com  
2191 El Camino Real, Suite 208L  
Oceanside, CA 92054  
Tel: 1-888-364-1973  
Fax: 1-866-827-4937



DATE	BY	REVISIONS

DATE	BY	REVISIONS

**ALTA/NSPS LAND TITLE SURVEY**  
**FOR MCDONALD'S 004-1279**  
**19009 HAWTHORNE BOULEVARD, CITY OF TORRANCE, COUNTY OF LOS ANGELES STATE OF CALIFORNIA**

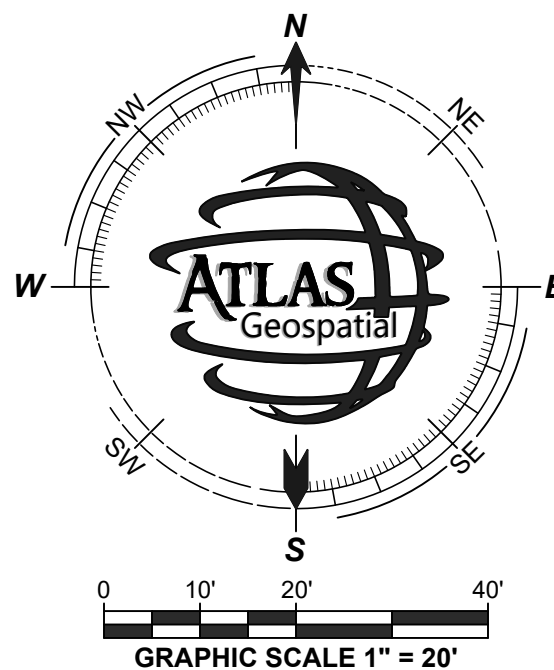
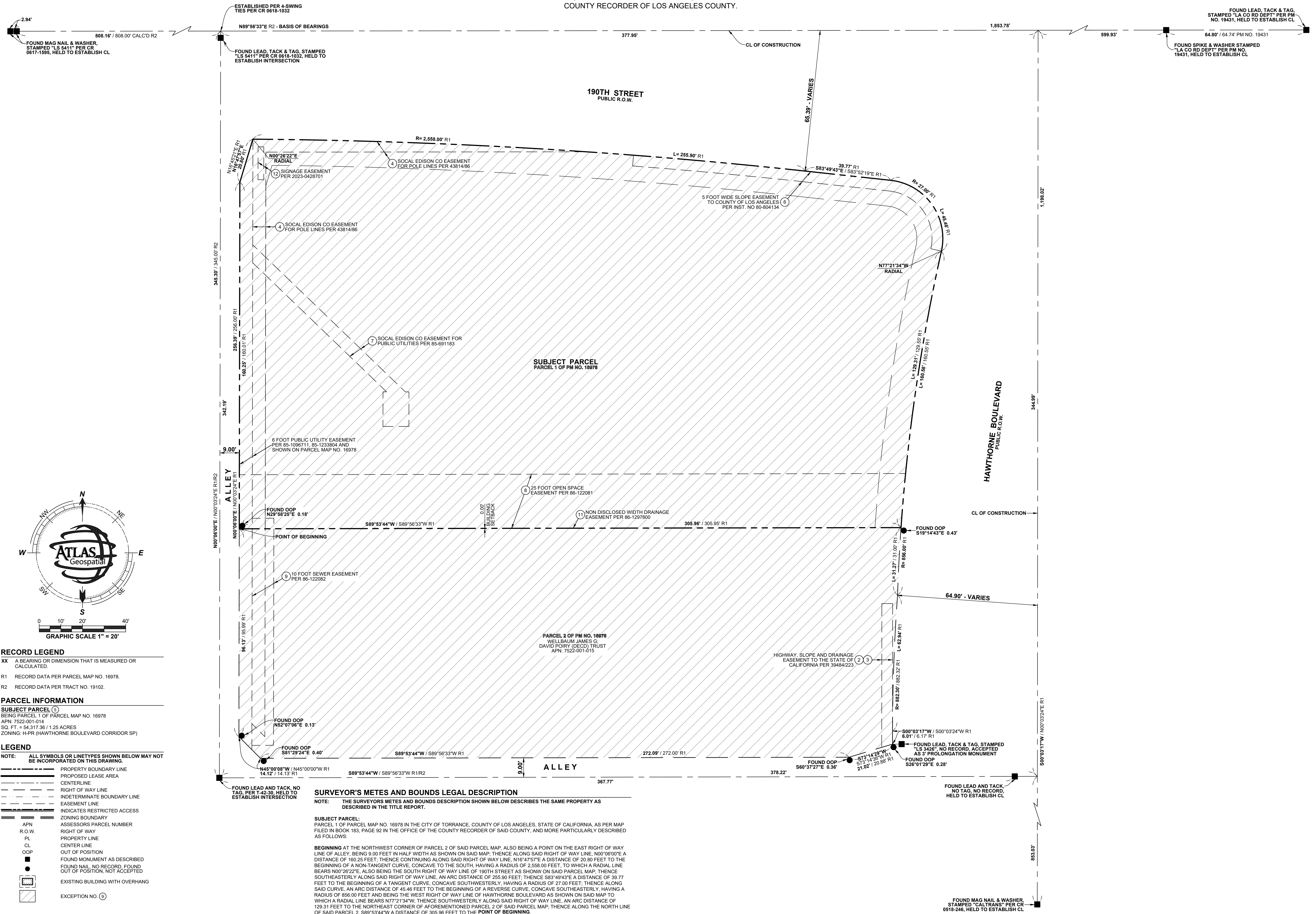
PROJECT NUMBER: 004-1279	DATE: 24-05 TORRANCE HAWTHORNE
DWG NAME: MCD ALTA	DATE: 03.01.2024
PREPARED BY: CD/AM	DATE: 03.01.2024
CHECKED BY: JAA/WWW	DATE: 03.01.2024

REVISION	SHEET
0	1 of 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

# ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.



**RECORD LEGEND**  
 XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.  
 R1 RECORD DATA PER PARCEL MAP NO. 16978.  
 R2 RECORD DATA PER TRACT NO. 19102.

**PARCEL INFORMATION**  
**SUBJECT PARCEL** (C)  
 BEING PARCEL 1 OF PARCEL MAP NO. 16978  
 APN: 7522-001-014  
 SQ. FT. = 54,317.36 / 1.25 ACRES  
 ZONING: HPR (HAWTHORNE BOULEVARD CORRIDOR SP)

**LEGEND**  
 NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

- PROPERTY BOUNDARY LINE
- PROPOSED LEASE AREA
- CENTERLINE
- RIGHT OF WAY LINE
- INDETERMINATE BOUNDARY LINE
- EASEMENT LINE
- INDICATES RESTRICTED ACCESS
- ZONING BOUNDARY
- APN: ASSESSOR'S PARCEL NUMBER
- R.O.W.: RIGHT OF WAY
- PL: PROPERTY LINE
- CL: CENTER LINE
- OOP: OUT OF POSITION
- : FOUND MONUMENT AS DESCRIBED
- : FOUND NAIL, NO RECORD, FOUND OUT OF POSITION, NOT ACCEPTED
- ▭: EXISTING BUILDING WITH OVERHANG
- : EXCEPTION NO. (C)

**SURVEYOR'S METES AND BOUNDS LEGAL DESCRIPTION**  
 NOTE: THE SURVEYOR'S METES AND BOUNDS DESCRIPTION SHOWN BELOW DESCRIBES THE SAME PROPERTY AS DESCRIBED IN THE TITLE REPORT.

**SUBJECT PARCEL:**  
 PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHWEST CORNER OF PARCEL 2 OF SAID PARCEL MAP, ALSO BEING A POINT ON THE EAST RIGHT OF WAY LINE OF ALLEY, BEING 9.00 FEET IN HALF WIDTH AS SHOWN ON SAID MAP, THENCE ALONG SAID RIGHT OF WAY LINE, N00°06'00"E A DISTANCE OF 160.25 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, N16°47'57"E A DISTANCE OF 20.80 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 2,558.00 FEET, TO WHICH A RADIAL LINE BEARS N00°26'22"E, ALSO BEING THE SOUTH RIGHT OF WAY LINE OF 190TH STREET AS SHOWN ON SAID PARCEL MAP; THENCE SOUTHEASTERLY ALONG SAID RIGHT OF WAY LINE, AN ARC DISTANCE OF 255.90 FEET; THENCE S83°49'43"E A DISTANCE OF 39.77 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 27.00 FEET; THENCE ALONG SAID CURVE, AN ARC DISTANCE OF 45.46 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 856.00 FEET AND BEING THE WEST RIGHT OF WAY LINE OF HAWTHORNE BOULEVARD AS SHOWN ON SAID MAP TO WHICH A RADIAL LINE BEARS N77°21'34"W; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY LINE, AN ARC DISTANCE OF 129.31 FEET TO THE NORTHEAST CORNER OF AFOREMENTIONED PARCEL 2 OF SAID PARCEL MAP; THENCE ALONG THE NORTH LINE OF SAID PARCEL 2, S89°53'44"W A DISTANCE OF 305.96 FEET TO THE POINT OF BEGINNING.

Atlas Geospatial - Surveying more by accident than most firms do on purpose, since 2009.  
**Surveying • Mapping • Problem Solving**  
 www.AtlasGeospatial.com  
 2191 El Camino Real, Suite 208L  
 Oceanside, CA 92054  
 Tel: 1-888-364-1973  
 Fax: 1-866-827-4937

DATE	REVISIONS	BY

DATE	REVISIONS	BY

**ALTANSPS LAND TITLE SURVEY**  
**FOR McDONALD'S 004-1279**  
 19009 HAWTHORNE BOULEVARD, CITY OF TORRANCE, COUNTY OF LOS ANGELES STATE OF CALIFORNIA

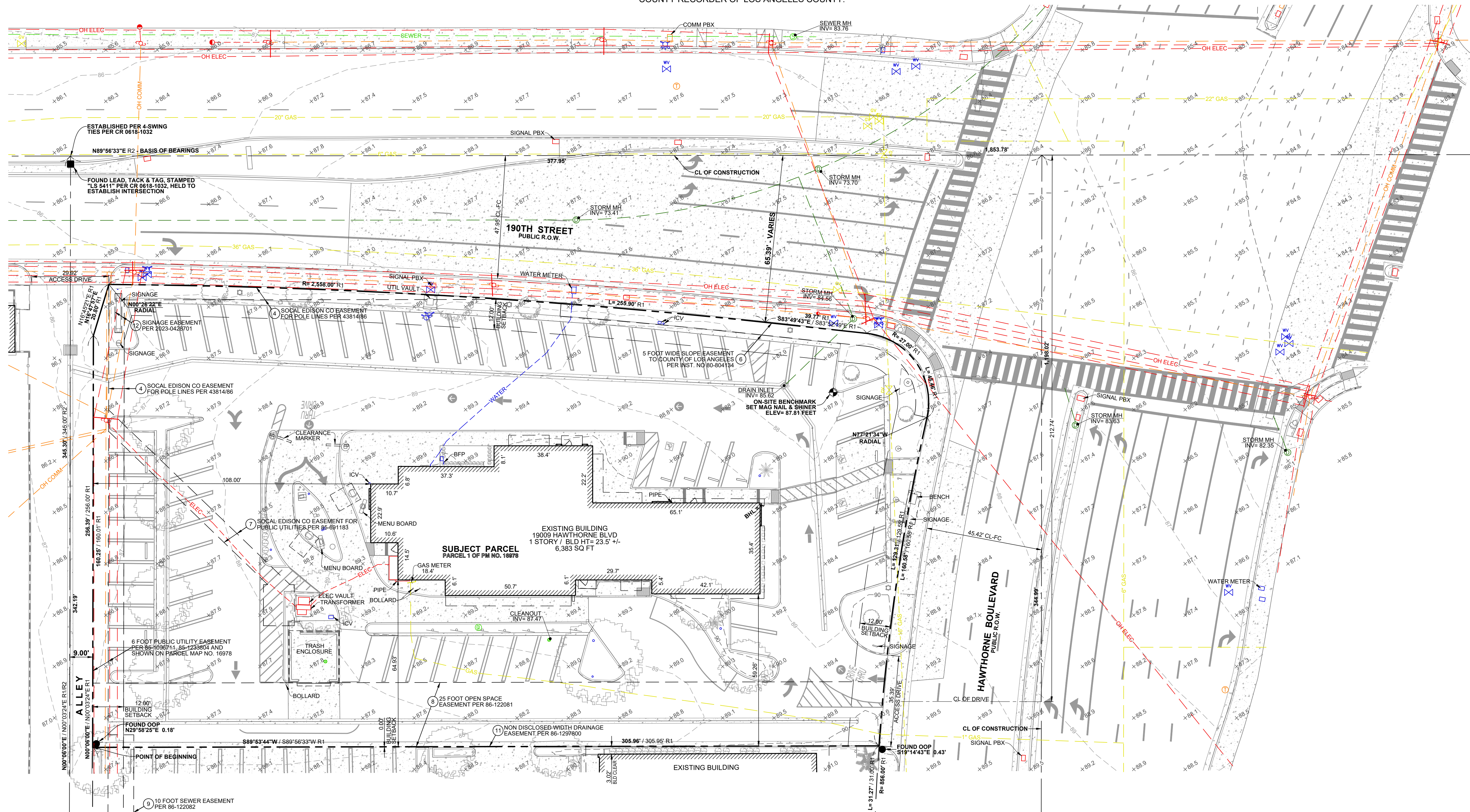
PROJECT NUMBER: 004-1279  
 DWG NAME: 24-005 TORRANCE HAWTHORNE MCD ALTA  
 PREPARED BY: CD/AM DATE: 03.01.2024  
 CHECKED BY: JAA/WWW DATE: 03.01.2024

REVISION	SHEET
0	2 OF 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

# ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1 OF PARCEL MAP NO. 16978 IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 183, PAGE 92 IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.



**LEGEND**

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

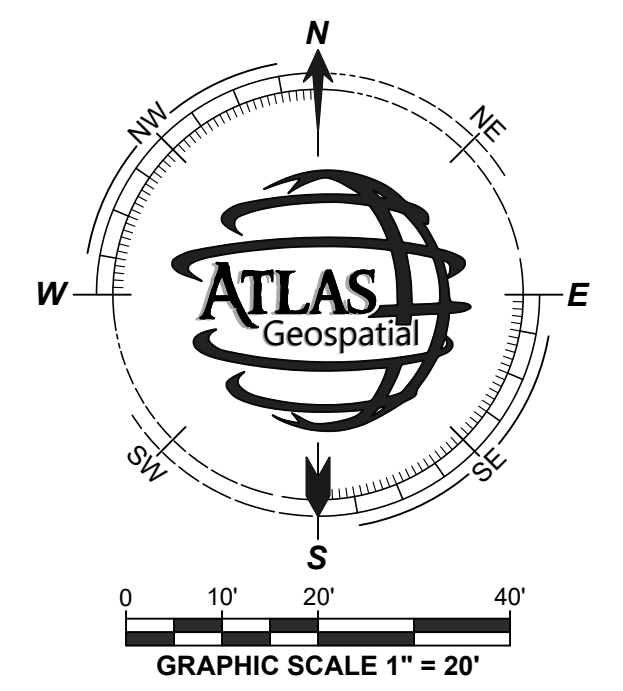
---	PROPERTY BOUNDARY LINE	○	POST INDICATOR VALVE
- - -	PROPOSED LEASE AREA	⊕	BACKFLOW PREVENTOR
---	CENTERLINE	⊖	ELECTRIC
---	RIGHT OF WAY LINE	⊗	COMMUNICATION
---	INDETERMINATE BOUNDARY LINE	⊗	BUILDING HEIGHT LOCATION
---	EASEMENT LINE	⊗	FIRE HYDRANT
---	EXISTING CONTOURS	⊗	LIGHT WITH CONCRETE BASE
---	OVERHEAD ELECTRICAL LINE	⊗	WATER VALVE
---	EXISTING CHAIN LINK FENCE	⊗	GAS VALVE
---	EXISTING WROUGHT IRON FENCE	⊗	STORM DRAIN MANHOLE
---	BLOCK WALL	⊗	SANITARY SEWER MANHOLE
---	INDICATES RESTRICTED ACCESS	⊗	SEWER CLEANOUT
---	ZONING BOUNDARY	⊗	GREASE INTERCEPTOR MANHOLE
---	ASSESSORS PARCEL NUMBER	⊗	COMMUNICATION MANHOLE
---	RIGHT OF WAY	⊗	SPOT ELEVATIONS
---	PROPERTY LINE	⊗	STREET SIGN
---	CENTERLINE	⊗	UTILITY POLE
---	FACE OF CURB	⊗	GUY WIRE
---	WALL	⊗	EXISTING BOLLARD
---	FN	⊗	TRAFFIC SIGNAL/LIGHTPOLE
---	INV	⊗	FOUND MONUMENT AS DESCRIBED
---	ICV	⊗	SET 5/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
---	PULLBOX	⊗	EXISTING BUILDING WITH OVERHANG
---	FDC	⊗	

**RECORD LEGEND**

XX	A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.
R1	RECORD DATA PER PARCEL MAP NO. 16978.
R2	RECORD DATA PER TRACT NO. 19102.

**PARCEL INFORMATION**

**SUBJECT PARCEL** (C)  
 BEING PARCEL 1 OF PARCEL MAP NO. 16978  
 APN: 7522-001-014  
 SQ. FT. = 54,317.36 / 1.25 ACRES  
 ZONING: H-PR (HAWTHORNE BOULEVARD CORRIDOR SP)



Atlas Geospatial - Surveying more by accident than most firms do on purpose, since 2009.

**Surveying • Mapping • Problem Solving**  
 www.AtlasGeospatial.com  
 2191 El Camino Real, Suite 208L  
 Oceanside, CA 92054  
 Tel: 1-888-364-1973  
 Fax: 1-866-827-4937

DATE	
REVISIONS	
BY	

**ALTANSPS LAND TITLE SURVEY**  
**FOR McDONALD'S 004-1279**

19009 HAWTHORNE BOULEVARD, CITY OF TORRANCE, COUNTY OF LOS ANGELES STATE OF CALIFORNIA

PROJECT NUMBER: 004-1279  
 DWG NAME: 24-005 TORRANCE HAWTHORNE MCDALTA  
 PREPARED BY: CD/AM DATE: 03.01.2024  
 CHECKED BY: JAA/WWW DATE: 03.01.2024

REVISION	SHEET
0	3 OF 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

## **AGENDA ITEM NO. 8B**

**DATE:** February 5, 2025

**TO:** Planning Commission

**FROM:** Austin Lujan, Planning Assistant

**SUBJECT:** 432 Via La Selva (APN 7513-008-026)  
Precise Plan of Development (PRE24-00013)

Consideration of a Precise Plan of Development to allow two-story additions to an existing two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via La Selva.

### **RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Planning Commission Resolution No. 25-007 for the approval of a Precise Plan of Development to allow two-story additions to an existing two-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via La Selva, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

### **EXECUTIVE SUMMARY**

The project applicant, Robert Riblett (Amy Tompson), requests approval by the Planning Commission to allow two-story additions to an existing two-story single-family residence on property located within the Hillside Overlay in the R-1 Zone at 432 Via La Selva.

The development standards of the R-1 Zone (Single Family Residential District) as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Precise Plan of Development (PRE) to allow new construction above 14' in height.

Staff has thoroughly reviewed the project and has determined the project is consistent with the Low-Density Residential land use designation and complies with the objective development standards of the R-1 Zone, as well as the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The balance of this report provides an overview of the project.

### **DISCUSSION**

#### **Environmental Determination**

In residential zones, additions to a single-family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

#### **General Plan Land Use Designation**

The site has a General Plan Land Use Designation of Low-Density Residential. Development in the Low-Density Residential land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The proposed one and two-story additions to an existing single-family residence are consistent with the land use designation.

## **Zoning Designation and Adjacent Land Uses**

The project site is designated as R-1 Zone (Single Family Residential District) and bounded by four parcels that share the same zoning designation and Hillside Overlay and are developed with similar land uses to the north, south, east and west.

NORTH: R-1 Hillside Overlay, One-Story and Two-Story Single-Family Residences  
EAST: R-1 Hillside Overlay, One-Story and Two-Story Single-Family Residence  
SOUTH: R-1 Hillside Overlay, One-Story and Two-Story Single-Family Residences  
WEST: R-1 Hillside Overlay, One-Story and Two-Story Single-Family Residence

## **Project Site**

The subject property is situated on a rectangular shaped lot measuring 6,875 square feet. The property is orientated north and is midpoint along Via La Selva between Via Monte D'Oro and Calle Miramar. The subject property is currently developed with a two-story, single-family residence with an attached two-car garage, originally constructed in 1954. Properties along the southside of the subject site sit at a significantly higher elevation. Additionally, the properties on the north side of Via La Selva sit lower than those along the south side of Via La Selva. The site has a significant elevation drop from the rear of the property to the front.

## **Building Floor Plan**

Building Permit records show that the original 1952 residence provided 2,360 square feet, consisting of a lower level and a main level. The proposed 406 square foot additions to the existing two-story single family residence result in a new floor area of 2,766 square feet. The proposed changes to the main level include an addition of two new balconies. A 55 square foot balcony is proposed towards the north east corner of the residence and a 44 square foot balcony on the north side of the residence, connected to the existing living room. On the southwest corner of the main level, an additional 308 square feet is proposed including a new 145 square foot bedroom on the southwest corner of the residence, a bathroom along the western side of the residence, a 145 square foot bedroom along the western side of the residence and a new bathroom along the southern side of the house. Two new closets and a new laundry room will be located towards the center of the main residence. A new hallway will be expanded from the new French doors along the southern side of the residence towards the center of the home and a new 37 square foot entry will be added on the northern side of the residence. This also includes a second set of French doors on the southeast side of the residence, new steps leading up to a new front porch along the northern side of the residence and new windows along the west, south, and east sides of the main residence.

## **Building Setbacks and Site Improvements**

The residence is situated towards the center of the parcel. The proposed changes are within the existing setback requirements. The front yard setback for an R-1 property is 20' or a 20' average to allow some portions to be as close as 15'. The existing residence provides 16'-1" front yard setback. Additionally, the Code requires a side yard setback of 6.35 based on the lot width for this site. The residence provides a new interior side yard setbacks of 6'-8" on the west side and keeps the existing 12'-8" side yard setback on the east side which is within the required side yard setback requirements. Staff also notes that the residence meets the rear yard setback requirement of 15' minimum for a two-story residence and provides a 29'-1" rear yard setback.

## **Building Height**

The existing height of the two-story single family residence measures at 23'-2", while the proposed two-story single family residence measures at 23'-6" in height as measured from the lowest adjacent grade (LAG). Staff notes for properties located within the Hillside Overlay, new construction is allowed to exceed 14' in height with approval by the Planning Commission.

**Lot Coverage and Open Space**

The proposed additions result in a Floor Area Ratio (FAR) of 0.41 which is lower than the Code maximum of 0.60 for the R-1 Zone. Staff notes that an FAR of up to 0.60 can be constructed for properties in the Hillside Overlay with approval by the Planning Commission. The Lot Coverage is shown as 33% and is lower than the Code maximum of 40% for two-stories for the R-1 Zone. Approximately 4,622 square feet of open space has been provided, which equates to more than half of the lot, and exceeds the Code minimum of one third of the lot.

Provided below is a summary of the proposed residence:

<b>Project Summary</b>		
Lot Area		6,580 sf
Proposed Building Height		23.5 ft
Maximum Two-Story Building Height Limit		27 ft
Existing Floor Area (Including Garage)	34%	2,360 sf
Proposed Floor Area (Including Garage)	41%	2,668 sf
Proposed Lot Coverage	33%	2,159 sf
Maximum Lot Coverage Limit	40%	2,632 sf
Proposed Open Space Area	70%	4,622 sf
Minimum Open Space Requirement	33%	2,292 sf

**Building Architecture**

The residence demonstrates appeal through modulation of building masses, elevations, and rooflines to promote visual interest. Exterior finishes are of high quality that complement the neighboring properties in the vicinity, as the design features a traditional style with stucco applied over the plywood sheathing, wood frame clad windows, and a hip roof.

**Hillside Overlay**

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed additions to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 5). Additionally, staff conducted a site visit and left business cards for the neighboring properties at 425 and 427 Paseo De Las Estrellas, and 428, 437, 500, 501 Via La Selva.

Correspondence was received from the neighboring property to the south at 427 Paseo De Las Estrellas voicing concerns regarding an ocean view (Attachment 7). Staff conducted a site visit and determined that the proposed addition would not have any substantial impact to any potential view. However, the neighbor stated that if the trees located on the south side of 432 Via La Selva were cut, then it would be more than enough to compensate for the view. As of January 27<sup>th</sup>, 2025, the trees have been cut and the neighbors have stated that they no longer have objection to the project.

In the judgement of staff, there are no substantial adverse impacts to the view, light, air, and privacy with the proposed addition to the residence.

Staff has not received additional correspondence as of the preparation of this report.

## **CONCLUSION**

In the judgement of staff, the proposed two-story residence conforms to the planning and design provisions of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. The project, as conditioned, has been designed to minimize potential impacts to neighboring properties by placing the proposed additions strategically to decrease potential impacts to neighboring properties. The project is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request also complies with all other objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation. Staff recommends approval of the project, as conditioned.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 6). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the Torrance Municipal Code, notices of the public hearing were mailed no less than 20 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on *January 16, 2025*, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution No. 25-007
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Code Requirements
6. Correspondence
7. Project Plans

## **STAFF CONTACT**

Austin Lujan, Planning Assistant  
Alujan@torranceca.gov

**ITEM 8B**  
ATTACHMENT 1  
RESOLUTION NO 25-007

**PLANNING COMMISSION RESOLUTION NO. 25-007**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW TWO-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 432 VIA LA SELVA.

**PRE24-00013: ROBERT RIBLETT (AMY THOMSON)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on February 5, 2025, to consider an application for a Precise Plan of Development filed by Robert Riblett (Amy Thomson) to allow two-story additions to an existing two-story single family residence, on property located within the Hillside Overlay in the R-1 Zone 432 Via La Selva; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 432 Via La Selva (APN 7513-008-026);
- b) That the property is described as Lot 28 BLK C of Tract 10304 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in residential zones, additions as well as minor alterations to a single-family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15301 (Existing Facilities);
- d) That the proposed residence, as conditioned, complies with the objective development standards of the R-1 Zone and is consistent with the Low Density Residential designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed residence, as conditioned, will not have a substantial adverse impact upon the view, light, air, and privacy of other properties in the vicinity because the two-story residence has been designed below the maximum building height and the allowable Floor Area Ratio;
- f) That the proposed residence, as conditioned, has been located, planned and designed so as to cause the least intrusion on the view, light, air, and privacy of other properties in the vicinity because the project exceeds open space requirements and is below the maximum allowable lot coverage and floor area ratio;
- g) That the design of the proposed residence, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest and the proposed exterior design elements are in keeping with the architecture and finishes of neighboring properties;
- h) That the design of the proposed residence, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the proposed residence will be constructed of high-quality materials that will enhance the existing property;

- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a single-family residence is an appropriate use for this property and the proposed residence, as conditioned, has been designed so as to limit potential adverse impacts to view, light, air, and privacy;
- j) That the proposed residence, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the remodeled residence conforms to the Low-Density Residential Designation of the Land Use Element of the General Plan of the City of Torrance and the residence has been designed to limit potential adverse impacts to view, light, air, and privacy;
- k) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height because the applicant proposes to retain as much open space as possible;
- l) That denial of such an application would result in unreasonable hardship to the applicant as the proposed residence meets or exceeds most of the development standards, has been designed to minimize view, light, air, and privacy impacts to neighboring properties, and is in harmony with existing development throughout the neighborhood; and
- m) That granting the application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because the proposed one and two-story additions to an existing one-story single-family residence comply with applicable development standards including lot coverage, open space, and floor area ratio requirements.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** PRE24-00013, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that PRE24-00013 filed by Robert Riblett (Amy Thomson) to allow two-story additions to an existing two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via La Selva, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 24-00013 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Precise Plan of Development is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;

3. That the maximum height of the residence at the highest point of the roof shall not exceed 227.85' based on the proposed lowest adjacent grade of 204.39' located at the front of the residence, based on a benchmark elevation of 204.57' located at the northeast corner of the property on the public right of way as shown on the official survey map on file in the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing of roof-sheathing inspection who verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
4. That a copy of the Planning Commission Resolution shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
6. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
7. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, and adopted this 5th day of February 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of February 2025, by the following roll call vote:

AYES: COMMISSIONERS:

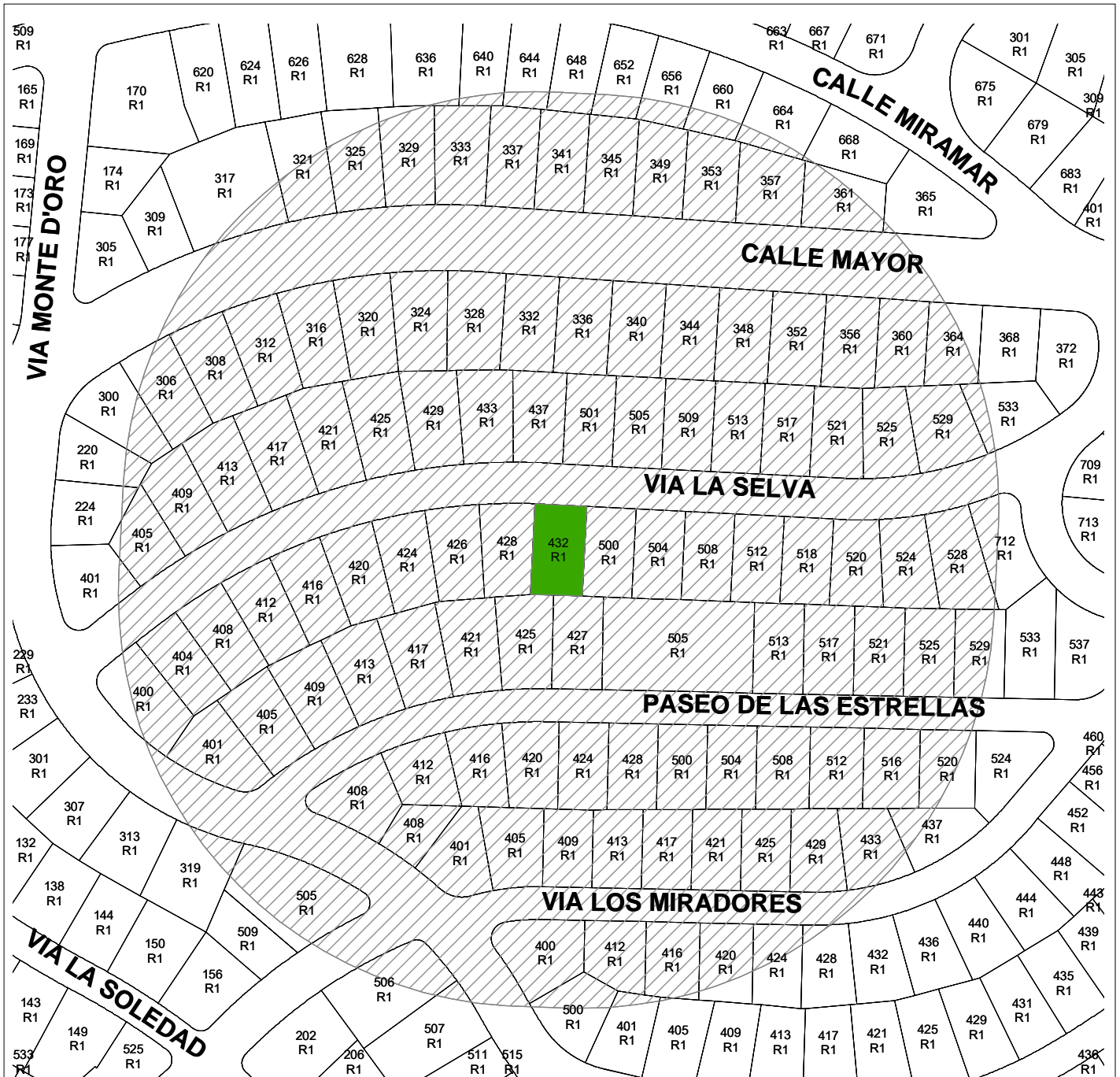
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**ITEM 8B**  
ATTACHMENT 2  
LOCATION AND ZONING MAP





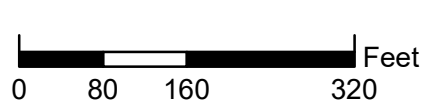
## LOCATION AND ZONING MAP

PRE24-00013  
432 Via la Selva



## LEGEND

-  Notification Area
-  432 Via la Selva



**ITEM 8B**  
ATTACHMENT 3  
HILLSIDE OVERLAY SUBSTANTIATION



## Hillside Overlay Substantiation Form

---

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

### 1. PLANNING AND DESIGN (SECTION 91.41.6)

- a) **The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:**

The existing building is classified as two stories due to the lower-level garage with living area being located above. The proposed addition creates a minimal increase in height (+4"), the surrounding topography is similar in that properties slope upwards from the street level to the rear. There does not appear to be any view obstruction to the immediate adjacent properties, privacy has been considered with the placement of high windows in the addition.

- b) **The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:**

New work has been designed to align with existing hip roof with a nominal 4" increase in height, sight-lines when viewed from distant properties is insignificant. We are maintaining the existing open space and sight lines to the adjacent southerly rear yard, being that the south adjacent properties are staggered the south property nearest to the addition does not current have any view in our direction. Adjacent neighbor to the east is not impacted by the addition, neighbor to the west is closest to addition, high windows are being employed to minimize visual intrusion.

- c) **The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:**

This is a modest addition that seamlessly blends in with the existing structure and the varying architecture that exists within the neighborhood, this is a high-quality project with a high level of detailing and materials

**d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:**

The addition blends in with the existing architectural context, the neighborhood is in a transitional state with many, many homes being expanded and/or remodeled. The property values in the neighborhood are increasing as a result and this project should be a benefit to all property owners

**e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:**

Granting this application will not be materially detrimental to the public welfare and to other properties in the vicinity because we are proposing to create a home that sits in well within the context of the surrounding properties and meets the city's intent for development within the Hillside Overlay District

**f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:**

Again, the proposal is very consistent with the surrounding properties and would only add to the value of other properties in the area

## **2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)**

This section must be completed if any part of the existing building would increase in height.

**a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:**

Expanding the footprint requires that the roof expands as well, the existing ridge is 23'-2" as measured from the lowest adjacent grade at the garage level, the expansion increases the height by a modest 4" to 23'-6", at the back side of the building these heights to adjacent ground level are much less due to topography difference; 14'-0" existing, 14'-4" proposed

**b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):**

Denial of this application would constitute an unreasonable hardship as a cohesive and aesthetically pleasing re-design would not be possible without modifying some of the existing rooflines.

**c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):**

Granting this application would not be materially detrimental to the public welfare and to other properties in the vicinity as all new work fully complies with current zoning requirements and is very complimentary to the neighborhood in general

**3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)**

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

**a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):**

N/A

**b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):**

N/A

**ITEM 8B**  
**ATTACHMENT 4**  
**SILHOUETTE CERTIFICATION**



City of Torrance, Community Development Department, Planning Division  
 3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

# Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 432 VIA LA SELVA ( 4513-008-026 )  
STREET ADDRESS ASSESSOR PARCEL NUMBER

on AUGUST 19, 2024, based on the project plans submitted to the City of Torrance  
DATE OF SURVEY

by ROBERT RIBLETT on \_\_\_\_\_  
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at NORTH WEST L&T RCE 11284  
LOCATION OF BENCHMARK

which established a base elevation of 201.85'  
BASE ELEVATION

The highest point of the silhouette was determined to have an elevation of 228.02'  
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 227.85'  
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 204.39'  
EXISTING LOWEST ADJACENT GRADE

The project plans indicate the lowest adjacent grade should have an elevation of 204.39'  
PROPOSED LOWEST ADJACENT GRADE

*I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.*

*Gary J. Roehl*  
SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

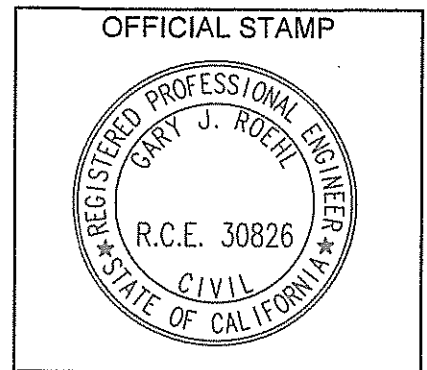
\_\_\_\_\_  
DATE OF SIGNATURE

GARY J. ROEHL  
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

R.C.E. 30826  
LICENSE NUMBER

OFFICE@DENN.COM  
EMAIL ADDRESS

310-542-9433  
TELEPHONE NUMBER



FOR STAFF USE ONLY – DO NOT COMPLETE BELOW		
PLANNING RECORD NUMBER(S) <u>PRE24-00013</u>		DATE STAMP RECEIVED <b>RECEIVED</b> <u>1/30/25</u> CITY OF TORRANCE COMMUNITY DEVELOPMENT DEPT
REVIEW COMPLETED BY <u>A. Luiza</u>	REVIEW COMPLETED DATE <u>1/30/25</u>	
STAFF DETERMINATION <input type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION		

**ITEM 8B**  
ATTACHMENT 5  
CODE REQUIREMENTS

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### **ENGINEERING**

1. Install a street tree in the city parkway every 50' for the width of this lot on Via La Selva (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.

### **WATER**

2. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

### **BUILDING AND SAFETY**

3. Comply with 2022 California Building Codes.

**ITEM 8B**  
ATTACHMENT 6  
CORRESPONDENCE

Dear Mr. Lujan,

Thank you for coming to visit me yesterday.  
The project of 432 Via La Selva will block my ocean view. If part of  
the trees are cut, it will be more than enough to compensate the  
blocked ocean view.

Thanks,  
Rouh Tyan Bow



<DSC03447.jpeg>

<IMG\_8490.jpeg>

若田

This email, and any attachments to it, may contain confidential information and is intended for the sole use of the intended recipient(s). If you are not the intended recipient, or believe that you may have received this email in error, please notify the sender and delete this email and any attachments. Any review, reliance, disclosure, copying, storing, distribution, forwarding without express permission, or use of the contents of the information received in error is strictly prohibited.

---

**From:** Rouh Bow [REDACTED]  
**Sent:** Tuesday, January 14, 2025 3:23 PM  
**To:** Lujan, Austin <ALujan@TorranceCA.Gov>  
**Subject:** Re: Project of 432 Via La Selva

Hi, Mr. Lujan,

I am available every day except Tuesday and Friday morning. I am also unavailable the coming Monday from 10:00AM.

Best Regards,

RT Bow

On Jan 14, 2025, at 10:14 AM, Lujan, Austin <ALujan@torranceca.gov> wrote:

Good Morning,

I was hoping to schedule a site visit to observe the potential view impact. Please let me know what days you are available.

Sincerely,

**AUSTIN LUJAN**

Planning Assistant - Community Development Department  
310-781-7670 | ALujan@TorranceCA.Gov

<C2\_signature\_website\_5b2f3ab7-82dc-4709-bbf5-7d285e095f0b.png>  
[TorranceCA.Gov](#) |

<C2\_signature\_facebook\_379883d0-ff3f-4e84-abf5-34b3718bb55a.png>  
[Facebook](#) |

<C2\_signature\_x\_60d47726-b068-4ec5-8b4b-40cf841323ca.png>  
[X \(Formerly Twitter\)](#) |

<C2\_signature\_instagram\_e73afeac-0b38-46dc-a7e3-6c045b7269f3.png>  
[Instagram](#)

This email, and any attachments to it, may contain confidential information and is intended for the sole use of the intended recipient(s). If you are not the intended recipient, or believe that you may have received this email in error, please notify the sender and delete this email and any attachments. Any review, reliance, disclosure, copying, storing, distribution, forwarding without express permission, or use of the contents of the information received in error is strictly prohibited.

---

**From:** Rouh Bow [REDACTED]  
**Sent:** Wednesday, October 23, 2024 10:26 AM  
**To:** Lujan, Austin <ALujan@TorranceCA.Gov>  
**Subject:** Project of 432 Via La Selva

On Jan 14, 2025, at 5:06 PM, Lujan, Austin <ALujan@TorranceCA.Gov> wrote:

Sounds good. I will see you at around 12PM tomorrow.

Sincerely,

**AUSTIN LUJAN**

Planning Assistant - Community Development Department  
310-781-7670 | [ALujan@TorranceCA.Gov](mailto:ALujan@TorranceCA.Gov)

---

<C2\_signature\_website\_5b2f3ab7-82dc-4709-bbf5-7d285e095f0b.png> [TorranceCA.Gov](http://TorranceCA.Gov) | <C2\_signature\_facebook\_379883d0-ff3f-4e84-abf5-34b3718bb55a.png> [Facebook](https://www.facebook.com/) | <C2\_signature\_x\_60d47726-b068-4ec5-8b4b-40cf841323ca.png> [X \(Formerly Twitter\)](https://www.x.com/) | <C2\_signature\_instagram\_e73afeac-0b38-46dc-a7e3-6c045b7269f3.png> [Instagram](https://www.instagram.com/)

This email, and any attachments to it, may contain confidential information and is intended for the sole use of the intended recipient(s). If you are not the intended recipient, or believe that you may have received this email in error, please notify the sender and delete this email and any attachments. Any review, reliance, disclosure, copying, storing, distribution, forwarding without express permission, or use of the contents of the information received in error is strictly prohibited.

---

**From:** Rouh Bow [REDACTED]  
**Sent:** Tuesday, January 14, 2025 4:59 PM  
**To:** Lujan, Austin <ALujan@TorranceCA.Gov>  
**Subject:** Re: Project of 432 Via La Selva

Yes,

Best Wishes,

RT Bow

On Jan 14, 2025, at 3:38 PM, Lujan, Austin <ALujan@torranceca.gov> wrote:

Good Afternoon,

Would tomorrow at 12PM work?

Sincerely,

**AUSTIN LUJAN**

Planning Assistant - Community Development Department  
310-781-7670 | [ALujan@TorranceCA.Gov](mailto:ALujan@TorranceCA.Gov)

---

<C2\_signature\_website\_5b2f3ab7-82dc-4709-bbf5-7d285e095f0b.png>  
[TorranceCA.Gov](http://TorranceCA.Gov) |  
<C2\_signature\_facebook\_379883d0-ff3f-4e84-abf5-34b3718bb55a.png>  
[Facebook](https://www.facebook.com/) |  
<C2\_signature\_x\_60d47726-b068-4ec5-8b4b-40cf841323ca.png>  
[X \(Formerly Twitter\)](https://www.x.com/) |  
<C2\_signature\_instagram\_e73afeac-0b38-46dc-a7e3-6c045b7269f3.png>  
[Instagram](https://www.instagram.com/)



## Lujan, Austin

---

**From:** Rouh Bow [REDACTED]  
**Sent:** Monday, January 27, 2025 4:40 PM  
**To:** Lujan, Austin  
**Subject:** Re: Project of 432 Via La Selva

Dear Mr. Lujan,

Since the trees have been cut. I have no objection to the project.

Best Wishes,

RT Bow

**ITEM 8B**  
ATTACHMENT 7  
PROJECT PLANS

**RESIDENTIAL ADDITION + REMODEL FOR:**

Amy Thomson  
432 Via La Selva  
Redondo Beach, CA 90277  
(310) 920-8139

**LEGAL DESCRIPTION:**

Lot 28, Block C, Tract No. 10304  
M.B.: 160-37-41  
A.P.N.: 7513-008-026

**ZONING:**

R-1 Hillside Overlay District

**OCCUPANCY + TYPE OF CONSTRUCTION:**

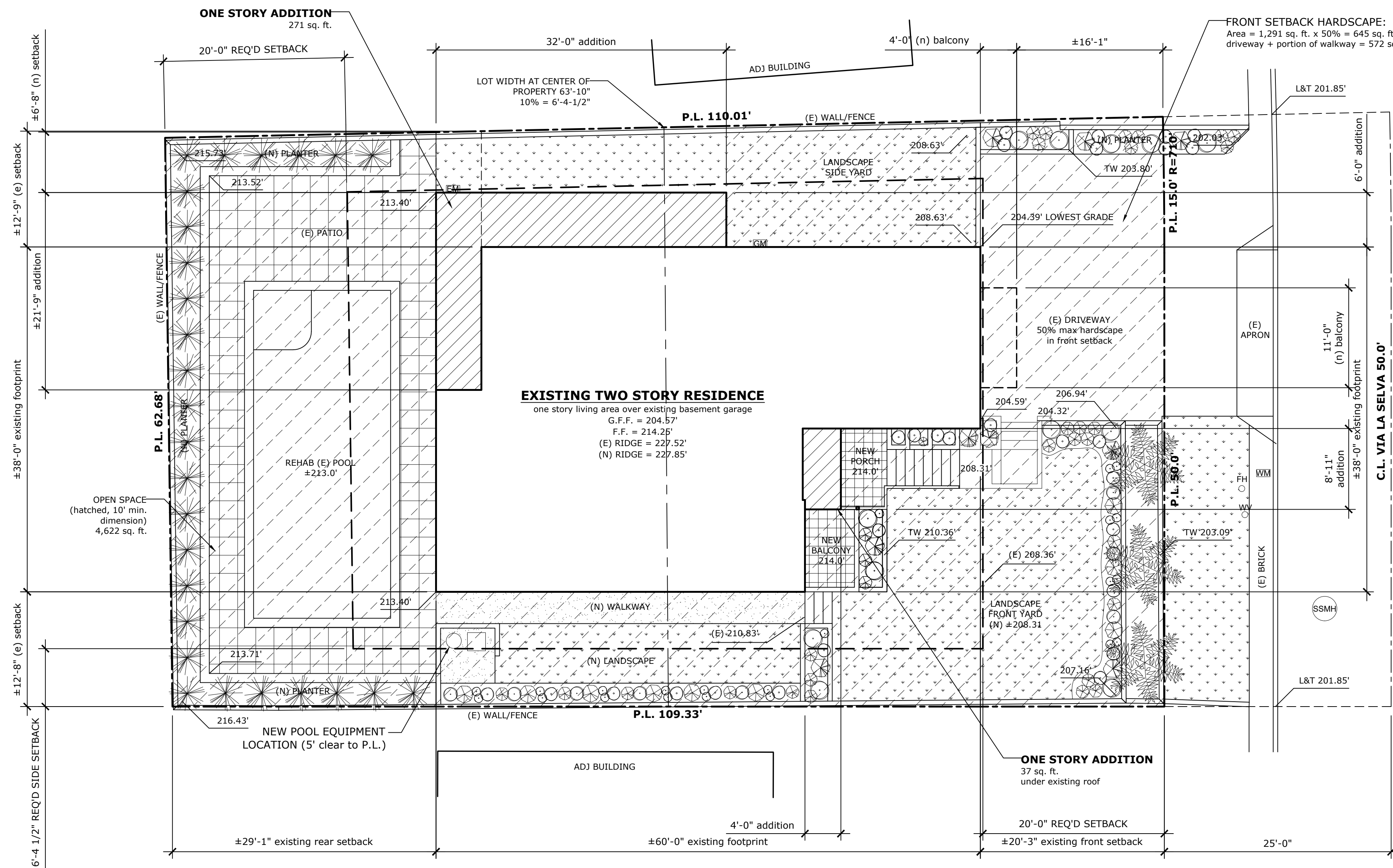
R-3/U; Type V-B 2 story residence with attached 2 car garage

**SCOPE OF WORK:**

One story addition and interior remodeling;  
entry addition (under existing roof) 37 sq. ft.  
bedroom and bath addition 271 sq. ft.

**2 STORY ZONING REQUIREMENTS:**

Front Setback: 20' average/15' min  
Rear Setback: 20' average/15' min  
Side Setback 10% of lot width = 6'-4-1/2"  
Lot Area (irregular) = 6,580 sq. ft. (per assessor)  
Max F.A.R. = 3,948 sq. ft.  
40% Max Lot Coverage = 2,632 sq. ft.  
Open Space 1/3 lot area = 2,193 sq. ft.  
Parking: 2 car enclosed 18'x20' clear dimensions  
Height Limit: 27' (14' Hillside Overlay)



**SITE PLAN**

1/8" = 1'-0"

**EXISTING FLOOR AREAS:**

LIVING AREA	1,851 sq. ft.
BASEMENT GARAGE	381 sq. ft.
BASEMENT UTILITY/STORAGE	128 sq. ft.
TOTAL FLOOR AREA	2,360 sq. ft.

**ADDITIONS:**

LIVING AREA ADDED	308 sq. ft.
NEW DECKS	98 sq. ft.

**PROPOSED FLOOR AREAS:**

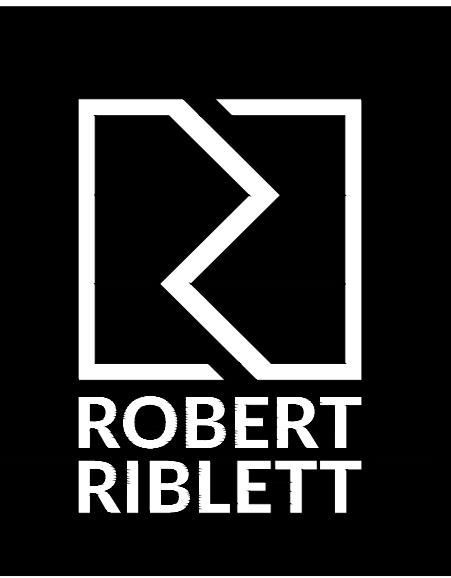
LIVING AREA	2,159 sq. ft.
BASEMENT GARAGE (no change)	381 sq. ft.
BASEMENT UTILITY/STORAGE (no change)	128 sq. ft.
TOTAL FLOOR AREA	2,668 sq. ft.

**LOT AREA/FLOOR AREA RATIO:**

LOT AREA (per assessor)	6,580 sq. ft.
.6 MAX F.A.R.	3,948 sq. ft.
EXISTING COVERAGE	1,851 sq. ft./26%
EXISTING F.A.R.	2,360 sq. ft./34%
PROPOSED COVERAGE	2,159 sq. ft./33%
PROPOSED F.A.R.	2,668 sq. ft./41%

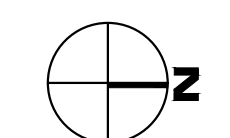
**OPEN SPACE:**

REQUIRED 1/3 LOT AREA	2,193 sq. ft.
OPEN SPACE PROVIDED	4,622 sq. ft.



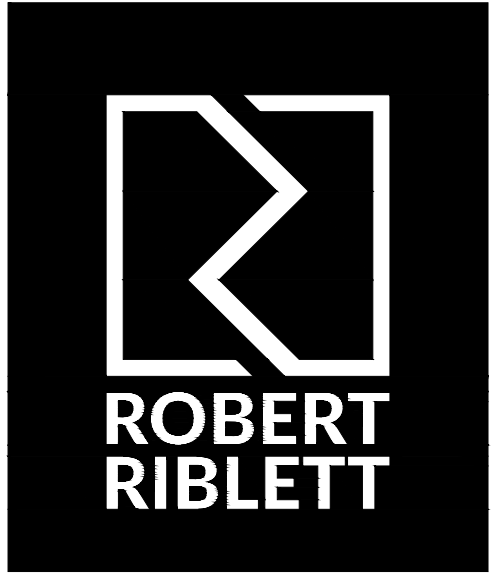
ARCHITECT  
robert@robertriblett.com  
(310) 850-8567  
www.robertriblett.com

**THOMSON RESIDENCE**  
432 Via La Selva, Redondo Beach



A-1

8.14.2024

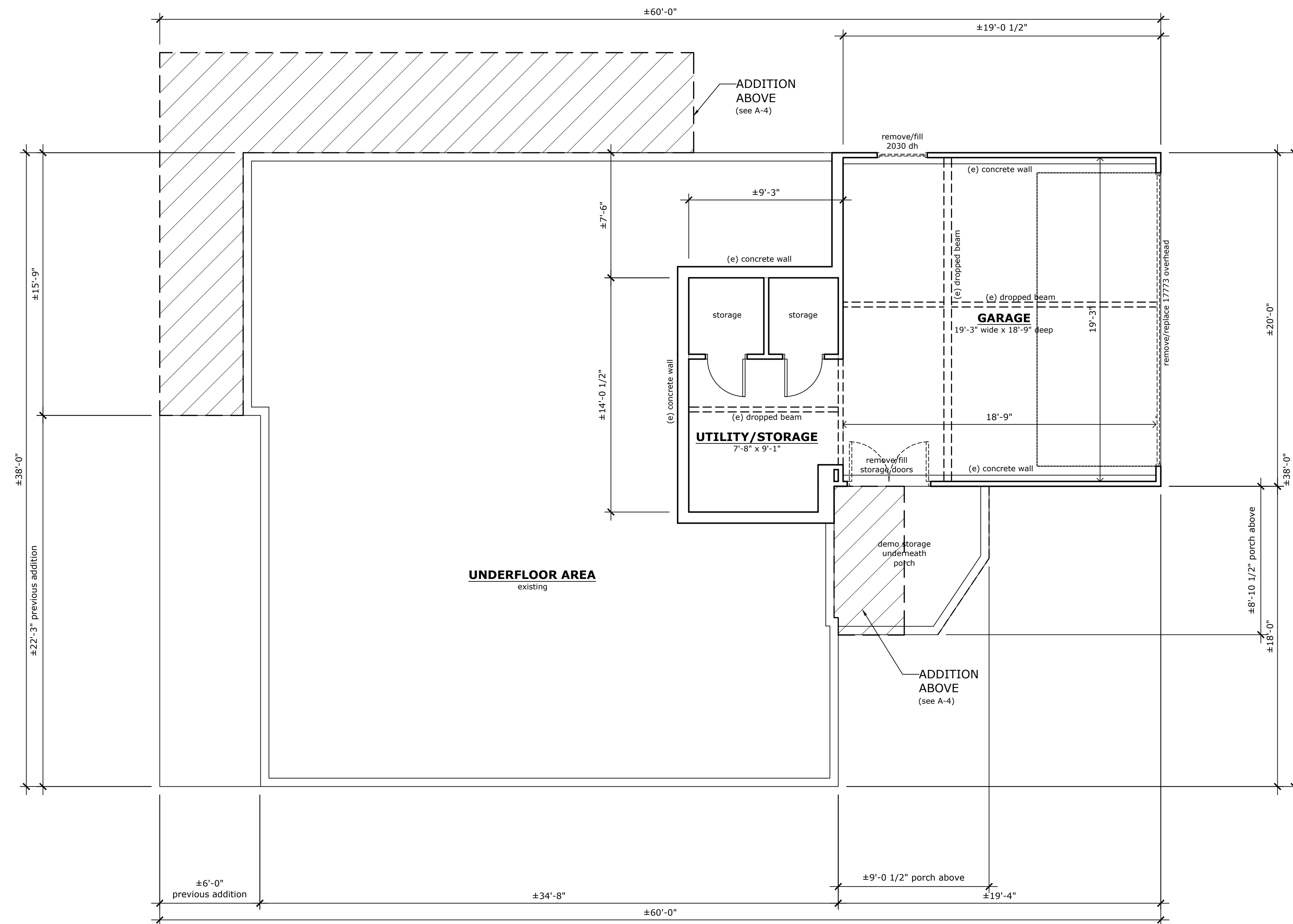


ARCHITECT

robert@robertriblett.com

(310) 850-8567

www.robertriblett.com



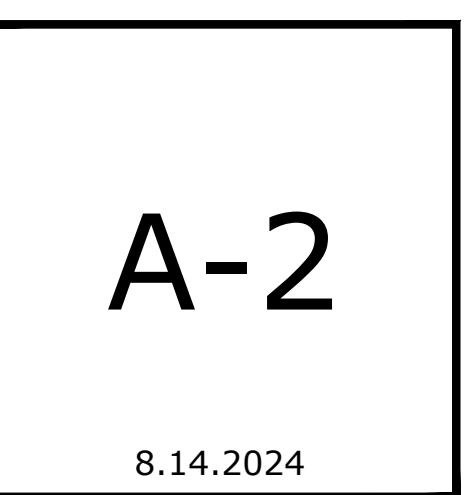
**LOWER LEVEL DEMO PLAN**

1/4" = 1'-0"

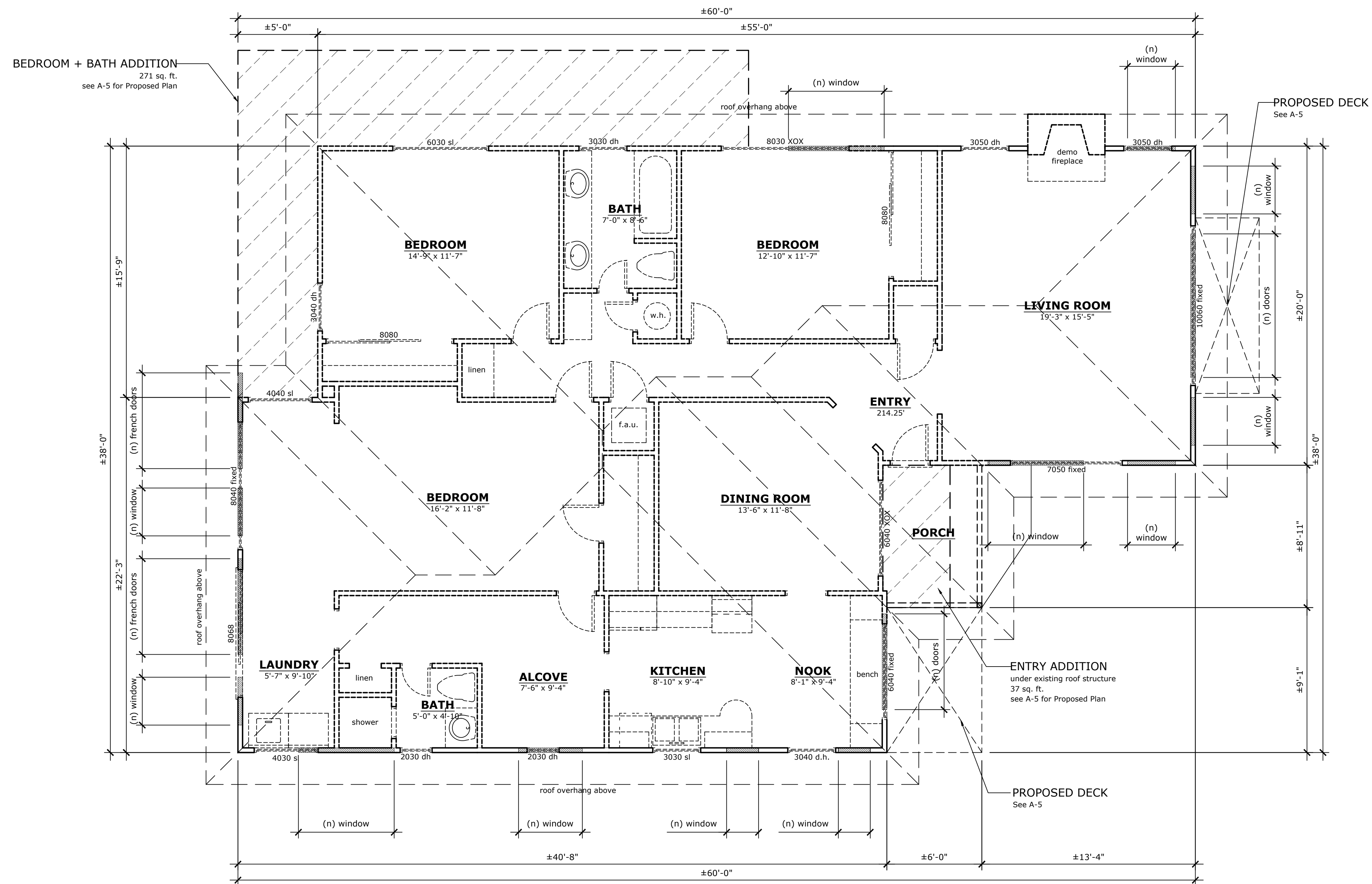
GARAGE	381 sq. ft.
UTILITY/STORAGE	128 sq. ft.
TOTAL	509 sq. ft.



LOWER LEVEL DEMO PLAN



**THOMSON RESIDENCE**  
432 Via La Selva, Redondo Beach

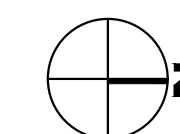


**MAIN LEVEL DEMO PLAN**

1/4" = 1'-0"

LIVING AREA 1,851 sq. ft.

**WALL LEGEND:**  
 existing ———  
 remove - - - - -

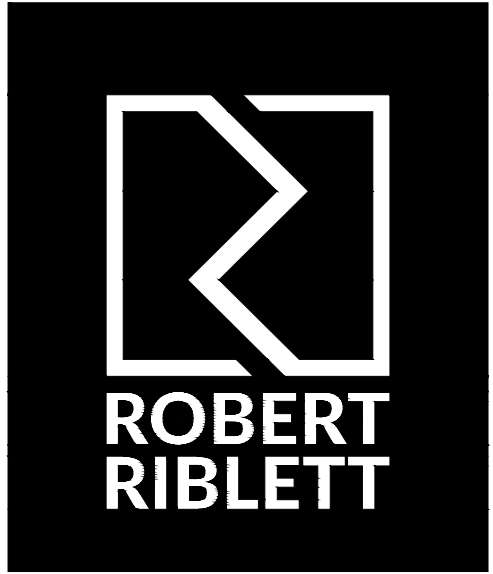


**THOMSON RESIDENCE**  
 432 Via La Selva, Redondo Beach

MAIN LEVEL DEMO PLAN

**A-3**

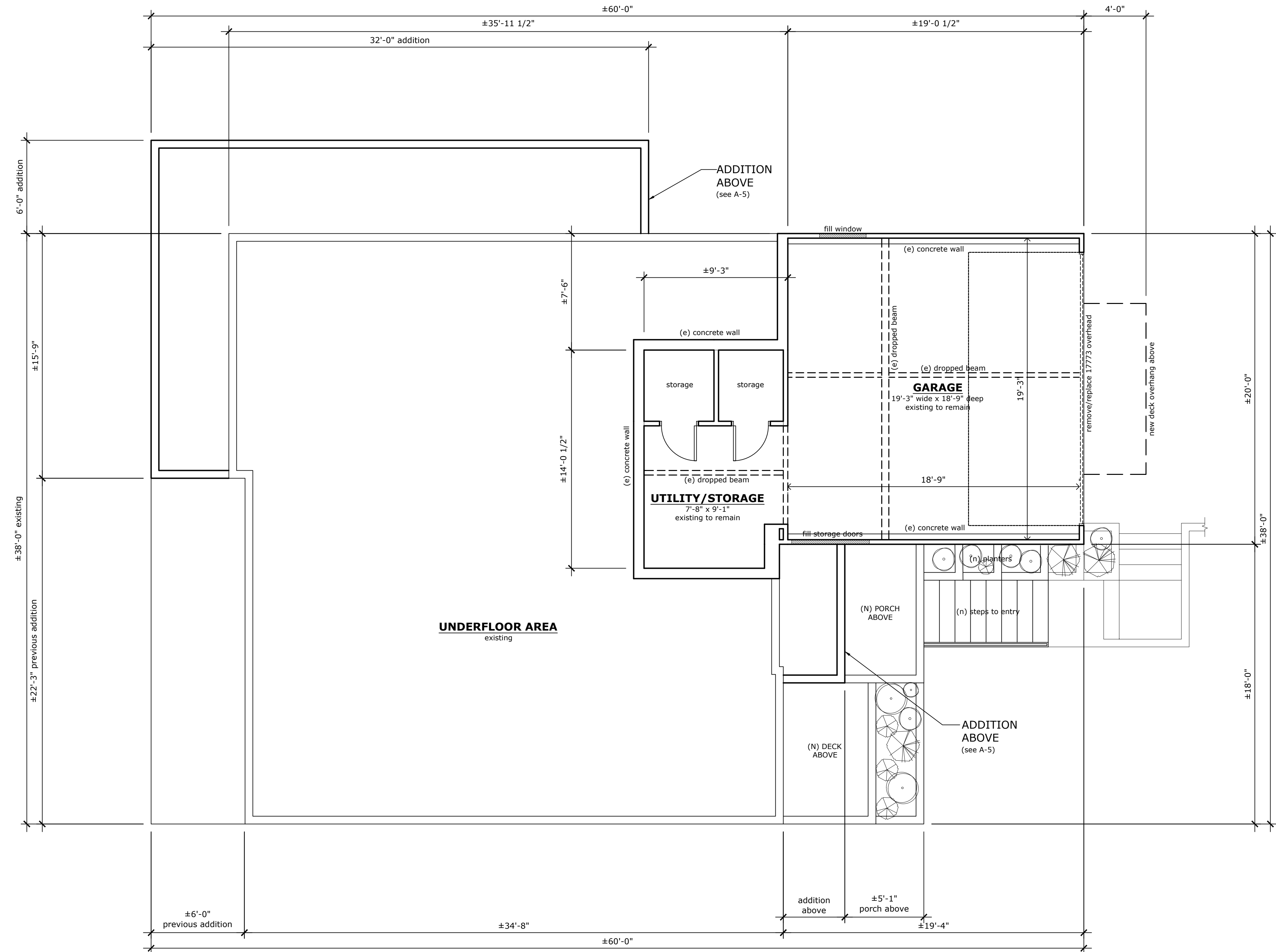
8.14.2024



ARCHITECT

robert@robertriblett.com  
(310) 850-8567  
www.robertriblett.com

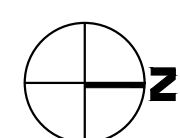
**THOMSON RESIDENCE**  
432 Via La Selva, Redondo Beach



**PROPOSED LOWER FLOOR PLAN**

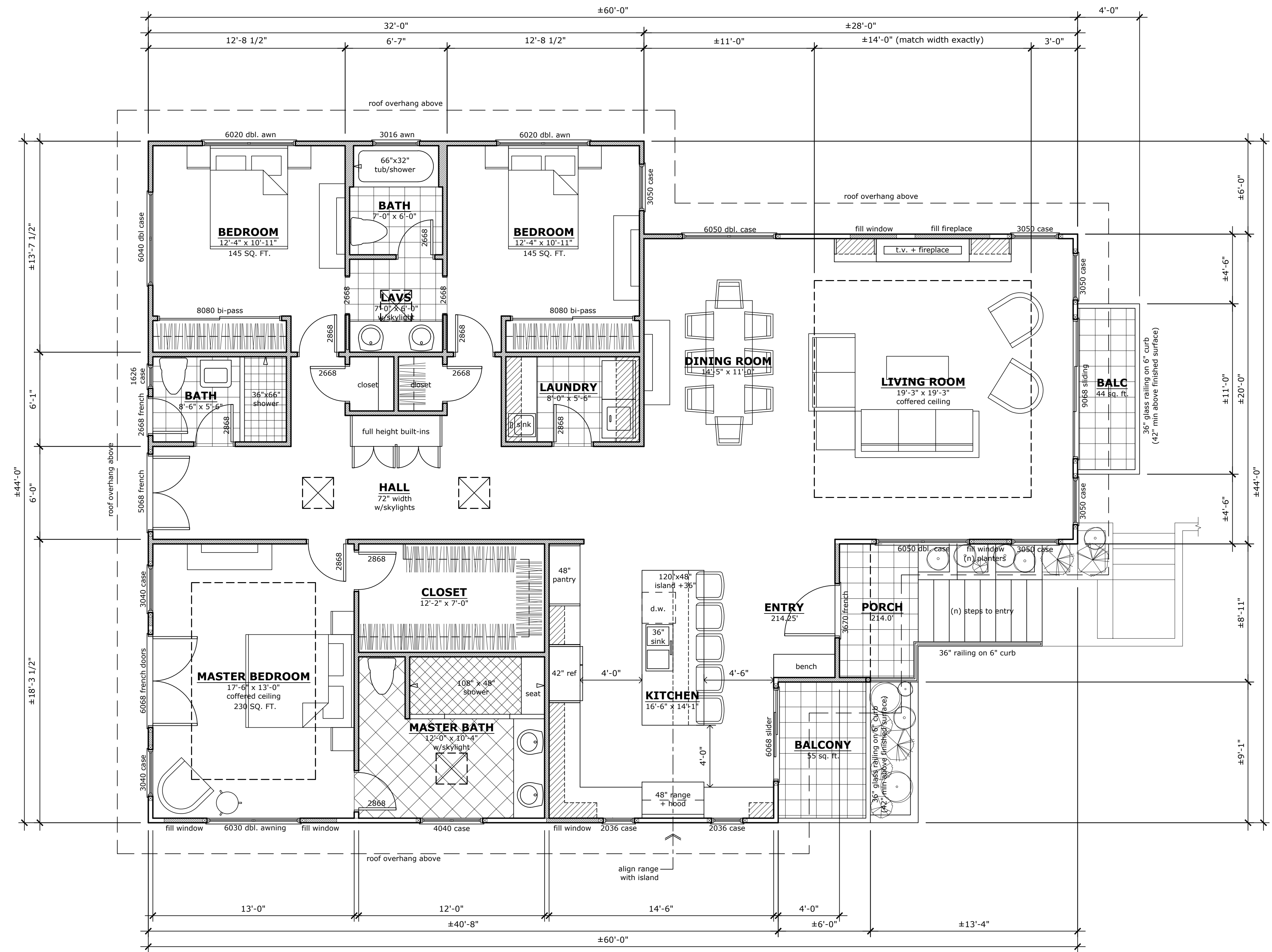
1/4" = 1'-0"

GARAGE	381 sq. ft.
UTILITY/STORAGE	128 sq. ft.
<b>TOTAL</b>	<b>509 sq. ft.</b>



**A-4**

8.14.2024



**PROPOSED MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0"

LIVING AREA 2,159 sq. ft.  
NEW DECKS 98 sq. ft.

**WALL LEGEND:**

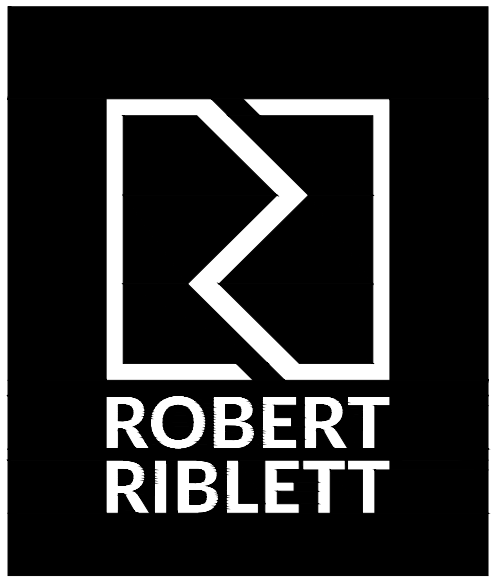


existing ———  
new ———

PROPOSED MAIN LEVEL FLOOR PLAN

**A-5**

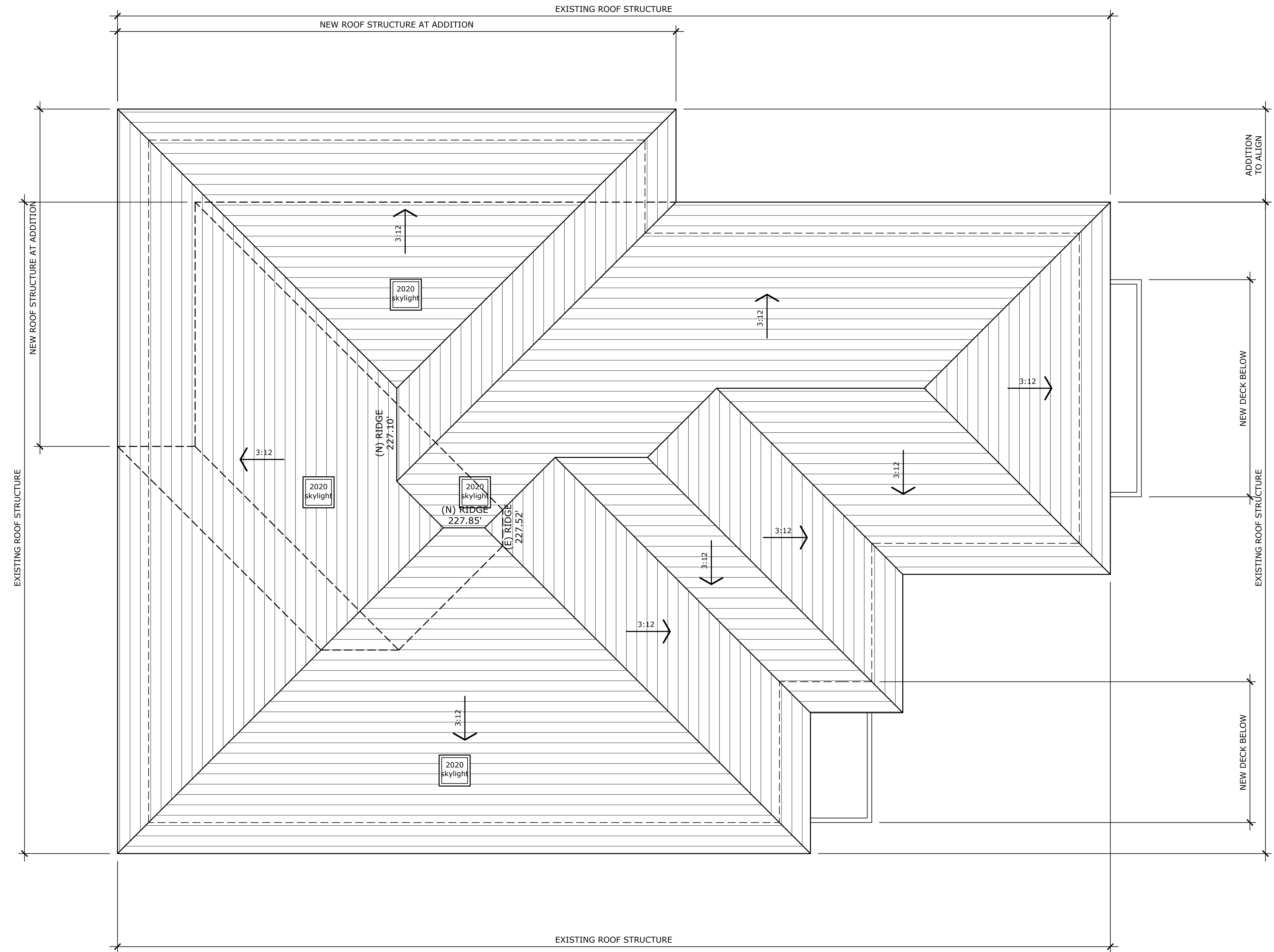
8.14.2024



ARCHITECT

robert@robertriblett.com  
(310) 850-8567  
www.robertriblett.com

**THOMSON RESIDENCE**  
432 Via La Selva, Redondo Beach



**ROOF PLAN**  
1/4" = 1'-0"



ROOF PLAN

**A-6**

8.14.2024

**TYPICAL EXTERIOR MATERIALS:**

all new

ROOFING: 'Certaineed Presidential' lifetime dimensional composition shingles (Class 'A' roofing) o/2 layers of 15#felt laid w/19" overlap

EAVES/FASCIA: match existing eave overhang exactly  
new stucco soffit below all eaves

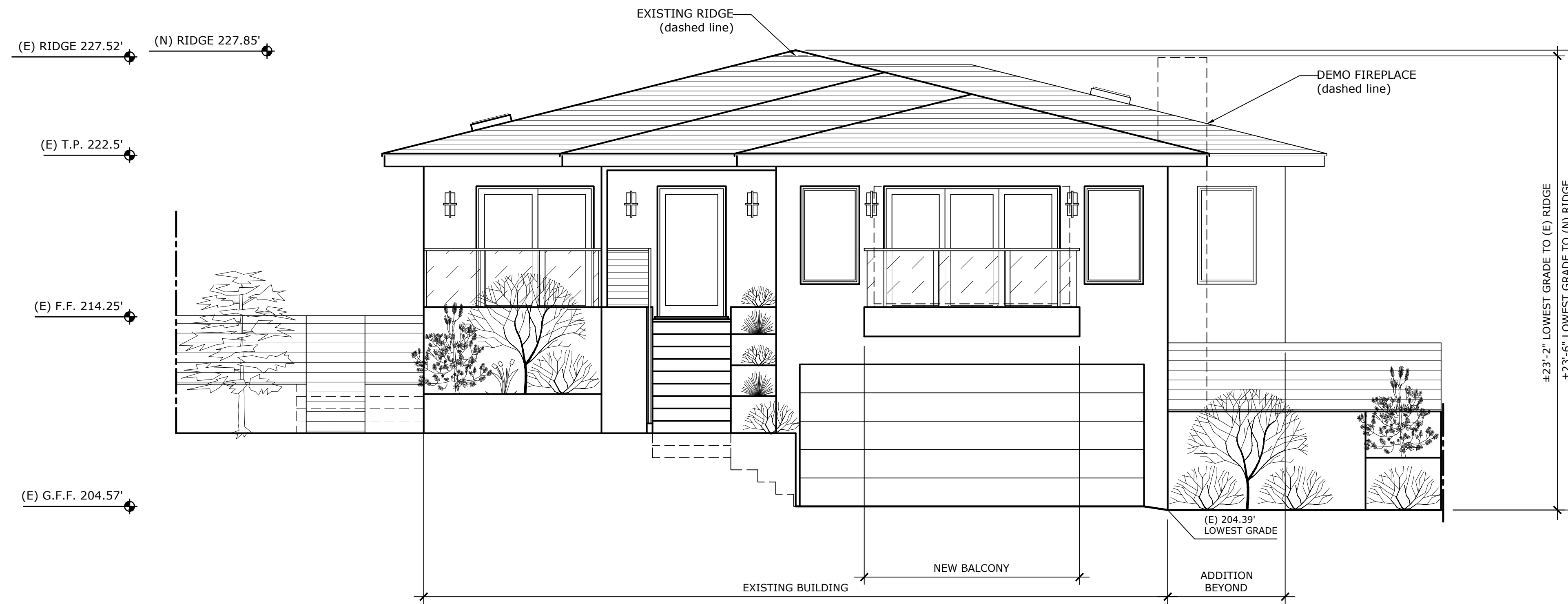
EXTERIOR FINISH: 7/8" stucco applied over approved lath and paper backing (2 layers grade 'D' at plywood sheathing)

WINDOWS: wood frame/metal clad

FRENCH/SLIDING DOORS: wood frame/metal clad (temp)

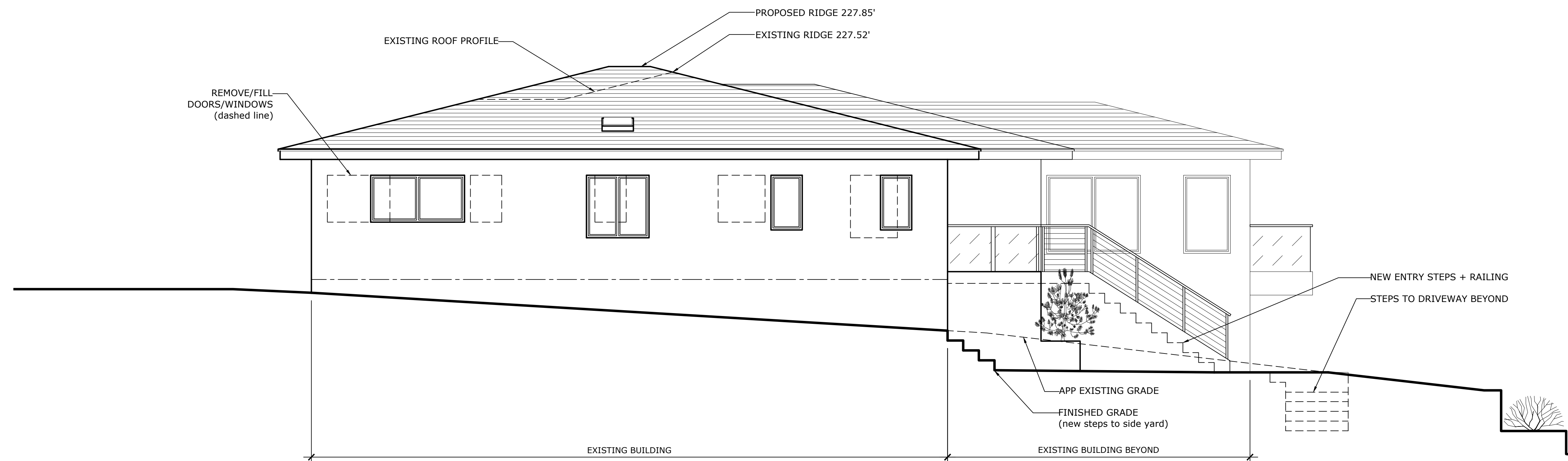
PROPERTY LINE WALLS: all property line walls/fences existing to remain  
See Site Plan

WEEP SCREED: required 4" min. above adj. finish grade



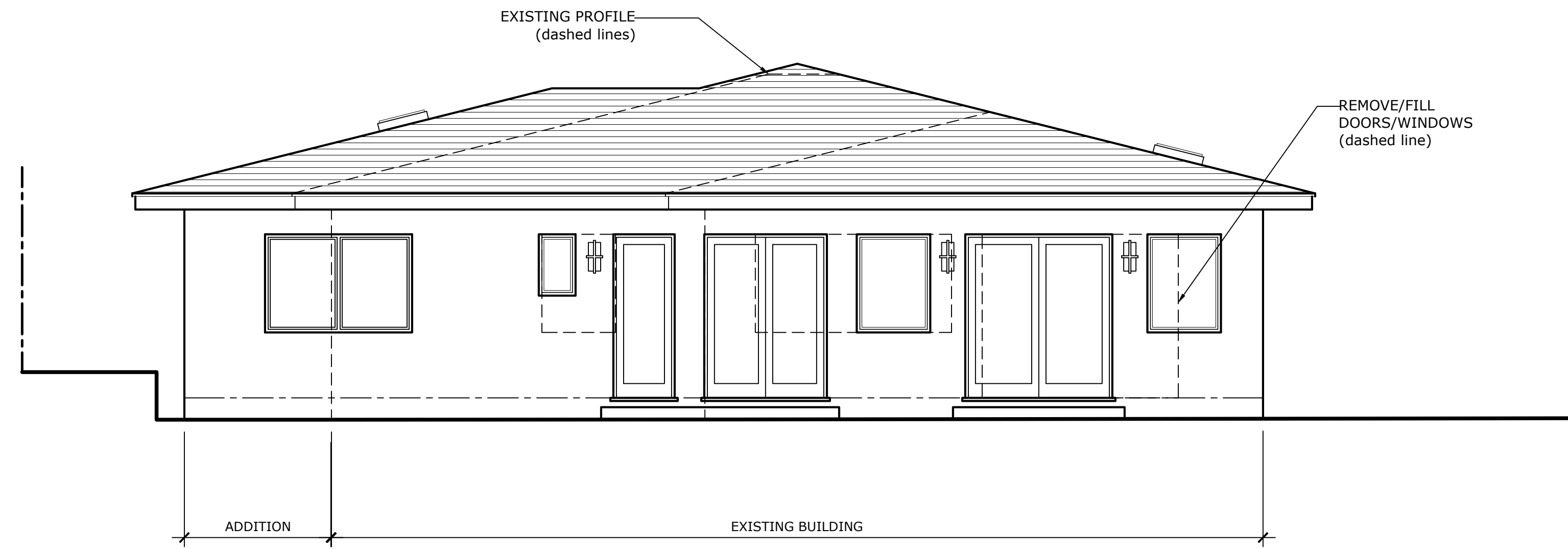
**NORTH ELEVATION**

1/4" = 1'-0"



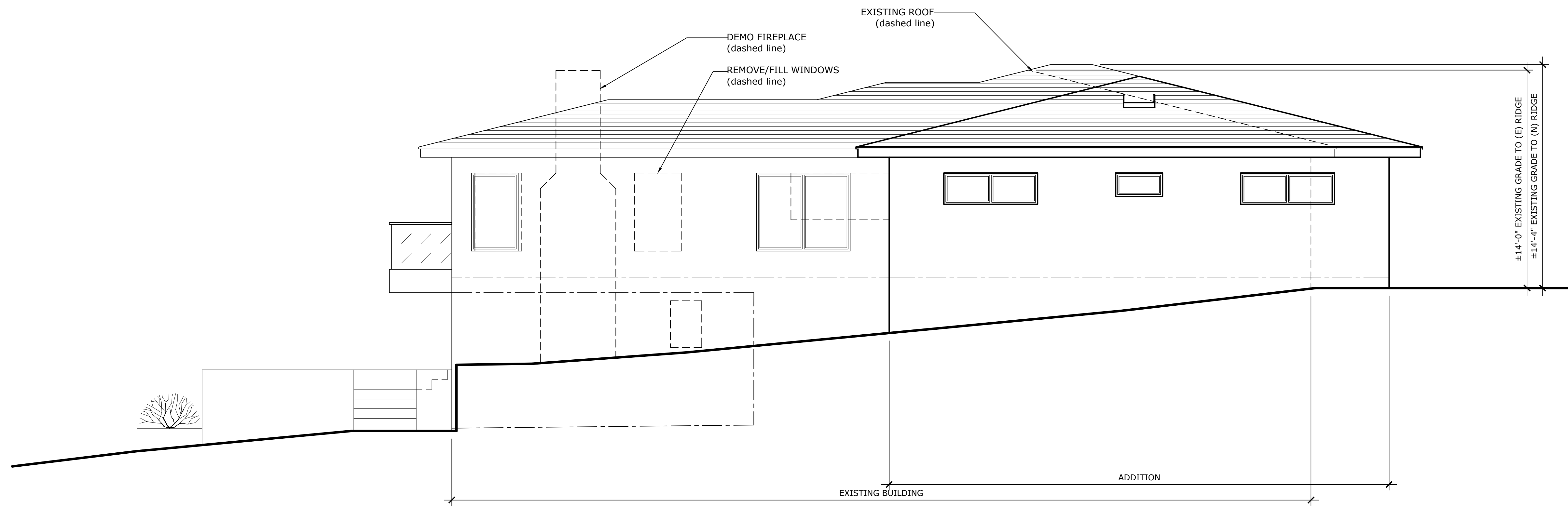
**EAST ELEVATION**

1/4" = 1'-0"



**SOUTH ELEVATION**

1/4" = 1'-0"



**WEST ELEVATION**

1/4" = 1'-0"

**SURVEY AND TOPOGRAPHY**

FOR  
JEFF & LUISA THOMSON  
1617 NELSON AVENUE  
MANHATTAN BEACH, CA 90266  
PHONE 310-483-4861

**JOB ADDRESS**  
432 VIA LA SELVA  
TORRANCE, CA 90277

**LEGAL DESCRIPTION**  
LOT 28, BLOCK C  
TRACT NO. 10304  
M.B. 160-37-41  
APN 7513-008-026

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON JUNE 7, 2017

REVISIONS

REVISIONS

**LEGEND**

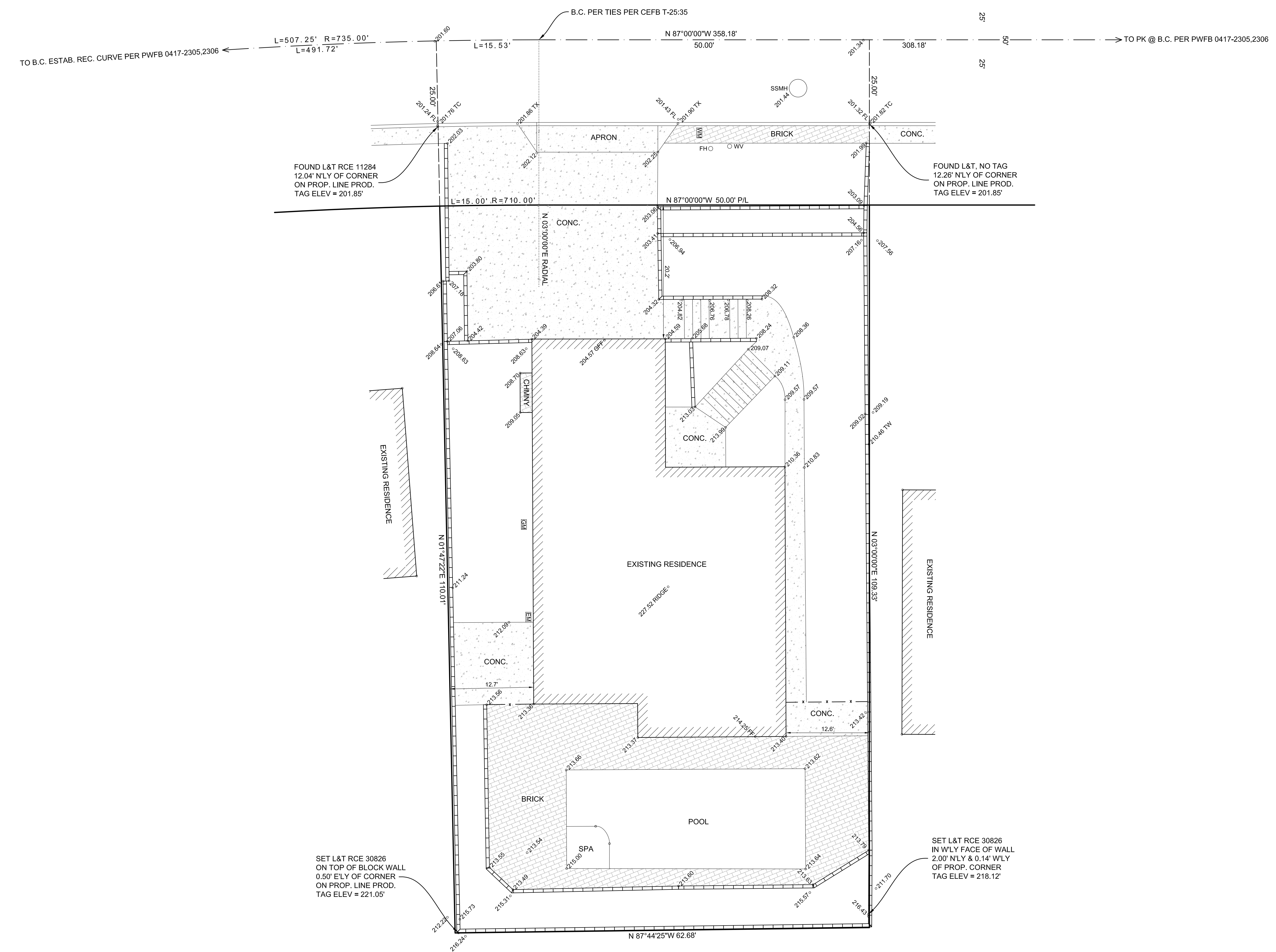
- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- +106.76 EXISTING ELEVATION
- 100 EXISTING CONTOUR
- BLOCK WALL
- X EXISTING FENCE
- BCR BEGINNING OF CURB RETURN
- CL CENTERLINE
- C.L.F. CHAIN-LINK
- ELY EASTERLY
- EM ELECTRIC METER
- FD FOUND
- FE FENCE
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER / PROP. CORNER
- PL, P/L PROPERTY LINE / PROP. LINE
- PP POWER POLE
- PPT PARAPET
- SAW SPIKE AND WASHER
- SLY SOUTHERLY
- SPK SPIKE
- SSSO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- STK STAKE
- STLT STREET LIGHT
- TC TOP OF CURB
- TW TOP OF WALL / T.O.W.
- TX / BX TOP / BOTTOM OF DRIVEWAY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

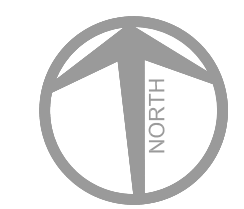
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

**COPYRIGHT**  
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

**VIA LA SELVA**



**NOTE:**  
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.



SCALE 1" = 8'

**AGENDA ITEM NO. 8C**

**DATE:** February 5, 2025

**TO:** Planning Commission

**FROM:** Yolanda Gomez, Planning Associate

**SUBJECT:** 634 Via los Miradores (APN 7512-020-004)  
Precise Plan of Development (PRE24-00014)

Consideration of a Precise Plan of Development to allow one-story additions and renovations to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 634 Via los Miradores.

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 25-008 for approval of a Precise Plan of Development to allow one-story additions and renovations to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 634 Via los Miradores, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicants, Donald A. Jr. and Randi Young, request approval by the Planning Commission to allow one-story additions and renovations to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone at 634 Via los Miradores. The development standards of the R-1 Zone (Single Family Residential District), as well as, the planning and design provisions of the Hillside Overlay, are applicable to the project; and therefore, require discretionary review and approval of the following entitlement:

- Precise Plan of Development (PRE) to allow new construction above 14' in height.

Staff has reviewed the project and has determined that the project is consistent with the Low Density Residential land use designation and complies with the objective development standards of the R-1 Zone, as well as, the planning and design provisions of the Hillside Overlay, and does not require further environmental review. The balance of this report provides an overview of the project.

## **DISCUSSION**

### **Environmental Determination**

In residential zones, additions to a single family residence are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Sections 15301 (Existing Facilities).

### **General Plan Land Use Designation**

The site has a General Plan Land Use Designation of Low Density Residential. Development in this designation is generally characterized by one and two-story single family residences on individual lots, forming a cohesive neighborhood. The designation allows up to nine dwelling units per acre. The proposed construction of one-story additions to an existing one-story single family residence is consistent with the land use designation.

### **Zoning Designation and Adjacent Land Uses**

The project site is designated as R-1 Zone (Single Family Residential District) and bounded by four parcels that share the same zoning designation and Hillside Overlay, and are developed with similar land uses to the north, south, east, and west.

NORTH: R-1/Hillside Overlay ; One-Story, Single Family Residence

SOUTH: R-1/Hillside Overlay ; One and Two-Story, Single Family Residence

EAST: R-1/Hillside Overlay ; One-Story, Single Family Residences

WEST: R-1/Hillside Overlay ; One-Story, Single Family Residences

### **Project Site**

The subject property's lot is rectangular, measuring 7,710 sq. ft. The property is oriented northeasterly, and is on the south side of Via los Miradores, near where the street bends eastwardly. The subject property is currently developed with a one-story, single family residence with an attached two-car garage, originally constructed in 1954. While the building pad is relatively flat, the lot slopes upward, from the west to east sides. Via los Miradores slopes steeply upward on both sides of the street from west to east, and both sides of the street appear to be at the same elevation. To the rear of the subject site are properties addressed on Via Pasqual, which also appear to be at the same elevation, and follow similar topographical contours, as the subject street.

### **Building Floor Plan**

Building Permit records show that the original residence provided 1,355 sq. ft. with an attached garage, square footage unknown. In 1987, a rear porch with roofing of 240 sq. ft. was added. In 1988, the existing garage was converted into a family room, with 496 sq. ft. enlargements to the existing bedroom, and new bathroom and entry area. A new 416 sq. ft. garage was constructed along the front east side of the property, and new deck of 560 sq. ft. along the west side of the property. Based on the above data, staff determined that the permitted area for this property was 2,091 sq. ft., with the 416 garage, totaling 2,507 sq. ft. No further permits were found, nor were the original plans available.

The applicant has provided different statistics, partially based on unpermitted work (as-builts). Staff notes that City records do not show any complaints filed or investigations initiated, regarding unpermitted work. Staff met with the architect, prior to their submittal, to discuss their proposed project, at which time, it was discovered that some of the areas shown as existing, were not permitted. The applicant was advised that moving forward with a project would require addressing the as-builts. The project plans show these areas will be addressed by removing some of the unpermitted work, reverting other unpermitted work back to the original uses, and keeping some of the unpermitted work, as follows:

- A portion of the rear patio totaling 214 sq. ft. was converted to living space, and is proposed to remain as living space.
- The remainder of the patio totaling 33 sq. ft. that was converted to living space, will revert to open patio area.
- The inhabitable attic space, along the highest portion of the home totaling 400 sq. ft. was converted into a second floor living area, and is proposed to revert to attic space, including the removal of the unpermitted windows on either side of the attic and internal stairs from the ground level up to the attic. Attic access will be provided via a proposed first floor dropdown ceiling access door.
- A portion of the front yard totaling 15 sq. ft. was converted to living space at the front of the home, and is proposed to be removed.
- A portion of the west side yard was constructed with living area five inches into the side yard setback at 4'-7" from property line. The west side wall of the front of the home will be reconstructed moving the setback of the home to 5'-0", as previously approved, with 8 sq. ft. being removed.

In addition to the unpermitted (as-built) work, the applicant is proposing a modest addition as follows:

- Expansion of the kitchen and great room, along the west side totaling 177 sq. ft.
- Addition to the master bedroom, along the east side of 42 sq. ft.
- Additions to two bedrooms, along the east side of 185 sq. ft.

Lastly, the remodel includes reconstructing the front family room and entryway by raising the floor to match the kitchen level, bumping the height to 13'-2". Additionally, as mentioned above, the west side building wall will be moved inward from a 4'-7" side yard setback to provide the Code minimum of 5'-0", providing a 8 sq. ft. reduction in the existing area.

Based on the applicant's plans, the proposed additions total 404 sq. ft., the unpermitted/reconstructed area remaining is 609 sq. ft., and the existing living area is 1,589 sq. ft., which provides a total living area of 2,602 sq. ft. With the existing garage area of 445 sq. ft., the total gross area for this project is 3,047 sq. ft.

### **Building Setbacks and Site Improvements**

The residence is located generally along the center portion of the lot. The project, as proposed, complies with the setback requirements, providing more than a 20-ft. average setback along the front, with the closest portion to property line measuring 21'-10", rear

yard setback of 20'-7", west side yard setback of 5'-0", and east side yard setback of 13'-2". As mentioned earlier, the front west portion of the home will be reconstructed to increase the side yard setback from 4'-7" to the Code minimum of 5'-0". A new detached pergola is proposed in the rear yard patio, and is setback approximately 4'-9" from the building, which does not meet the minimum separation of 6'-0" for accessory structures. Staff is providing a Condition of Approval that the pergola shall be relocated to provide the minimum separation distance or attached to the home. The rest of the pergola's setbacks exceed Code requirements. A series of new retaining walls are proposed along a portion of the east side yard, in order to provide the minimum Code requirement of a level 5'-0" setback along the home's perimeter, in conjunction with the master bedroom addition's pop-out. The south elevation shows the height of the lower wall as over 6', and is labeled as existing and is permitted; however, a portion of it is proposed to be demolished to accommodate for the 5-ft. level setback. An outdoor fireplace is proposed along the rear property line, setback a minimum of 1'-0". An on-grade deck is proposed along the west side yard, wrapping around to the rear yard for approximately half the rear yard area. Engineering staff has provided Code requirements for the right-of-way that include installing a street tree, reconstructing the driveway and realigning the driveway approach width with the garage door, and replacing the grinded sidewalk.

### **Building Height**

The existing one-story home measures 17'-10 5/8" at the highest ridge. The elevations show a slightly different height of 17'-8", which appears to be erroneous, as staff is using the Lowest Adjacent Grade (LAG) of 288.48, along the rear southwest corner of the residence, which appears to be the lowest point, based on a survey provided, after the plans were submitted. The silhouette structure was certified at a height of 17'-11 5/8", which encompasses the proposed height. Staff is providing a Condition of Approval that the LAG shall be called out on the final Building Plans, and that the heights shall be revised accordingly.

The one-story additions proposed along the center of the home will match the existing maximum height of the residence, with the other additions matching the existing adjacent lower heights. Staff notes the maximum height permitted in the R-1 Zone for a one-story is 18 ft., and heights over 14 ft. may be constructed in the Hillside Overlay, with approval by the Planning Commission. Staff also notes that most of the homes on the subject street are one story, with an occasional two story. The homes behind the subject street, addressed on Via Pasqual provide a mix of one and two-story residences.

### **FAR, Lot Coverage and Open Space**

The proposed additions result in a Floor Area Ratio (FAR) of 0.40, which is lower than the Code maximum of 0.60 for the R-1 Zone, and notes that a FAR of up to 0.60 can be constructed for properties in the Hillside Overlay, with approval by the Planning Commission. While the Lot Coverage was not provided, for one-story developments, the Lot Coverage is the same as the FAR calculation, and would provide 40%, which is lower than the maximum for a one-story development of 50% of the lot area. Usable Open Space calculations and statistics were not provided on the plans. In staff's estimation, the project provides in excess of 4,500 sq. ft., which equates to more than

half of the lot, and exceeds the Code minimum of one third of the lot. Staff is providing a Condition of Approval that the Open Space calculation and statistic be provided on the final Building Plans, prior to Building Permit Issuance.

Provided below is a summary of the proposed project:

<b>634 Via los Miradores Project Statistics</b>	
Lot Size	7,710 sf
Existing Living Area	1,589 sf
Existing Garage	445 sf
<b>Total Existing Area</b>	<b>2,034 sf</b>
Existing Maximum Height	17'-10 5/8"
Unpermitted Areas to be Removed	456 sf
Unpermitted Areas to Remain	609 sf
New Additions	404 sf
Proposed Living Area	2,602 sf
<b>Total Proposed Gross Area</b>	<b>3,047 sf</b>
<b>Proposed Floor Area Ratio</b>	<b>0.40</b>
<b>Proposed Maximum Height</b>	<b>17'-10 5/8"</b>

### **Building Architecture**

The home features both horizontal and vertical articulation to reduce the perception of massing and provide visual interest. Exterior finishes include smooth stucco, metal fascia, window awnings, new windows and accordion doors at the rear elevation, glass railing along the west deck, with a metal pergola and exterior fireplace in the rear yard. These finishes are typical of this residential neighborhood, providing a contemporary design.

### **Hillside Overlay**

In accordance with Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed additions to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 4). Additionally, on January 21, 2025, staff conducted a site visit and left business cards for the neighboring properties at 629, 630 and 638 Via los Miradores, and 117, 121 and 125 Via Pasqual.

- **630 Via los Miradores:**

On January 15 and 16, 2025, Staff received correspondence from the neighbor at 630 Via los Miradores. (Attachment 6), and visited this neighbor on January 21, 2025. The neighbor indicated view impacts from the interior living space and

west side and rear yards. Staff observed these areas, from seated and standing positions, in the dining room, kitchen and living room, and yard spaces, and observed slivers of the silhouette from the noted areas of city views and blue ocean water. However, in staff's determination, the impacts were considered minor and not a significant view impact.

- **125 Via Pasqual:**

On January 21, 2025, staff received correspondence from the neighbor at 125 Via Pasqual (Attachment 6), and visited this neighbor on January 21, 2025. The neighbor indicated view impacts from the interior living space and rear yard. Staff observed these areas, from standing positions, in the living room of blue ocean water, and from sitting and standing positions in the front yard of city views and rear yard of blue ocean water pergola. The impacts from all locations were slivers of blue ocean water, and considered minor. While the front yard impact to city views was substantial, the views were not typical of what are considered city views in practice, which would be downtown Los Angeles skyscraper night-lights. The city views impacted were the tops of residential homes further northbound and in practice have not been protected views. Therefore, in staff's determination, the impacts were considered minor and not a significant view impact.

- **126 Via Pasqual:**

On January 23, 2025, staff received correspondence from the neighbor at 125 Via Pasqual, noting that his neighbor at 126 Via Pasqual asked him to write the letter for her (Attachment 6), and visited this neighbor on January 27, 2025. During the site visit, staff confirmed with the neighbor that the letter's sentiments were hers. The letter indicated view impacts, but was not specific as to what impacts, except for a photo provided in the letter showing city views. During the visit, staff confirmed that the neighbor was objecting to loss of city views from a seated area in the living room and from a standing position in the front driveway. Staff observed these areas, from standing positions, in the living room and from standing positions in the driveway. The view impacts were the same as the above neighbor at 125 Via Pasqual, a city view that is not typically a protected view of the tops of residences further northbound. Therefore, in staff's judgment, the impacts were considered minor and not a significant view impact.

- **638 Via los Miradores:**

Staff received a phone call from the neighbor at 638 Via los Miradores regarding privacy impacts. Staff visited the neighbor's property on January 21, 2025, and noted that this neighbor currently has tall shrubs planted that partially obscure the existing subject residence, and the potential additions. He also indicated light impacts. Staff observed the east side and rear yards; however, the neighbor did not allow entry into the home to observe any potential indoor privacy or light impacts. Typically, staff does not consider impacts, if no correspondence has been received, and as of the closing of this report, no further correspondence has been received. However, as staff attempts to be transparent and conducted the visit in anticipation of receiving correspondence, staff has provided our determination. As no access was provided to the interior living space, no

determination was made regarding privacy or light impacts. In staff's judgment, the privacy impacts to the yard areas are minor and not considered a significant privacy impact. The light impacts observed against the exterior building wall, as noted by the neighbor, were not from the silhouette of the pergola, but in staff's judgment were shadows cast from overhead electrical cables. Regardless of the source, the light impacts are not considered significant.

As of the completion of this report, staff has not received any further correspondence.

## **CONCLUSION**

In staff's judgment, the proposed one-story residence conforms to the planning and design provision of the Hillside Overlay and would not have a substantial adverse impact on the view, light, air, and privacy of other properties in the vicinity. The project, as conditioned, has been designed to minimize potential impacts to neighboring properties by the strategic placement of the proposed additions to decrease potential impacts to neighboring properties. The development of the home is designed to slightly add to the sides of the home, with minor additions to the rear. The project is compatible with surrounding homes and is an appropriate use for this neighborhood. The subject request also complies with all other objective development standards of the R-1 Zone and is consistent with the Low-Density Residential land use designation. Staff recommends approval of the project, as conditioned.

## **FINDINGS OF ACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and Conditions of Approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., which are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with Torrance Municipal Code, notices of the public hearing are required to be published in the local newspaper, no less than 10 calendar days, before the Planning Commission meeting. Notices were also posted at the project site and were mailed to the registered owners of properties, located within a 500' radius of the exterior boundaries of the project site, on January 16, 2024. Notices were also posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at 310.618.2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Development Review/Planning Counter) located at City Hall, 3031 Torrance Blvd., Torrance, CA 90503, during normal business hours, open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at 310.618.5990.

## **ATTACHMENTS**

1. Resolution No. 25-008
2. Location and Zoning Map
3. Hillside Overlay Substantiation
4. Silhouette Certification
5. Code Requirements
6. Correspondence
7. Project Plans

## **STAFF CONTACT**

Yolanda Gomez, Planning Associate  
YGomez@TorranceCA.Gov

**ITEM 8C**  
**ATTACHMENT 1**

**RESOLUTION NO 25-008**

**PLANNING COMMISSION RESOLUTION NO. 25-008**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PRECISE PLAN OF DEVELOPMENT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE TO ALLOW ONE-STORY ADDITIONS AND REMODELING TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE ON PROPERTY LOCATED IN THE HILLSIDE OVERLAY IN THE R-1 ZONE AT 634 VIA LOS MIRADORES.

**PRE24-00014: LOERA DESIGNS (DONALD A. JR. AND RANDI YOUNG)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on February 5, 2025, to consider an application for a Precise Plan of Development filed by Loera Designs (Donald A. Jr. and Randi Young) to allow one-story additions to an existing one-story single family residence on property located in the Hillside Overlay in the R-1 Zone at 634 Via los Miradores; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- A) That the property address is 634 Via los Miradores;
- B) That the property is located on Tract #19305, Lot 57, and is further identified as APN 7512-020-004;
- C) That the proposed one-story addition and remodeling project, as conditioned, is in compliance with both the R-1 Zoning and the Low-Density Residential General Plan designation for this site;
- D) That additions to single family residential properties are determined to be Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15301 (Existing Facilities);
- E) That the proposed one-story addition and remodeling project, as conditioned, will not have a substantial adverse impact upon the view, light, air, or privacy of other properties in the vicinity, because the project meets and/or exceeds the development standards, the modest one-story additions have been designed predominately along the sides of the residence, the maximum height of the

additions match the existing permitted height, and is below the maximum limits, the unpermitted windows on either side of the unpermitted loft area are proposed to be removed, and the surrounding properties do not appear to be impacted;

- F) That the proposed project, as conditioned, has been located, planned and designed, so as to cause the least intrusion on the view, light, air, or privacy of other properties in the vicinity, because the additions meet and/or exceed the setback requirements, and the exterior pergola located in the rear yard is designed with heights at below maximum;
- G) That the design of the proposed project provides an orderly and attractive development in harmony with other properties in the vicinity, because the proposal provides design elements consistent with other residences in the vicinity, including smooth stucco, asphalt shingles and glass railings;
- H) That the proposed project, as conditioned, has been designed to ensure that the development will not have a harmful impact upon the land values and investment of other properties in the vicinity, because the proposed additions meet and/or exceed the R-1 Development Standards, all unpermitted work is addressed, and the Floor Area Ratio/Lot Coverage are below the maximum permitted;
- I) That the granting of this application would not be materially detrimental to the public welfare and to other properties in the vicinity, because the project, as conditioned, is designed with heights that are below the maximum allowed by Code, and the maximum ridge height matches the existing maximum height located along the center width portion of the home, with the other additions below the existing maximum height, in order to minimize potential view impairments;
- J) That the proposed additions, as conditioned, will not cause or result in an adverse cumulative impact on other properties in the vicinity, because it would be compatible with the surrounding pattern of development in both design and materials, and is less than the allowable Floor Area Ratio of 0.60 and Lot Coverage of 50% for the R-1 Zone;
- K) That it is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended, except by increasing the height with new one-story addition's, as conditioned, in order to avoid substantial view and privacy impacts by proposing a second story addition;
- L) That the denial of this request to increase the height will constitute an unreasonable hardship to the applicant, because the proposed residence's maximum height is below the maximum permissible, conforms to all Code requirements, and the project, as conditioned, does not appear to have an adverse impact on the view, light, air and privacy of other properties;

M) That the granting of this application for height increase, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity, because the proposed residence's maximum height is less than the maximum height permitted by Code, and complies with all Zoning Development Standards; and

**WHEREAS**, the Planning Commission by the following roll call vote APPROVED PRE24-00014, subject to conditions:

AYES:                    COMMISSIONERS:

NOES:                    COMMISSIONERS:

ABSENT:                COMMISSIONERS:

ABSTAIN:               COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that PRE24-00014, filed by Loera Designs (Donald A. Jr. and Randi Young), to allow one-story additions to an existing one-story single family residence on property located in the Hillside Overlay in the R-1 Zone at 634 Via los Miradores, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in Precise Plan of Development 24-00014 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval; (Planning)
2. That if this Precise Plan of Development 24-00014 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1; (Planning)
3. That the maximum height of the addition at the highest point of the roof shall not exceed a height of 17'-10 5/8", as represented by the survey elevation of 306.33 ft. for the highest ridge, based on the lowest adjacent grade of 288.44 ft. (located at the southwest corner of the residence), based on a benchmark elevation of 282.59 ft. located within the public right-of-way along Via los Miradores, near the northwest corner of the property, as shown on the official survey map on file in the Community Development Department; (Planning)

4. That the final height of the structure shall be certified by a licensed surveyor/engineer prior to requesting a framing or roof-sheathing inspection and shall not exceed a survey elevation of 306.33 ft. for the highest ridge, based on the benchmark of 282.59 ft. located within the public right-of-way along Via los Miradores, near the northwest corner of the property, as shown on the official survey map on file in the Community Development Department, and verifies the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
5. That the architect shall continue to work with Planning staff to refine the statistics on the final Building Plans, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
6. That the pergola shall be relocated to provide the minimum separation distance from the home of six ft. or shall be attached to the home, to the satisfaction of the Community Development Director; (Planning)
7. That the Lowest Adjacent Grade shall be called out on the final Building Plans' Site Plan and Elevations to the satisfaction of the Community Development Director; (Planning)
8. That the final Building Plans shall provide calculations showing the front yard paving areas and percentage, and that the paving shall not exceed the Code Requirements of more than 50%, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
9. That the usable open space calculation and statistic be provided on the final Building Plans, prior to Building Permit Issuance, to the satisfaction of the Community Development Director; (Planning)
10. That the applicant shall provide the statistics of total new and/or rehabilitated landscaping area on the final Building Plans, and apply for a Landscaping Plan Review (LPR) permit, with the requisite landscaping plan and documents that meet the State's MWELo requirements, should 2,500 sq. ft. or more of landscaping be new and/or rehabilitated, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
11. That detailed plans for any proposed on-site walls, retaining walls, fences or gates shall be required, and that separate Building Permits may be required for new or as-built retaining walls, freestanding walls, fences, gates, railings, etc.; (Planning)
12. That the exterior colors and materials for the residence, shall be submitted for review to the Planning Division, prior to the issuance of a Building Permit; (Planning)

13. That any cabinets, appliances or equipment located within the garage shall be shown on the final Building Plans, and shall not encroach within the minimum interior dimensions, to the satisfaction of the Community Development Director, prior to the issuance of any Building Permits; (Planning)
14. That any exterior appliances or equipment, shall be shown on final Building Plans, with setbacks noted, and if visible from the street, shall be fully screened to the satisfaction of the Community Development Director, prior to the issuance of any Building Permits; (Planning)
15. That the final Building Plans shall label any fireplaces, chimneys, vents, solar panels, skylights, or any other equipment, on the elevations and roof plan, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
16. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Planning Manager; (Planning)
17. That within 30 days of the final public hearing, the applicant shall remove the City's "Public Notice" sign to the satisfaction of the Community Development Director; (Planning)
18. That a copy of the adopted Resolution/s for this project, including all Conditions of Approval, shall be copied onto the final Building Plans, to the satisfaction of the Community Development Director; and (Planning)
19. That all conditions of other City Departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of February 2025.

---

Chairman, Torrance Planning Commission

ATTEST:

---

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of February 2025, by the following roll call vote:

AYES:                   COMMISSIONERS:

NOES:                   COMMISSIONERS:

ABSENT:                COMMISSIONERS:

ABSTAIN:               COMMISSIONERS:

---

Secretary, Torrance Planning Commission

**ITEM 8C**  
**ATTACHMENT 2**

**LOCATION AND ZONING MAP**

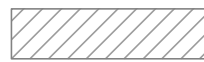


# LOCATION AND ZONING MAP

PRE24-00014  
634 Via los Miradores



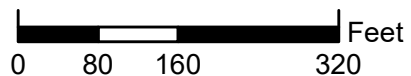
# LEGEND



Notification Area



634 Via los Miradores



**ITEM 8C**  
**ATTACHMENT 3**

**HILLSIDE OVERLAY SUBSTANTIATION**



City of Torrance, Community Development Department, Planning Division  
3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

## Hillside Overlay Substantiation Form

---

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

### 1. PLANNING AND DESIGN (SECTION 91.41.6)

**a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:**

The neighboring properties that would potentially have their views affected are higher in grade in comparison to our roof. Our Proposed Top of Roof is 306.07', which is also our existing top of roof as well. our neighbors local grade is 300.11 per survey, and at the rear is at 297.76' or higher. The our existing roof is growing in width but not in any way that will affect our neighbors view or privacy.

**b) The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:**

Our design is harmonious with the existing structure and we are not creating any new large masses that would impede on their views. By also keeping our proposed roofs ridge height at the same height as our existing ridge height we are not creating any new large view impedments. The natural grades of our surrounding neighbors being higher in elevation helps avoid any view intrusions as well.

**c) The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:**

There is other modern buildings on the properties street, and we are proposing a clean, and classic design that will not stand out as a neighborhood outlier.

**d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:**

The project we are proposing will be beautiful and clean, and help enhance the neighborhood.

**e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:**

What we are proposing is not an exaggeration of the existing structure nor are we adding any major lot/grading development that could possibly undermine or harm the surrounding sites.

**f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:**

We are not proposing any major lot/grading development that could possibly undermine or harm the surrounding sites. Our project consists of typical building addition and roof extensions that are in compliance with city planning zoning setback and lot coverage requirements.

## **2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)**

This section must be completed if any part of the existing building would increase in height.

**a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:**

b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

**3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)**

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

**ITEM 8C**  
**ATTACHMENT 4**

**SILHOUETTE CERTIFICATION**



City of Torrance, Community Development Department, Planning Division  
 3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

# Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 634 VIA LOS MIRADORES ( 7512-020-004 )  
STREET ADDRESS ASSESSOR PARCEL NUMBER

on 08-20-2024, based on the project plans submitted to the City of Torrance  
DATE OF SURVEY

by LOERA DESIGNS on \_\_\_\_\_  
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at NORTHWEST (L&T LS 4957)  
LOCATION OF BENCHMARK

which established a base elevation of 282.59'  
BASE ELEVATION

The highest point of the silhouette was determined to have an elevation of 306.45'  
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 306.36' (MATCH EXIST)  
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 288.29'  
EXISTING LOWEST ADJACENT GRADE

The project plans indicate the lowest adjacent grade should have an elevation of 288.29'  
PROPOSED LOWEST ADJACENT GRADE

*I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.*

*Gary J. Roehl*  
SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

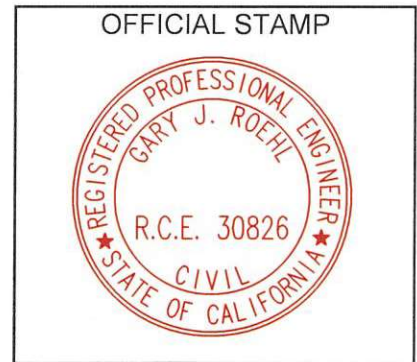
8-28-2024  
DATE OF SIGNATURE

GARY J. ROEHL  
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

R.C.E. 30826  
LICENSE NUMBER

OFFICE@DENN.COM  
EMAIL ADDRESS

310-542-9433  
TELEPHONE NUMBER



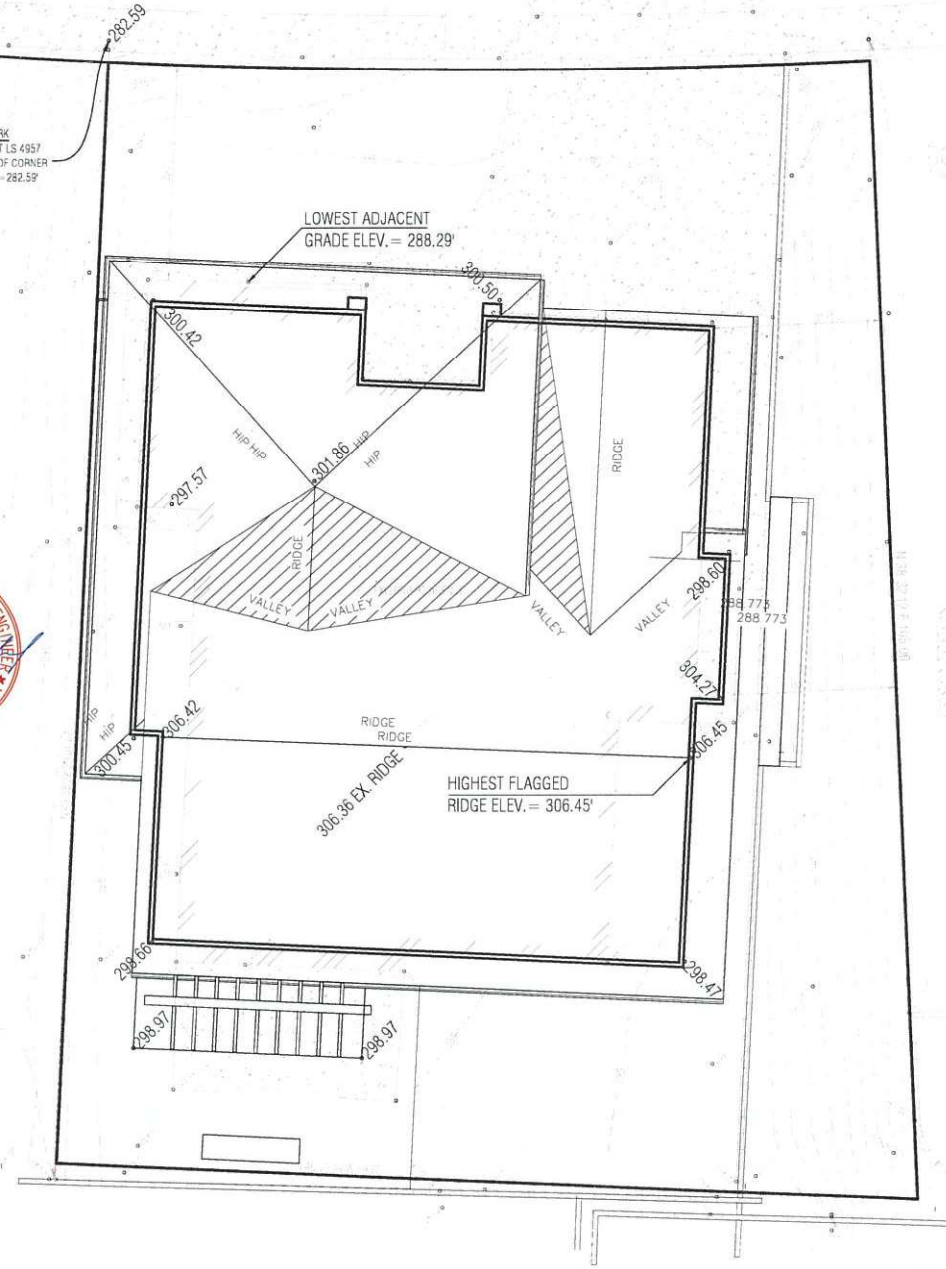
FOR STAFF USE ONLY – DO NOT COMPLETE BELOW	
PLANNING RECORD NUMBER(S) <u>PRE 24-00014</u>	DATE STAMP RECEIVED <b>RECEIVED</b> SEP 17 2024 CITY OF TORRANCE COMMUNITY DEVELOPMENT DEPT
REVIEW COMPLETED BY <u>T. GOMEZ</u>	REVIEW COMPLETED DATE <u>01/21/2025</u>
STAFF DETERMINATION <input checked="" type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION	

VIA LOS MIRADORES



BENCHMARK  
FOUND L&T LS 4957  
2.00' NLY OF CORNER  
TAG ELEV. = 282.59

LOWEST ADJACENT  
GRADE ELEV. = 288.29'



DATE: 11/11/2014  
BY: GARY J. ROTH  
PROJECT: 14-001-001  
SHEET: 01 OF 01

DATE: 11/11/2014  
BY: GARY J. ROTH  
PROJECT: 14-001-001  
SHEET: 01 OF 01

**ITEM 8C**  
**ATTACHMENT 5**  
**CODE REQUIREMENTS**

## **CODE REQUIREMENTS**

The following is a partial list of code requirements applicable to the proposed project. All possible code requirements are not provided here and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the code requirements. They are provided for information purposes only.

### **CDD-Building & Safety**

1. Comply with 2022 California Building Codes, CBC, CMC, CEC, CPC, California Energy Code and California Green Building Code.

### **CDD-Engineering Permits & Records**

2. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Via los Miradores. (City Code Sec. 74.6.2).
3. Install a street tree in the City parkway every 50' for the width of this lot on Via Los Miradores (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
4. Reconstruct existing driveway per SPPWC standards. The width of driveway approach shall be aligned with the garage door.
5. Replace grinded sidewalk along the property frontage on Via Los Miradores per City of Torrance standards.
6. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

### **CDD-Planning**

7. No person shall pave or cause to be paved more than fifty (50) percent of the front yard of any residentially zoned property (TMC 92.5.14).
8. Open space shall constitute not less than one-third ( $\frac{1}{3}$ ) of the total lot area in one or more areas having minimum dimensions of ten (10) feet by fifteen (15) feet. Open space shall be defined as yards unobstructed from ground to sky, except as provided in Article 5, Chapter 2, Division 9, and excepting covered patios enclosed on not more than two (2) sides (TMC 91.4.9).
9. There shall be a level setback of not less than five (5) feet on that portion of a hillside lot between the wall of any structure on such lot and any adjacent slope of greater than 15% of such lot (TMC 91.41.9.b.3).

**ITEM 8C**  
**ATTACHMENT 6**  
**CORRESPONDENCE**

## Gomez, Yolanda

---

**From:** Jeff Amberg <[REDACTED]>  
**Sent:** Wednesday, January 15, 2025 5:02 PM  
**To:** Gomez, Yolanda  
**Subject:** 634 Via Los Miradores  
**Attachments:** PropertyDetails\_634\_Via\_Los\_Miradores\_Redondo\_Beach.pdf

Hi Yolanda,

Thanks for speaking with me on the issue earlier today. We definitely will lose white water/ Blue water views. Also it will encroach further towards our home/privacy. The property has an attic space being used as living space. The roof is higher than the overlay standards currently. We don't want more structure added to what appears to be a

"UN-permitted" portion of the original building. Looks to be 2100 sq. ft.. Should be 1560 square feet. I added the property profile from my Realtor record. Looking forward to any information/plans you can bring on Tuesday 10:00 a.m.

Thank you

**Jeff Amberg**


<https://ambergrealestate.com>

310-404-4059

DRE#01292123  
[REDACTED]

**634 Via Los Miradores, Redondo Beach, CA 90277-6633, Los Angeles County**

APN: 7512-020-004 CLIP: 7347152034

	Bed <b>3</b>	Full Baths <b>3</b>	Half Baths <b>N/A</b>	Sale Price <b>\$740,000</b>	Sale Date <b>08/07/2000</b>
	Bldg Sq Ft <b>1,560</b>	Lot Sq Ft <b>7,723</b>	Yr Built <b>1954</b>	Type <b>SFR</b>	

**OWNER INFORMATION**

Owner Name	<b>Young Donald A Jr</b>	Tax Billing Zip	<b>90277</b>
Owner Name 2	<b>Young Archambeau Randi L</b>	Tax Billing Zip+4	<b>6633</b>
Mail Owner Name	<b>Donald A &amp; Archambeau Randi L Young</b>	Owner Vesting	<b>Husband/Wife</b>
Tax Billing Address	<b>634 Via Los Miradores</b>	Owner Occupied	<b>Yes</b>
Tax Billing City & State	<b>Redondo Beach, CA</b>		

**COMMUNITY INSIGHTS**

Median Home Value	<b>\$1,930,849</b>	School District	<b>TORRANCE UNIFIED</b>
Median Home Value Rating	<b>10 / 10</b>	Family Friendly Score	<b>79 / 100</b>
Total Crime Risk Score (for the neighborhood, relative to the nation)	<b>36 / 100</b>	Walkable Score	<b>76 / 100</b>
Total Incidents (1 yr)	<b>159</b>	Q1 Home Price Forecast	<b>\$2,011,061</b>
Standardized Test Rank	<b>94 / 100</b>	Last 2 Yr Home Appreciation	<b>14%</b>

**LOCATION INFORMATION**

Zip Code	<b>90277</b>	Comm College District Code	<b>El Camino</b>
Carrier Route	<b>C052</b>	Census Tract	<b>6513.02</b>
Zoning	<b>TORR-LO</b>	Topography	<b>Rolling/Hilly</b>
Tract Number	<b>19305</b>	Within 250 Feet of Multiple Flood Zone	<b>No</b>
School District	<b>Torrance</b>		

**TAX INFORMATION**

APN	<b>7512-020-004</b>	Tax Area	<b>9359</b>
Exemption(s)	<b>Homeowner</b>	Lot	<b>57</b>
% Improved	<b>36%</b>	Water Tax Dist	<b>Southern California</b>
Legal Description	<b>TRACT # 19305 LOT 57</b>		

**ASSESSMENT & TAX**

Assessment Year	2024	2023	2022
Assessed Value - Total	<b>\$1,093,184</b>	<b>\$1,071,750</b>	<b>\$1,050,736</b>
Assessed Value - Land	<b>\$699,494</b>	<b>\$685,779</b>	<b>\$672,333</b>
Assessed Value - Improved	<b>\$393,690</b>	<b>\$385,971</b>	<b>\$378,403</b>
YOY Assessed Change (\$)	<b>\$21,434</b>	<b>\$21,014</b>	
YOY Assessed Change (%)	<b>2%</b>	<b>2%</b>	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	<b>\$11,848</b>		
2022	<b>\$11,997</b>	<b>\$149</b>	<b>1.26%</b>
2023	<b>\$12,158</b>	<b>\$161</b>	<b>1.34%</b>

Special Assessment	Tax Amount
Safe Clean Water83	<b>\$90.11</b>
Flood Control 62	<b>\$33.46</b>
Rposd Measure A 83	<b>\$28.23</b>
Torranceld99-190	<b>\$7.30</b>
Mwdstandby#1186	<b>\$12.22</b>
Sbcsandist56	<b>\$75.00</b>
Trauma/Emerg Srv86	<b>\$78.00</b>
Lawestmosqab31	<b>\$13.95</b>
Total Of Special Assessments	<b>\$338.27</b>

**CHARACTERISTICS**

County Land Use	<b>Single Family Resid</b>	Sewer	<b>Type Unknown</b>
-----------------	----------------------------	-------	---------------------

Universal Land Use	SFR	Heat Type	Central
Lot Frontage	75	Garage Type	Parking Avail
Lot Depth	103	Parking Type	On Site
Lot Acres	0,1773	Parking Spaces	2
Lot Area	7,723	Roof Material	Wood Shake
Lot Shape	Irregular	Roof Shape	Gable
Style	Conventional	Interior Wall	Plaster
Building Sq Ft	1,560	Exterior	Stucco
Stories	1	Floor Cover	Hardwood
Total Units	1	Foundation	Raised
Total Rooms	5	Year Built	1954
Bedrooms	3	Effective Year Built	1957
Total Baths	3	Other Impvs	Fence
Full Baths	3	Building Type	Type Unknown
Fireplaces	1	# of Buildings	1

<b>SELL SCORE</b>			
Rating	Moderate	Value As Of	2025-01-12 04:32:16
Sell Score	560		

<b>ESTIMATED VALUE</b>			
RealAVM™	\$2,561,900	Confidence Score	79
RealAVM™ Range	\$2,301,500 - \$2,822,400	Forecast Standard Deviation	10
Value As Of	01/06/2025		

(1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.

(2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.

(3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

<b>RENTAL TRENDS</b>			
Estimated Value	5801	Cap Rate	1.4%
Estimated Value High	7101	Forecast Standard Deviation (FSD)	0.22
Estimated Value Low	4501		

(1) Rental Trends is a CoreLogic® derived value and should be used for information purposes only.

(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

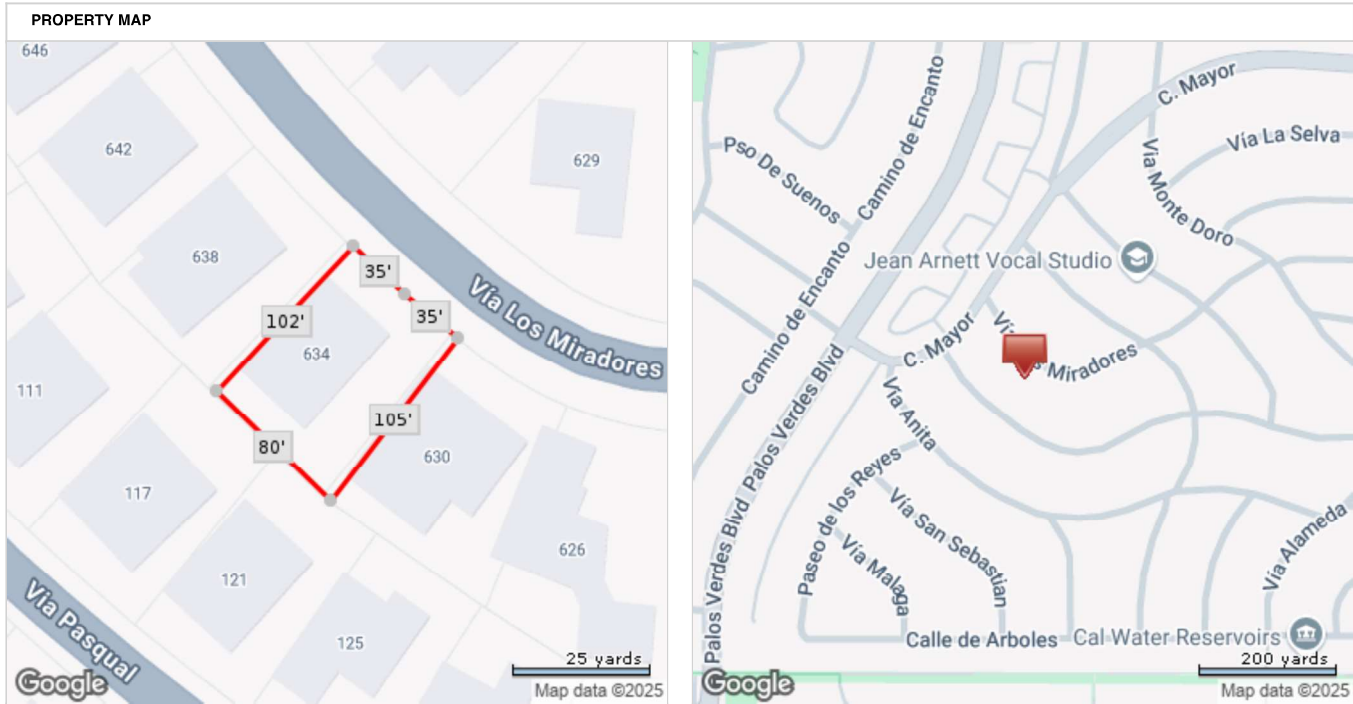
<b>LAST MARKET SALE &amp; SALES HISTORY</b>			
Recording Date	11/03/2000	Sale Type	Full
Sale Date	08/07/2000	Deed Type	Grant Deed
Sale Price	\$740,000	Owner Name	Young Donald A Jr
Price Per Square Feet	\$474.36	Owner Name 2	Young Archambeau Randi L
Document Number	<a href="#">1726083</a>	Seller	Jolley Trust

Recording Date	12/29/2009	04/29/2003	11/03/2000	11/04/1998	11/04/1997
Sale Date	12/22/2009	04/18/2003	08/07/2000	10/07/1998	10/29/1997
Sale Price			\$740,000		
Nominal	Y	Y		Y	Y
Buyer Name	Young Donald A Jr	Young Donald A Jr & R andi L A	Young Donald A Jr & R andi L A	Jolley Trust	Jolley Norman V & Cynthia L
Seller Name	Young Donald A Jr	Young Donald A Jr	Jolley Trust	Jolley Norman V & Cynthia	Jolley Trust
Document Number	1977907	1207551	1726083	2025976	1752487
Document Type	Grant Deed	Quit Claim Deed	Grant Deed	Grant Deed	Deed

Recording Date		11/04/1997		02/04/1988
Sale Date		10/29/1997		11/1987
Sale Price				\$375,000
Nominal				
Buyer Name		Jolley Norman V & Cynthia L		Jolley Norman Val & Cynthia L
Seller Name		Jolley Trust		Hafer Norma R
Document Number		1752487		155776
Document Type		Deed		Grant Deed

MORTGAGE HISTORY					
Mortgage Date	02/02/2021	08/09/2012	04/02/2012	02/18/2011	12/29/2009
Mortgage Amount	\$536,500	\$200,000	\$600,000	\$607,000	\$610,000
Mortgage Lender	Loandepot.com LLC	Wells Fargo Bk Na	Interbank Mtg	Bank Of America	Bank Of America
Mortgage Code	Conventional	Conventional	Conventional	Conventional	Conventional

Mortgage Date	02/28/2007	01/05/2007	05/25/2006
Mortgage Amount	\$300,000	\$633,000	\$630,000
Mortgage Lender	Countrywide Hm Lns Inc	Countrywide Hm Lns Inc	Countrywide Hm Lns Inc
Mortgage Code	Conventional	Conventional	Conventional



\*Lot Dimensions are Estimated

**G o m e z ,   Y o l a n d a**

---

**F r o m :** Jeff Amberg <[REDACTED]>  
**S e n t :** Thursday, January 16, 2025 1:49 PM  
**T o :** Gomez, Yolanda  
**S u b j e c t :** 634 Via Los Miradores flags/construction  
**A t t a c h m e n t s :** PropertyDetails\_634\_Via\_Los\_Miradores\_Redondo\_Beach.pdf

Hi Yolanda,


From The Ambergs residing at 630 Via Los Miradores:  
We definitely will lose white water/ blue water views. Also it will encroach further towards our home/privacy. There is an obvious potential for destabilizing our hillside. The property has an attic space being used as living space. The roof is higher than the hillside overlay standards currently. We don't want more structure added to what appears to be a "higher than allowed in the overlay, unpermitted" portion of the original building. Looks to be 2000 sq. ft. now. Should be 1560 square feet according to public records. I added the property profile. Looking forward to any information/plans you can bring on Tuesday 10:00 a.m.

Thank you

**Jeff Amberg**  
<https://ambergrealestate.com>  
310-404-4059  
DRE#01292123  
[REDACTED]

**634 Via Los Miradores, Redondo Beach, CA 90277-6633, Los Angeles County**

APN: 7512-020-004 CLIP: 7347152034

	Bed	Full Baths	Half Baths	Sale Price	Sale Date
	<b>3</b>	<b>3</b>	<b>N/A</b>	<b>\$740,000</b>	<b>08/07/2000</b>
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	<b>1,560</b>	<b>7,723</b>	<b>1954</b>	<b>SFR</b>	

OWNER INFORMATION			
Owner Name	Young Donald A Jr	Tax Billing Zip	90277
Owner Name 2	Young Archambeau Randi L	Tax Billing Zip+4	6633
Mail Owner Name	Donald A & Archambeau Randi L Young	Owner Vesting	Husband/Wife
Tax Billing Address	634 Via Los Miradores	Owner Occupied	Yes
Tax Billing City & State	Redondo Beach, CA		

COMMUNITY INSIGHTS			
Median Home Value	\$1,930,849	School District	TORRANCE UNIFIED
Median Home Value Rating	10 / 10	Family Friendly Score	79 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	36 / 100	Walkable Score	76 / 100
Total Incidents (1 yr)	159	Q1 Home Price Forecast	\$2,011,061
Standardized Test Rank	94 / 100	Last 2 Yr Home Appreciation	14%

LOCATION INFORMATION			
Zip Code	90277	Comm College District Code	El Camino
Carrier Route	C052	Census Tract	6513.02
Zoning	TORR-LO	Topography	Rolling/Hilly
Tract Number	19305	Within 250 Feet of Multiple Flood Zone	No
School District	Torrance		

TAX INFORMATION			
APN	7512-020-004	Tax Area	9359
Exemption(s)	Homeowner	Lot	57
% Improved	36%	Water Tax Dist	Southern California
Legal Description	TRACT # 19305 LOT 57		

ASSESSMENT & TAX			
Assessment Year	2024	2023	2022
Assessed Value - Total	\$1,093,184	\$1,071,750	\$1,050,736
Assessed Value - Land	\$699,494	\$685,779	\$672,333
Assessed Value - Improved	\$393,690	\$385,971	\$378,403
YOY Assessed Change (\$)	\$21,434	\$21,014	
YOY Assessed Change (%)	2%	2%	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	\$11,848		
2022	\$11,997	\$149	1.26%
2023	\$12,158	\$161	1.34%

Special Assessment	Tax Amount
Safe Clean Water83	\$90.11
Flood Control 62	\$33.46
Rposd Measure A 83	\$28.23
Torranceld99-190	\$7.30
Mwdstandby#1186	\$12.22
Sbcsandist56	\$75.00
Trauma/Emerg Srv86	\$78.00
Lawestmosqab31	\$13.95
<b>Total Of Special Assessments</b>	<b>\$338.27</b>

CHARACTERISTICS			
County Land Use	Single Family Resid	Sewer	Type Unknown

Universal Land Use	SFR	Heat Type	Central
Lot Frontage	75	Garage Type	Parking Avail
Lot Depth	103	Parking Type	On Site
Lot Acres	0,1773	Parking Spaces	2
Lot Area	7,723	Roof Material	Wood Shake
Lot Shape	Irregular	Roof Shape	Gable
Style	Conventional	Interior Wall	Plaster
Building Sq Ft	1,560	Exterior	Stucco
Stories	1	Floor Cover	Hardwood
Total Units	1	Foundation	Raised
Total Rooms	5	Year Built	1954
Bedrooms	3	Effective Year Built	1957
Total Baths	3	Other Impvs	Fence
Full Baths	3	Building Type	Type Unknown
Fireplaces	1	# of Buildings	1

<b>SELL SCORE</b>			
Rating	Moderate	Value As Of	2025-01-12 04:32:16
Sell Score	560		

<b>ESTIMATED VALUE</b>			
RealAVM™	\$2,561,900	Confidence Score	79
RealAVM™ Range	\$2,301,500 - \$2,822,400	Forecast Standard Deviation	10
Value As Of	01/06/2025		

(1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.

(2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.

(3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

<b>RENTAL TRENDS</b>			
Estimated Value	5801	Cap Rate	1.4%
Estimated Value High	7101	Forecast Standard Deviation (FSD)	0.22
Estimated Value Low	4501		

(1) Rental Trends is a CoreLogic® derived value and should be used for information purposes only.

(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

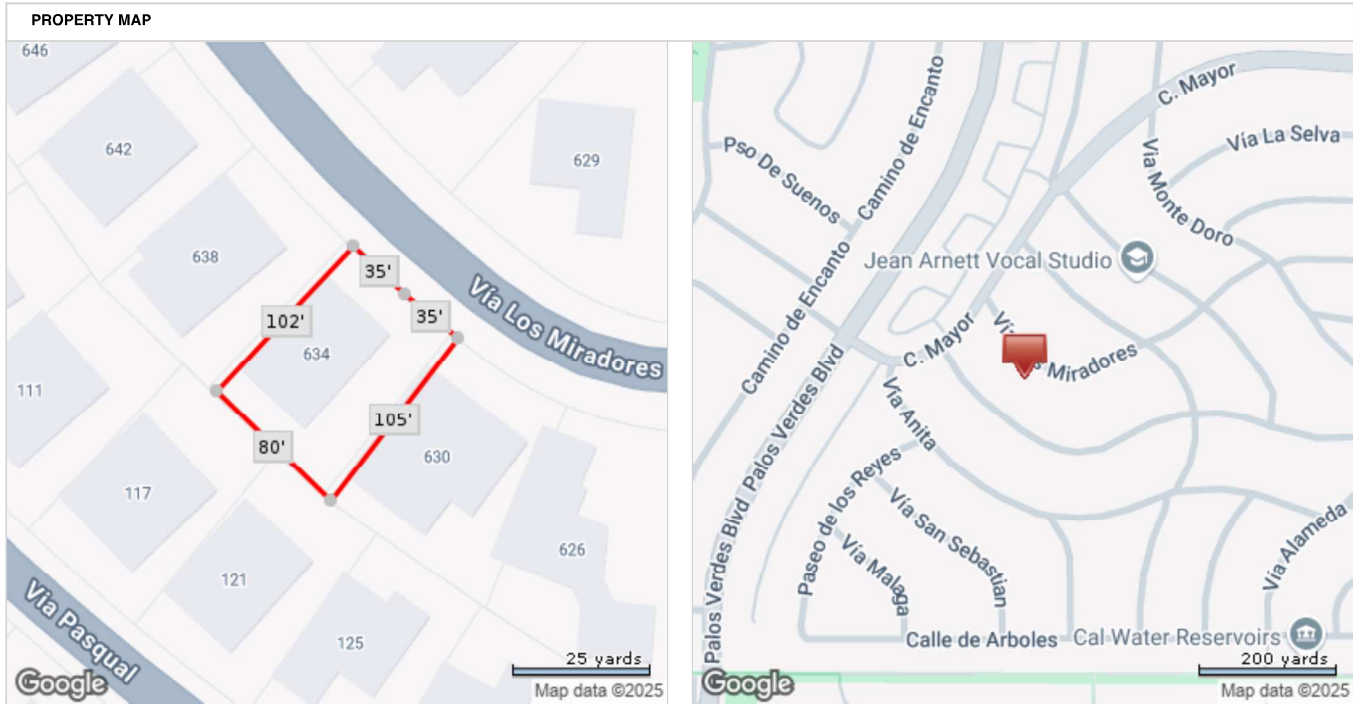
<b>LAST MARKET SALE &amp; SALES HISTORY</b>			
Recording Date	11/03/2000	Sale Type	Full
Sale Date	08/07/2000	Deed Type	Grant Deed
Sale Price	\$740,000	Owner Name	Young Donald A Jr
Price Per Square Feet	\$474.36	Owner Name 2	Young Archambeau Randi L
Document Number	<a href="#">1726083</a>	Seller	Jolley Trust

Recording Date	12/29/2009	04/29/2003	11/03/2000	11/04/1998	11/04/1997
Sale Date	12/22/2009	04/18/2003	08/07/2000	10/07/1998	10/29/1997
Sale Price			\$740,000		
Nominal	Y	Y		Y	Y
Buyer Name	Young Donald A Jr	Young Donald A Jr & R andi L A	Young Donald A Jr & R andi L A	Jolley Trust	Jolley Norman V & Cynthia L
Seller Name	Young Donald A Jr	Young Donald A Jr	Jolley Trust	Jolley Norman V & Cynthia L	Jolley Trust
Document Number	1977907	1207551	1726083	2025976	1752487
Document Type	Grant Deed	Quit Claim Deed	Grant Deed	Grant Deed	Deed

Recording Date		11/04/1997		02/04/1988
Sale Date		10/29/1997		11/1987
Sale Price				\$375,000
Nominal				
Buyer Name		Jolley Norman V & Cynthia L		Jolley Norman Val & Cynthia L
Seller Name		Jolley Trust		Hafer Norma R
Document Number		1752487		155776
Document Type		Deed		Grant Deed

MORTGAGE HISTORY					
Mortgage Date	02/02/2021	08/09/2012	04/02/2012	02/18/2011	12/29/2009
Mortgage Amount	\$536,500	\$200,000	\$600,000	\$607,000	\$610,000
Mortgage Lender	Loandepot.com LLC	Wells Fargo Bk Na	Interbank Mtg	Bank Of America	Bank Of America
Mortgage Code	Conventional	Conventional	Conventional	Conventional	Conventional

Mortgage Date	02/28/2007	01/05/2007	05/25/2006
Mortgage Amount	\$300,000	\$633,000	\$630,000
Mortgage Lender	Countrywide Hm Lns Inc	Countrywide Hm Lns Inc	Countrywide Hm Lns Inc
Mortgage Code	Conventional	Conventional	Conventional



\*Lot Dimensions are Estimated

**G o m e z , Y o l a n d a**

---

**F r o m :** Kurt Antonius <[REDACTED]>  
**S e n t :** Tuesday, January 21, 2025 12:24 PM  
**T o :** Gomez, Yolanda  
**S u b j e c t :** Revised Letter from 125 Via Pasqual RE:634 Via Miradores  
**A t t a c h m e n t s :** front yard view #2.jpeg; front yard view.jpeg; City Planning Letter 11625.docx; Revised City Planning Letter 11625.docx

P l e a s e s e e m y a t t a c h e d l e t t e r . P l e a s e l e t m e k n o

T h a n k Y o u .

K u r t A n t o n i u s

1 2 5 V i a P a s q u a l  
R e d o n d o B e a c h , C A  
9 0 2 7 7  
[REDACTED]





REVISED LETTER 1/21/25

January 16, 2025

Yolanda Gomez  
Planning Associate  
Community Development Dept.  
City of Torrance

Dear Yolanda,

Thank you for taking the time to speak with regarding our issues for the proposed development at 634 Via Los Miradores, which is located behind our home.

Issue # 1

My worry is that the proposed construction of a Pergola will partially obstruct our blue water ocean view. It is obstructing some of our blue water views from our back patio and living room.

It is also partially obstructing our views of the city from the corner of our front yard. If the **Pergola was lowered 2.0 feet**, I believe this would solve the issue of our views from the patio and living room.

Back yard patio view



Issue #2

I believe the house addition on the east side of the proposed house addition is obstructing a large part of our view of the city and distant mountains, from the west end of the front lawn. **More than 50% of our city view will be eliminated both during the day and at night** when we enjoy the lights of the city. This view is from an area of the front lawn where we often sit on the bench or stand to enjoy the views.

Standing view front yard

Sitting view front yard



Mind you, this proposed construction project is not causing massive obstructions but our concern is that over time, as more construction in the area continues, it will slowly chip away at our ocean and city views. We have learned this from previous constructions over the years. Furthermore, as my ocean view is diminished over time, the value of our home decreases.

Thank you for looking into this matter.

Kurt and Susan Antonius  
125 Via Pasqual  
Redondo Beach, CA 90277

Attached to my email are my original photos.

REVISED LETTER 1/21/25

January 16, 2025

Yolanda Gomez  
Planning Associate  
Community Development Dept.  
City of Torrance

Dear Yolanda,

Thank you for taking the time to speak with regarding our issues for the proposed development at 634 Via Los Miradores, which is located behind our home.

Issue # 1

My worry is that the proposed construction of a Pergola will partially obstruct our blue water ocean view. It is obstructing some of our blue water views from our back patio and living room.

It is also partially obstructing our views of the city from the corner of our front yard. If the **Pergola was lowered 2.0 feet**, I believe this would solve the issue of our views from the patio and living room.

Back yard patio view



Issue #2

I believe the house addition on the east side of the proposed house addition is obstructing a large part of our view of the city and distant mountains, from the west end of the front lawn. **More than 50% of our city view will be eliminated both during the day and at night** when we enjoy the lights of the city. This view is from an area of the front lawn where we often sit on the bench or stand to enjoy the views.

Standing view front yard

Sitting view front yard



Mind you, this proposed construction project is not causing massive obstructions but our concern is that over time, as more construction in the area continues, it will slowly chip away at our ocean and city views. We have learned this from previous constructions over the years. Furthermore, as my ocean view is diminished over time, the value of our home decreases.

Thank you for looking into this matter.

Kurt and Susan Antonius  
125 Via Pasqual  
Redondo Beach, CA 90277

Attached to my email are my original photos.

January 16, 2025

Yolanda Gomez  
Planning Associate  
Community Development Dept.  
City of Torrance

Dear Yolanda,

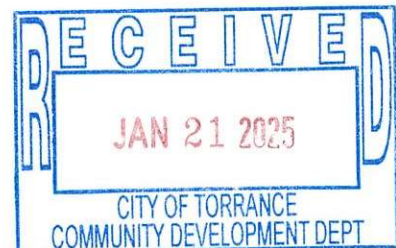
Thank you for taking the time to speak with me today regarding our issues for the proposed development at 634 Via Los Miradores, which is located behind our home.

My worry is that the proposed construction of a Pergola will partially obstruct our blue water ocean view. Mind you, it is not a major obstruction but our concern is that over time, as more construction in the area continues, it will slowly chip away at our ocean views. Furthermore, as my ocean view is diminished over time, the value of our home decreases.

We have already lost a large portion of our city view due to the erection of a glass wind barrier.

Thank you for looking into this matter.

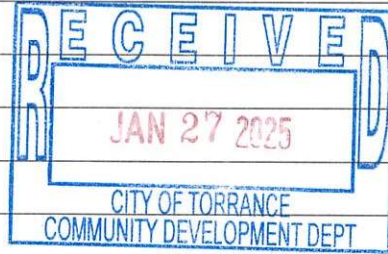
[REDACTED]  
Kurt and Susan Antonius  
125 Via Pasqual  
Redondo Beach, CA 90277



Hi Yolanda,

For the meeting

re: 634 Via Esmeraldas



125 Via Pasqual

**Ocean View from Patio**



**City/Mtn view from Front Yard**



## Gomez, Yolanda

---

**From:** Kurt Antonius <[REDACTED]>  
**Sent:** Thursday, January 23, 2025 5:01 PM  
**To:** Gomez, Yolanda  
**Subject:** Letter from my Neighbor re: 634 Via Los Miradores  
**Attachments:** marcella letter.pdf

Yolanda,

Here is a letter I typed for my 97 yr old neighbor.  
She lives across the street at 126 Via Pasqual.

Kurt

Jan 22,2025

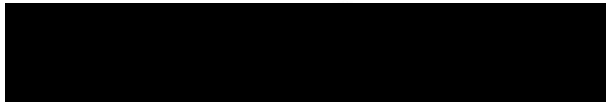
Yolanda Gomez  
Planning Associate  
Community Development Dept.

Dear Ms. Gomez,

My name is Marcella Doran and I reside at 126 Via Pasqual. I am the original owner of the home since 1954. The proposed construction on 634 Via Miradores is taking away some of my view and I object to the construction

As I am 97 years old, I have asked my neighbor, Kurt Antonius, to take this photo and write this letter. Thank you.

Marcella Doran



## Gomez, Yolanda

---

**From:** Kurt Antonius <[REDACTED]>  
**Sent:** Monday, January 27, 2025 9:53 AM  
**To:** Gomez, Yolanda  
**Subject:** Re: Letter from my Neighbor re: 634 Via Los Miradores

Yolanda,

Marcella's mobile number is: [REDACTED]  
Address is 126 Via Pasqual.

FYI, I am mailing 16 color copies of the photos I took last week from my home.

Thanks,

Kurt

On Mon, Jan 27, 2025 at 9:22 AM Gomez, Yolanda <[YGomez@torranceca.gov](mailto:YGomez@torranceca.gov)> wrote:

Hello Kurt,

Please provide Marcella Doran's contact info, phone number and/or email address, in order for us to contact her immediately, to confirm this letter is from her and to also schedule an immediate site visit to her home, so that Planning Staff can observe the noted concerns. That inspection must be held early this week, as the hearing date is scheduled next week, should she want us to discuss her concerns in our Analysis Report.

Regards,  
Yolanda  
310.618.5862 direct line



**YOLANDA GOMEZ**  
Planning Associate  
Community Development Department  
📞 310-618-5862  
@YGomez@TorranceCA.Gov  
📍 3031 Torrance Blvd. | Torrance, CA 90503  
🌐 [TorranceCA.Gov](http://TorranceCA.Gov)    📘 [Facebook](#)  
📧 [X \(Formerly Twitter\)](#)    📷 [Instagram](#)

**SEE WHAT TORRANCE IS DOING**

This email, and any attachments to it, may contain confidential information and is intended for the sole use of the intended recipient(s). If you are not the intended recipient, or believe that you may have received this email in error, please notify the sender and delete this email and any attachments. Any review, reliance, disclosure, copying, storing, distribution, forwarding without express permission, or use of the contents of the information received in error is strictly prohibited.

---

**From:** Kurt Antonius <[REDACTED]>  
**Sent:** Thursday, January 23, 2025 5:01 PM  
**To:** Gomez, Yolanda <[YGomez@TorranceCA.Gov](mailto:YGomez@TorranceCA.Gov)>  
**Subject:** Letter from my Neighbor re: 634 Via Los Miradores

You don't often get email from [skantonius@gmail.com](mailto:skantonius@gmail.com). [Learn why this is important](#)

Yolanda,

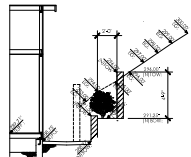
Here is a letter I typed for my 97 yr old neighbor.  
She lives across the street at 126 Via Pasqual.

Kurt

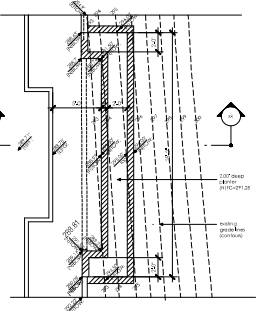
**ITEM 8C**  
**ATTACHMENT 7**  
**PROJECT PLANS**

VIA LOS MIRADORES

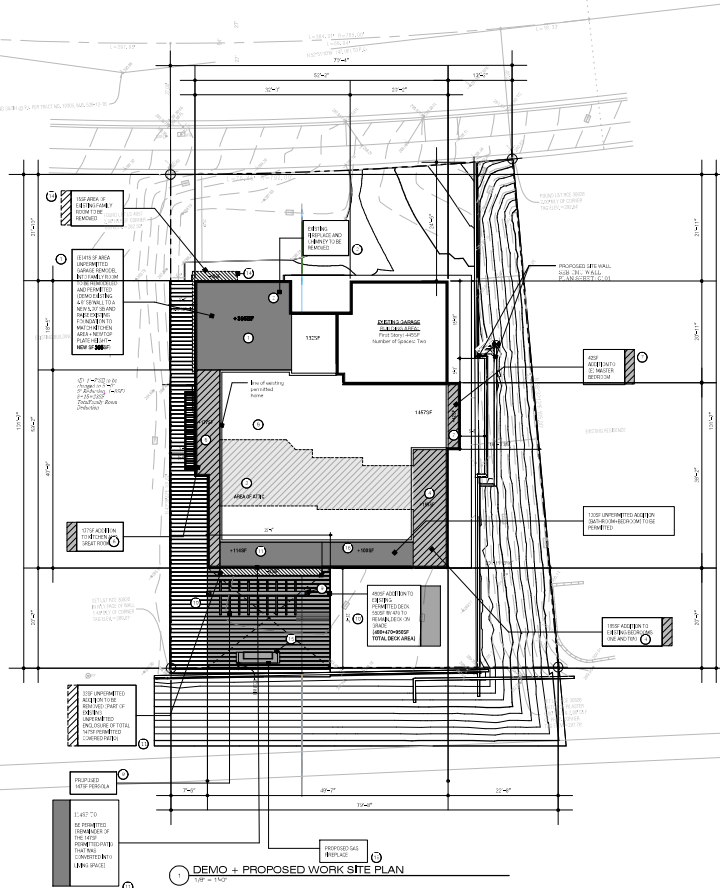
1/25/2017



cross section xx  
SCALE: 1/4" = 1'-0"



cmu wall plan  
SCALE: 1/4" = 1'-0"



**LOT COVERAGE CALCULATIONS**

TOTAL	
Lot Area (sq ft)	10,000
Building Footprint (sq ft)	2,500
Driveway (sq ft)	1,000
Pool (sq ft)	500
Other (sq ft)	1,000
<b>Total Building Area (sq ft)</b>	<b>5,000</b>
<b>Lot Coverage (%)</b>	<b>50%</b>



**LD**  
LDB GROUP INC.  
11000 S. HAYWARD AVE., SUITE 100  
DUBLIN, CA 94568  
TEL: 925.835.1234  
WWW.LDBGROUP.COM

---

**PROJECT INFORMATION:**

OWNER: [REDACTED]  
 PROJECT: [REDACTED]  
 ADDRESS: [REDACTED]  
 CITY: [REDACTED]  
 COUNTY: [REDACTED]  
 ZONING: [REDACTED]  
 PROJECT TYPE: [REDACTED]

---

**DESIGNER INFORMATION:**

DATE: [REDACTED]  
 DRAWN BY: [REDACTED]  
 CHECKED BY: [REDACTED]  
 PROJECT NUMBER: [REDACTED]

---

**REVISIONS:**

NO.	DESCRIPTION
1	[REDACTED]
2	[REDACTED]
3	[REDACTED]
4	[REDACTED]
5	[REDACTED]
6	[REDACTED]
7	[REDACTED]
8	[REDACTED]
9	[REDACTED]
10	[REDACTED]
11	[REDACTED]
12	[REDACTED]
13	[REDACTED]
14	[REDACTED]
15	[REDACTED]

---

**PROJECT TITLE:**  
[REDACTED]

---

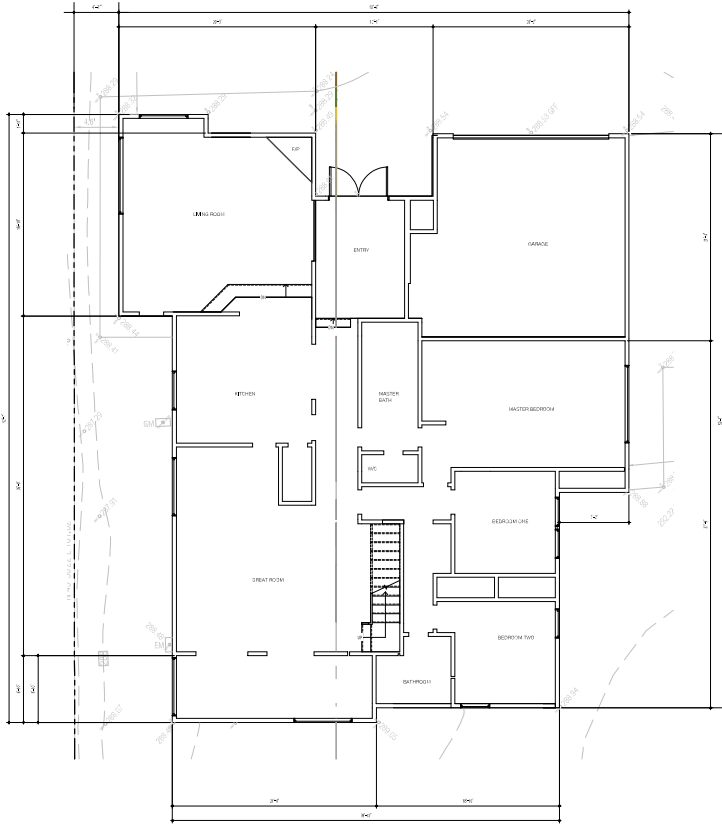
**PROJECT ADDRESS:**  
[REDACTED]

---

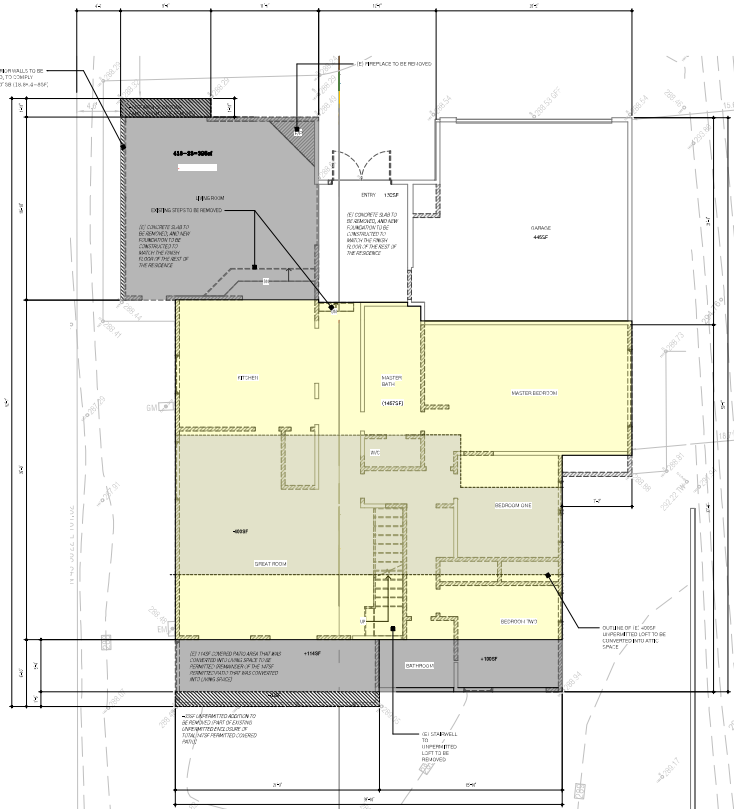
**STATUS:** [REDACTED]  
**DATE:** [REDACTED]  
**REV:** [REDACTED]  
**CASE #:** [REDACTED]

---

**SHEET TITLE:**  
**C101**  
SITE PLAN



2 First Floor Architectural Plan - Existing

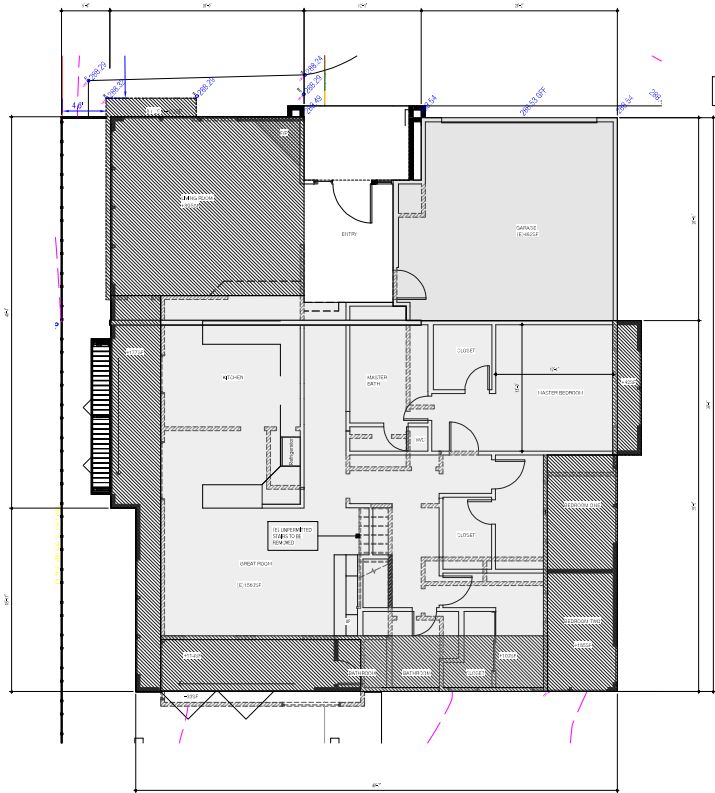


1 First Floor Architectural Plan - Existing + Demo

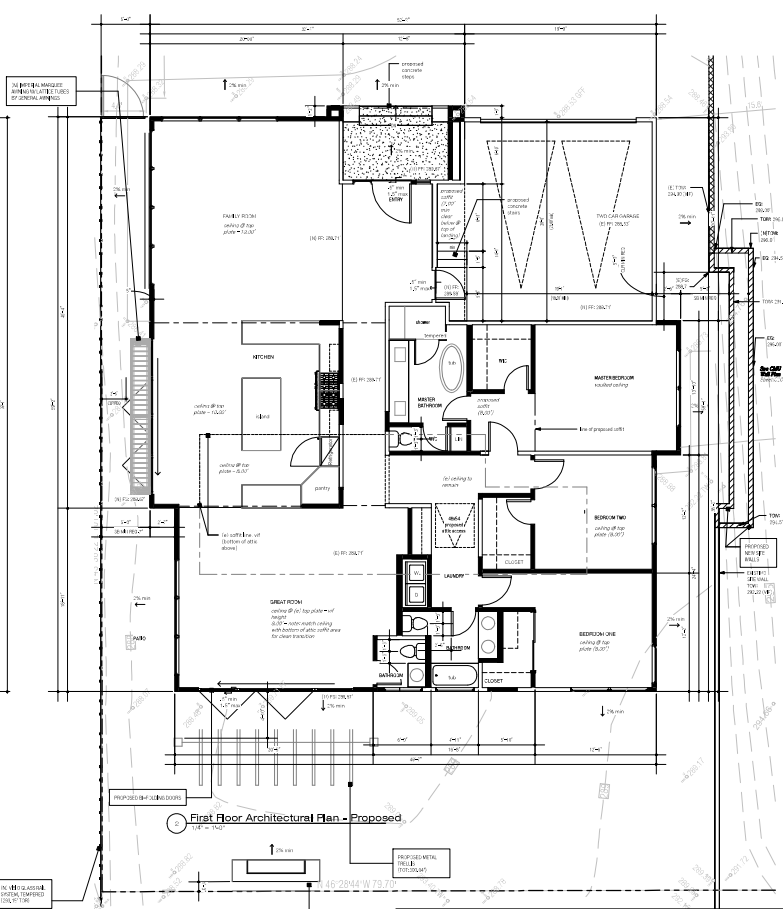


N 45° 28' 44\"/>

OWNER:	RANDI AND DONALD YOUNG
ADDRESS:	634 VIA LOS MIRADORES, REDONDO BEACH, CA 90277
<b>LOERA • DESIGNS</b>	
ARCHITECTS • INTERIORS • LANDSCAPE ARCHITECTS • CIVIL ENGINEERS	
A100	



1 First Floor Architectural Plan - Demo + Proposed  
(1/8" = 1'-0")



2 First Floor Architectural Plan - Proposed  
(1/8" = 1'-0")

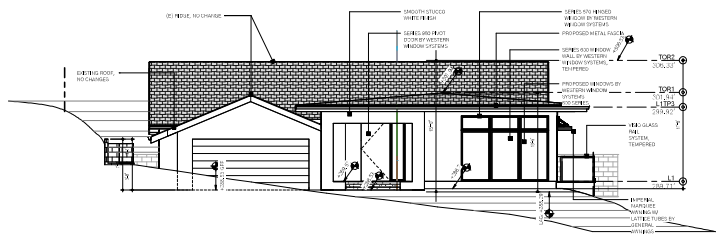
ALL OTHER WALLS AND PARTITIONS TO REMAIN UNLESS OTHERWISE NOTED

1. 1/2" MINIMUM PARTIAL FINISHED CONCRETE

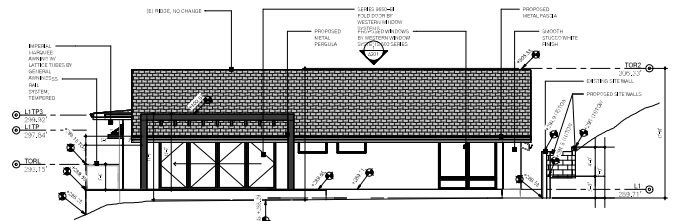
PROPOSED 1/2" MINIMUM PARTIAL FINISHED CONCRETE

OWNER: RANJAN DONALD YOUNG  
 ADDRESS: 634 VIA LOS MIRADORES, REDDING BEACH, CA 90277  
**LOERA • DESIGNS**  
 ARCHITECTS AND INTERIORS

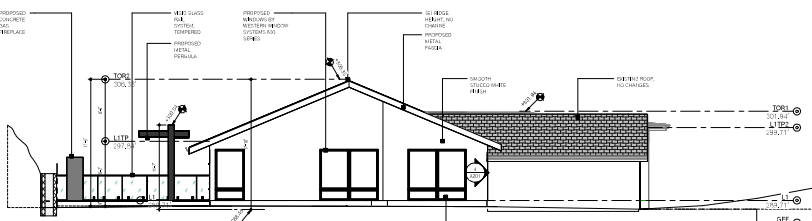
A101



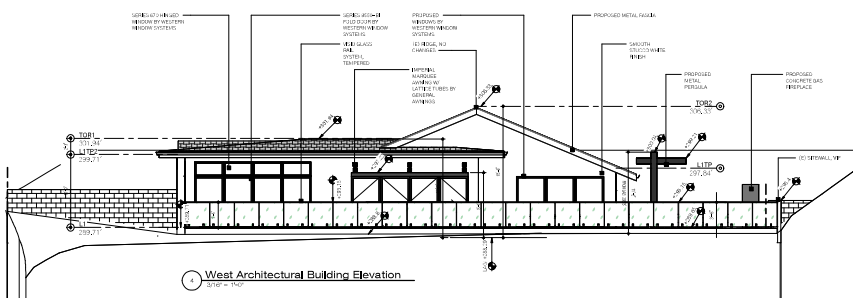
1 North Architectural Building Elevation



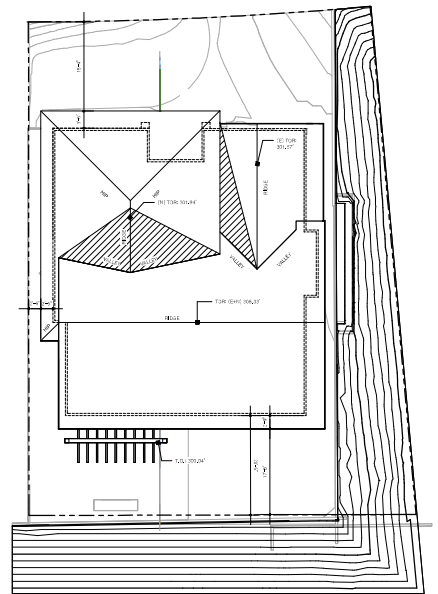
2 South Architectural Building Elevation



3 East Architectural Building Elevation



4 West Architectural Building Elevation



5 Roof Plan - Proposed

OWNER:	RANDI AND DONALD YOUNG
ADDRESS:	634 VIA LOS MIRADORES, REDONDO BEACH, CA 90277
<b>LOERA • DESIGNS</b>	
ARCHITECTURAL • INTERIOR DESIGN • LANDSCAPE ARCHITECTURE • CIVIL ENGINEERING	
A201	

**AGENDA ITEM NO. 8D**

**DATE:** February 5, 2025  
**TO:** Planning Commission  
**FROM:** Kevin Joe, Planning Associate  
Oscar Martinez, Planning Manager  
**SUBJECT:** Land Use Study LUS24-00005

Consideration of proposed amendments to the Torrance Municipal Code pertaining to Target Density for all zoning districts Citywide which allow residential or mixed-use development. This item is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15162 Subsequent EIRs and Negative Declarations (a)(3).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and direct staff:

- A. Forward the draft Ordinance amending the Torrance Municipal Code, as presented, to the City Council for consideration; or
- B. Modify or add to the draft Ordinance amending the Torrance Municipal Code, as directed, and forward to the City Council of consideration.

**EXECUTIVE SUMMARY**

Staff recommends an amendment to the Torrance Municipal Code to establish target residential density for the buildout of proposed residential development. The target residential density is a minimum density which should be considered for all zones which allow residential and mixed-use development. This target density ordinance will implement a program of the certified Housing Element to ensure that there is adequate capacity to accommodate the City’s Regional Housing Needs Allocation (RHNA).

**DISCUSSION**

**Environmental Determination**

The City Council adopted an Initial Study and Negative Declaration (ND) that were prepared in conjunction with the Housing Element 6<sup>th</sup> RHNA Cycle Update. No substantial changes are proposed under the project (an Ordinance to establish target residential density) and there are no substantial changes in circumstances under which the project will be undertaken that will require major revisions to the previously approved Negative Declaration due to the involvement of no new significant environmental effects, or a substantial increase in the severity of previously identified significant effects. There is no “new information of substantial importance: as that term is used in CEQA Guideline Section 15162 (a)(3). Therefore, the previous adopted ND adequately discusses the potential impacts of the project.

## Background and Analysis

On June 14, 2022, the City Council adopted the Housing Element Update for the 6<sup>th</sup> RHNA Cycle for the 2021 to 2029 planning period, which was deemed compliant with State housing law and certified by the California Department of Housing and Community Development (HCD). The Housing Element of the General Plan establishes expected densities for potential housing sites identified in Table C-1: Sites Inventory. These expected densities will serve as the target density for proposed housing developments for these sites.

This Ordinance will add a new Section 91.3.4 entitled “Target Residential Density” to the Torrance Municipal Code to facilitate the densities identified in the Housing Element Sites Inventory for the zoning designations that implement the following General Plan Land Use Designations: Low Density Residential (R-LO), Low-Medium Density Residential (R-LM), Medium Density Residential (R-MD), Medium-High Density Residential (R-MH), High Density Residential (R-HI), Residential Office (R-OF), General Commercial (C-GEN), Downtown Mixed-Use (DMU), Commercial Center (C-CTR), and Public/Quasi-Public/Open Space (PUB). These Target Residential Densities will enable the City to provide adequate sites to accommodate our RHNA obligation of 4,939 units for the 2021 to 2029 6<sup>th</sup> Cycle planning period.

In order for the Housing Element to be certified by HCD, a city must demonstrate that there adequately zoned sites identified in their housing Sites Inventory with the capacity to accommodate their RHNA and establish programs to ensure that adequate sites are provided throughout the 6<sup>th</sup> Cycle. The RHNA is not an obligation to construct housing, however a city is required to provide adequate sites throughout the cycle to meet the RHNA by income category. Should there be a net loss of capacity due to sites being developed below the target density and where the Sites Inventory can no longer fulfil the remaining RHNA, the City would be required to identify replacement sites to make up the shortfall. The City could face penalties and fines ranging from \$10,000 to \$100,000 per month if it is found not to be in substantial compliance with their Housing Element programs or the Sites Inventory cannot accommodate our RHNA obligation.

The target densities are established in the Housing Element on Table H-57: Assumed Target Densities for Capacity Estimates of the Housing Element and Table C-1: Sites Inventory and are summarized below.

<b>General Plan Land Use Designation</b>	<b>Existing Density Range (du/ac)</b>	<b>Target Density (du/ac)</b>
Low Density Residential (R-LO)	0-9	6.8
Low-Medium Density Residential (R-LM)	9-18	13.5
Medium Density Residential (R-MD)	18-31	23.25
Medium-High Density Residential (R-MH)	31-44	33
High Density Residential (R-HI)	44+	45
Residential Office (R-OF)	18-31	23.25
General Commercial (C-GEN)	Up to 44	33
Commercial Center (C-CTR)	No maximum	36
Public/Quasi-Public/ Open Space (PUB)*	Not specified	23.25 & 45

\*covers the El Camino College parking lot and churches with Religious Institution Housing Overlay or Mixed-Use Overlay

The target density is equivalent to 75% of the maximum density allowed under each Land Use Designation category. To promote the development of multi-family housing on residentially designated sites at or above the target density, the City may consider establishing incentives for development at or above the target density or disincentives for development below the target density. The target density will also be a tool for monitoring adequate sites and no net loss in capacity to accommodate the City's RHNA obligation as required by State law.

### **PUBLIC NOTICE**

Pursuant to AB 2904, notices of the public hearing were made no less than 20 calendar days before the Planning Commission meeting. Notices were published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage on January 15, 2025, 20 calendar days before the Planning Commission meeting.

### **DRAFT CODE AMENDMENTS**

The draft Ordinance that contains amendments to the Torrance Municipal Code is attached. The proposed Ordinance would add TMC 91.3.4 related to Target Residential Density.

### **ATTACHMENTS**

1. Draft Ordinance

### **STAFF CONTACT**

Kevin Joe, Planning Associate  
[KJoe@TorranceCA.gov](mailto:KJoe@TorranceCA.gov)

Oscar Martinez, Planning Manager  
[OMartinez@TorranceCA.gov](mailto:OMartinez@TorranceCA.gov)

**ITEM 8D**  
**ATTACHMENT 1**  
DRAFT ORDINANCE

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TORRANCE, CALIFORNIA, AMENDING CHAPTER 1, ARTICLE 2 OF DIVISION 9 OF THE TORRANCE MUNICIPAL CODE BY ADDING A NEW SECTION 91.2.180 AND AMENDING CHAPTER 1, ARTICLE 3 OF THE DIVISION 9 BY ADDING A NEW SECTION 91.3.4 PERTAINING TO TARGET RESIDENTIAL DENSITY.**

**LUS24-00005: CITY OF TORRANCE**

**WHEREAS**, the City Council of the City of Torrance adopted a Housing Element Update for the 6<sup>th</sup> Cycle 2021 to 2029 Planning Period on June 14, 2022, which has been deemed compliant with state housing law by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, Program 1, Objective 4 of the Housing Element mandated an ordinance regarding the production of housing at or above the expected densities identified in the Land Use Element; and

**WHEREAS**, the City Council adopted an Initial Study and Negative Declaration (ND) that were prepared in conjunction with the Housing Element Update; and

**WHEREAS**, no substantial changes are proposed under the project (an Ordinance to establish target residential density) and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previously approved Negative Declaration due to the involvement of new significant environmental effects, or a substantial increase in the severity of previously identified significant effects. There is no “new information of substantial importance” as that term is used in CEQA Guidelines Section 15162 (a)(3). Therefore, the previously adopted ND adequately discusses the potential impacts of the project.

**WHEREAS**, the City Council of the City of Torrance hereby finds that the proposed amendment to the Torrance Municipal Code is consistent with the City’s General Plan Housing Element pursuant to §65860 of the State Government Code.

THE CITY COUNCIL OF THE CITY OF TORRANCE DOES HEREBY ORDAIN AS FOLLOWS:

**SECTION 1**

That a new Section 91.2.180 entitled “TARGET RESIDENTIAL DENSITY” shall be added to Article 2 of Chapter 1, of Division 9 of the Torrance Municipal Code I to read in its entirety as follows:

“91.2.180 TARGET RESIDENTIAL DENSITY.

The Housing Element of the General Plan establishes expected density for residential development in Figure C-1: Sites Inventory Grid Map. These expected densities will act as the target residential density for the buildout of the residential development identified in the Housing Element.”

**SECTION 2**

That a new Section 91.3.4 entitled "TARGET RESIDENTIAL DENSITY" shall be added to Article 3 of Chapter 1, of Division 9 of the Torrance Municipal Code to read in its entirety as follows:

"The Housing Element of the General Plan establishes expected density for residential development in Table C-1: Sites Inventory. These expected densities will act as the target residential density for the buildout of proposed residential development. The target residential density is the minimum density which should be considered for all residential, mixed-use, commercial, and public zones that implement the following General Plan Land Use Designations: Low Density Residential (R-LO), Low-Medium Density Residential (R-LM), Medium Density Residential (R-MD), Medium-High Density Residential (R-MH), High Density Residential (R-HI), Residential Office (R-OF), General Commercial (C-GEN), Downtown Mixed-Use (DMU), Commercial Center (C-CTR), and Public/Quasi-Public/Open Space (PUB)."

**SECTION 3**

Any provisions of the Torrance Municipal Code or its appendices, or any other ordinances of the City inconsistent with this ordinance to the extent of the inconsistencies and no further, are repealed.

**SECTION 4**

If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, the decision will not affect the validity of the remaining portions of the ordinance. The City Council declares that it would have passed this ordinance and each section, subsection, sentence, clause and phrase irrespective of the fact that anyone or more sections, subsections, sentences, clauses or phrases are declared invalid or unconstitutional.

**SECTION 5**

This ordinance shall take effect thirty (30) days after the date of its adoption. Within fifteen (15) days following adoption, this ordinance or a summary of this ordinance if authorized by the City Council, will be published at least once in the Daily Breeze, a newspaper of general circulation, published and circulated in the City of Torrance.

**INTRODUCED** and **APPROVED** this \_\_\_\_\_ day \_\_\_\_\_ 2025.

**ADOPTED** and **PASSED** this \_\_\_\_\_ day \_\_\_\_\_ 2025.

\_\_\_\_\_  
Mayor George Chen

APPROVED AS TO FORM:  
PATRICK Q. SULLIVAN, City Attorney

ATTEST:

By: \_\_\_\_\_  
Tatia Y. Strader, Assistant City Attorney

\_\_\_\_\_  
Rebecca Poirer, City Clerk

**AGENDA ITEM NO. 8E**

**DATE:** February 5, 2025

**TO:** Planning Commission

**FROM:** Kevin Joe, Planning Associate  
Oscar Martinez, Planning Manager

**SUBJECT:** Land Use Study LUS24-00006 – Religious Institution Housing Overlay Zone

Workshop to introduce proposed amendments to the Torrance Municipal Code pertaining to Religious Institution Housing Overlay Zone. This item is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15162 – Subsequent EIRs and Negative Declarations (a)(3).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a workshop to introduce proposed amendments to the Torrance Municipal Code pertaining to Religious Institution Housing Overlay Zone.

**DISCUSSION**

The Housing Element is one the seven required General Plan elements or chapters that is certified by the California Department of Housing and Community Development to ensure compliance with State housing law. The Housing Element serves as the comprehensive plan for promoting the production of safe, decent and affordable housing within the community. In accordance with State law, cities shall periodically update their Housing Element for each Regional Housing Needs Allocation (RHNA) cycle to accommodate for future housing growth for persons and households of all income levels. The establishment of Religious Institution Housing Overlay Zone (RIH-OZ) is one of the programs of the 6<sup>th</sup> RHNA Cycle (2021-2029) Housing Element Update that was adopted in June 2022 that helps provide for adequate sites to fulfill the City’s RHNA of 4,939 housing units. A city can face penalties and fines if it is found that the city is not in substantial compliance with their Housing Element.

The purpose of this workshop is to introduce the draft ordinance to create RIH-OZ (Attachment 1) to allow the Planning Commission time to review the ordinance prior to discussing the matter and making a recommendation to City Council. The Planning Commission will not be taking action on this item at this time. This item will be brought before the Planning Commission for your consideration at the next meeting on February 19<sup>th</sup>.

RIH-OZ will apply to 25 parcels (Attachment 2) that have been identified in the Housing Element Sites Inventory which are owned and operated by a religious institution. RIH-OZ will allow the development of single-family, two-family multi-family, and senior citizen housing uses by right without discretionary review with a maximum allowable density of 31 dwelling units per acre and target density of 23.25 dwelling units per acre. The development of housing pursued under the RIH-OZ standards is voluntary and uses permitted and development standards of the underlying zone will apply for uses and development not

pursued under the RIH-OZ. Housing units developed under the RIH-OZ must be affordable to lower income households (below 80% Area Median Income).

The development standards for RIH-OZ are established with two different categories: Sub-Group 1 comprised of sites under two acres and Sub-Group 2 comprised of sites two acres or larger. A summary of the proposed development standards is included below:

	<b>Sub-Group 1</b>	<b>Sub-Group 2</b>
<b>Maximum Density</b>	31 du/ac	31 du/ac
<b>Building Height</b>	35 feet  27 feet if building is within 20 feet of abutting R-1 District	50 feet  35 feet if building is within 20 feet of abutting R-1 District
<b>Building Stepbacks</b>	Buildings on lots adjacent to R-1 shall provide 5-foot setback for every additional 10 feet in height for building height above 30 feet	
<b>Front Setback</b>	10 feet  15 feet if front yard faces a major arterial or higher street classification	10 feet  15 feet if front yard faces a major arterial or higher street classification
<b>Side Yard Setback</b>	5 feet  10 feet if side yard is adjacent to R-1 or faces major arterial or higher street classification	10 feet  15 feet if side yard is adjacent to R-1
<b>Rear Yard Setback</b>	5 feet  10 feet if rear yard is adjacent to R-1	10 feet  20 feet if rear yard is adjacent to R-1
<b>Parking</b>	0.5 space per unit	1 space per unit

Development and compatibility standards, such as requiring additional building stepbacks for when the height exceeds 30 feet, property line fencing, privacy walls for balconies, and privacy glass for upper floor windows, have been incorporated in the draft Ordinance to provide protections to adjacent land uses.

**CONCLUSION**

The purpose of this item is to provide the Planning Commission with sufficient time to review and analyze the draft Ordinance for the RIH-OZ. As mentioned previously, this item will be brought before the Planning Commission for a public hearing and your consideration at the next meeting on February 19<sup>th</sup>.

## **ATTACHMENTS**

1. Draft RIH-OZ Ordinance
2. RIH-OZ Sites

## **STAFF CONTACT**

Kevin Joe, Planning Associate  
[KJoe@TorranceCA.gov](mailto:KJoe@TorranceCA.gov)

Oscar Martinez, Planning Manager  
[OMartinez@TorranceCA.gov](mailto:OMartinez@TorranceCA.gov)

**ITEM 8E**  
**ATTACHMENT 1**  
DRAFT RIH-OZ ORDINANCE

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF TORRANCE, CALIFORNIA, AMENDING SECTION 91.3.2 REGARDING DISTRICTS ESTABLISHED OF THE TORRANCE MUNICIPAL CODE AND ADDING CHAPTER 1, ARTICLE 52 OF DIVISION 9 SECTION 91.52 REGARDING RELIGIOUS INSTITUTION HOUSING OVERLAY ZONE.**

**LUS24-00006 CITY OF TORRANCE**

**WHEREAS**, City Council adopted a Housing Element Update on June 14, 2022, which has been deemed compliant with state housing law by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, Program 1, Objective 7 of the Housing Element mandated an ordinance to revise the Zoning Code and Zoning Map to create a Religious Institution Housing Overlay Zone on properties designated in the Sites Inventory to allow for new low income and mixed-use housing; and

**WHEREAS**, the City Council of the City of Torrance hereby finds that the proposed amendment to the Torrance Municipal Code is consistent with the City's General Plan Housing Element; and

**WHEREAS**, the City Council adopted an Initial Study and Negative Declaration (ND) that were prepared in conjunction with the Housing Element Update; and

**WHEREAS**, no substantial changes are proposed under the project (an Ordinance to establish Religious Institution Housing Overlay Zone) and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previously approved Negative Declaration (ND) due to the involvement of new significant environmental effects, or a substantial increase in the severity of previously identified significant effects. There is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162 (a)(3). Therefore, the previously adopted ND adequately discusses the potential impacts of the project; and

**WHEREAS**, the City Council of the City of Torrance hereby finds that the proposed amendment to the Torrance Municipal Code is consistent with the City's General Plan Housing Element pursuant to §65860 of the State Government Code.

THE CITY COUNCIL OF THE CITY OF TORRANCE DOES HEREBY ORDAIN AS FOLLOWS:

**SECTION 1**

That Section 91.3.2 entitled "District Established" shall be amended as follows:

**"91.3.2 DISTRICTS ESTABLISHED.**

In order to classify, regulate, construct and segregate the use of land and buildings, to regulate and restrict the height and bulk of buildings, and to regulate the area of yards and other open spaces about buildings, the following classes of districts are hereby established, which said several classes of districts are shown and delineated on that certain series of maps entitled "City of Torrance – Official Land Use Plan" which are hereby adopted and made a part of this Chapter by this reference:

R-1	Single family residence district
R-2	Two family residence district
R-3	Limited multiple family residence district
R-R-3	Restricted multiple family residence district
R-4	Unlimited multiple family residence district
R-5	Highrise residential district
L-P	Limited professional office district
R-3-3	Three-unit multiple-family residential district
A-1	Light agricultural district
C-1	Retail commercial district
C-2	General commercial district
C-3	Solely commercial district
C-4	Shopping center district
C-5	Conditional commercial district
C-R	Restricted commercial district
	Civic Center district
M-1	Light manufacturing district
M-2	Heavy manufacturing district
M-L	Limited manufacturing district
P-1	Open area – planting – parking
P-U	Public use district
HMD	Hospital-medical-dental district
RTH	Residential townhouse district
	<u>Downtown Torrance district</u>
R-H	Hillside and local coastal overlay zone
P-D	Planned development district
	<u>Madrona Marsh district</u>
	<u>Small lot, low-medium overlay zone</u>
<u>HBCSP</u>	<u>Hawthorne Boulevard Corridor Specific Plan Zone</u>
<u>ROO</u>	<u>Residential office overlay district</u>

C/RTO	Commercial/residential transition overlay district Downtown residential multiple-family residential district Torrance Tract overlay zone
HCO	Housing Corridor Overlay Zone
RIH-OZ	Religious institution housing overlay zone

**SECTION 2**

That Article 52 entitled “RIH-OZ Religious Institution Housing Overlay Zone” shall be added and to Chapter 1, Division 9 of the Torrance Municipal Code:

**“ARTICLE 52 – RIH-OZ RELIGIOUS INSTITUTION HOUSING OVERLAY ZONE**

**91.52.010 PURPOSE**

The Religious Institution Housing Overlay Zone creates opportunities for future affordable housing development on existing religious institutional land within the City of Torrance. The RIH-OZ was established as part of the implementation of the General Plan Housing Element and meeting the City’s Regional Housing Needs Assessment (RHNA) allocation. In addition to the General Plan Housing Element update, the Religious Institution Housing Overlay seeks to utilize State of California Senate Bill 4, signed into law on October 11, 2023, which permits housing as a use by right on lands owned by an independent institution of higher education or religious institution.

**91.52.020 APPLICABILITY**

The Religious Institution Housing Overlay Zone is applicable to geographic areas shown on the Torrance Zoning Map.

**91.52.030 RELATIONSHIP TO BASE ZONING DISTRICTS**

- a) The Religious Institution Housing Overlay Zone is applied over base zoning districts and is elective, rather than mandatory. New housing development projects would be permitted uses by right on religious institutional land and properties where the RIH-OZ is applied are required to either comply with the requirements of the base zoning district, or elect to comply with the requirements of the RIH-OZ. Existing standards applicable to all zoning districts (e.g. sign standards, fence/wall standards, parking design standards) will still apply to properties utilizing the RIH-OZ, unless specifically established by the RIH-OZ.
- b) When RIH-OZ regulations conflict with the standards of the base district, the less restrictive standards will prevail.

**91.52.040 PERMISSIBLE USES**

In the Religious Institution Housing Overlay Zone, the uses permitted in the base district are permitted. Additionally, the following uses are permitted:

- a) Single-family residence
- b) Multi-family residence
- c) Two-family residence

- d) Flat building, apartment house, bachelor apartment
- e) Bungalow court
- f) Multiple-family residence
- g) Multiple owner-occupied residential structures
- h) Senior citizen housing

#### **91.52.050 DEVELOPMENT STANDARDS**

The development standards of the Religious Institution Housing Overlay Zone are established with two different Sub-Groups.

Sub-Group 1 is comprised of sites under 2 acres.

Sub-Group 2 is comprised of sites 2 acres or larger.

Existing structures shall not be deemed nonconforming for not meeting the standards of the Religious Institution Housing Overlay Zone.

#### **91.52.060 DENSITY**

- a) The goal of the Religious Institution Housing Overlay Zone is to add very low-income and low-income housing in the City of Torrance on religious institutional grounds. The individual sites are listed by Appendix C: Sites Inventory, Table C-1.
- b) The maximum density shall be 31 dwelling units per acre.

#### **91.52.070 BUILDING HEIGHT**

- a) Sub-Group 1: The maximum building height shall be 35 feet; buildings within 20 feet of an abutting R-1 District are limited to 27 feet.
- b) Sub-Group 2: The maximum building height shall be 50 feet; buildings within 50 feet of an abutting R-1 District are limited to 35 feet.
- c) Buildings on lots adjacent to the R-1 District shall provide additional stepbacks for building height above 30 feet. Above 30 feet, the building shall provide a 5-foot stepback in the depth of the façade for every additional 10 feet of height, or fractional portion thereof.
- d) The following structures are allowed to exceed the established building height limit: skylights, chimneys, flagpoles, rooftop open space features (such as trellises and sun shades), elevator and stair towers, decorative features (such as spires, bell towers, cupolas, obelisks, and monuments), fire escapes and catwalks required by law, solar panels, building-mounted antennas and tele-communication facilities, ordinary plumbing or heater vents, and utilities.

#### **91.52.080 SETBACKS**

Encroachments such as decks, porches, and eave overhangs shall comply with the provisions of Division 9, Article 5 (Yards).

- a) Front Yard.
  - 1) Sub-Group 1: The front yard shall be 10 feet, unless the front yard faces a street identified as a major arterial or higher street classification in the Circulation Element, in which case the front yard shall be 15 feet.

- 2) Sub-Group 2: The front yard shall be 10 feet, unless the front yard faces a street identified as a major arterial or higher street classification in the Circulation Element, in which case the front yard shall be 15 feet.
- b) Side Yard
  - 1) Sub-Group 1: The side yard shall be 5 feet; or 10 feet where the side yard property line is adjacent to a property in the R-1 District, unless the side yard faces a street identified as a major arterial or higher street classification in the Circulation Element, in which case the side yard shall be 10 feet.
  - 2) Sub-Group 2: The side yard shall be 10 feet; or 15 feet where the side yard property line is adjacent to a property in the R-1 District, or faces a street identified as a major arterial or higher street classification in the Circulation Element, in which case the side yard shall be 10 feet.
- c) Rear Yard
  - 1) Sub-Group 1: The rear yard shall be 5 feet; or 10 feet where the rear yard property line is adjacent to a property in the R-1 District.
  - 2) Sub-Group 2: The rear yard shall be 10 feet; or 20 feet where the rear yard property line is adjacent to a property in the R-1 District.
- d) Yard Adjacent to Internal Drive Aisle. The yard adjacent to internal drive aisles shall be 5 feet.

#### **91.52.090 USEABLE OPEN SPACE**

Useable open space is not required on parcels within the Religious Institutional Housing Overlay Zone.

#### **91.52.100 PARKING**

- a) Existing Parking. Up to 50% of existing off-street parking required for the religious institution may be removed in order to construct new housing in place of the existing parking.
- b) Minimum Parking Spaces Required. These minimum requirements replace the numerical provisions of Division 9, Chapter 3, Article 2 (Use and Parking Spaces Required). The remaining parking design standards of Division 9, Chapter 3 (Off-Street Parking) shall apply to all projects.
  - 1) Sub-Group 1: A minimum of 0.5 parking spaces per dwelling unit shall be provided.
  - 2) Sub-Group 2: A minimum of 1 parking space per dwelling unit shall be provided.
- c) Tandem parking will be allowed.

#### **91.52.110 RESIDENTIAL UNIT SIZES:**

The Housing Corridor Overlay establishes the following minimum unit sizes for residential units. These minimum unit sizes supersede the standards established by Division 9, Article 20 (Living Areas).

- a) Studio Unit. The minimum unit size shall be 450 square feet.
- b) One-Bedroom Unit. The minimum unit size shall be 600 square feet.
- c) Two-Bedroom Unit. The minimum unit size shall be 800 square feet.
- d) Three-Bedroom Unit or Greater. The minimum unit size shall be 1,000 square feet.

**91.52.120 COMPATIBILITY STANDARDS**

- a) Upper floor windows that are oriented towards existing residential land uses shall incorporate obscured glass and/or a minimum five-foot sill height when allowed by the Building Code.
- b) Balconies and upper floor decks that are oriented towards existing residential land uses shall incorporate a minimum five-foot tall privacy walls that are constructed of a solid or opaque material.
- c) Where parcels share a property line with single-family residential uses, a fence or wall constructed of solid and opaque material shall be erected not to exceed 8 feet in height.”

**SECTION 3**

Any provisions of the Torrance Municipal Code or its appendices, or any other ordinances of the City inconsistent with this ordinance to the extent of the inconsistencies and no further, are repealed.

**SECTION 4**

If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, the decision will not affect the validity of the remaining portions of the ordinance. The City Council declares that it would have passed this ordinance and each section, subsection, sentence, clause and phrase irrespective of the fact that anyone or more sections, subsections, sentences, clauses or phrases are declared invalid or unconstitutional.

**SECTION 5**

This ordinance shall take effect thirty (30) days after the date of its adoption. Within fifteen (15) days following adoption, this ordinance or a summary of this ordinance if authorized by the City Council, will be published at least once in the Daily Breeze, a newspaper of general circulation, published and circulated in the City of Torrance.

**INTRODUCED** and **APPROVED** this \_\_\_\_\_ day \_\_\_\_\_ 2025.

**ADOPTED** and **PASSED** this \_\_\_\_\_ day \_\_\_\_\_ 2025.

\_\_\_\_\_  
Mayor George Chen

APPROVED AS TO FORM:  
PATRICK Q. SULLIVAN, City Attorney

ATTEST:

By: \_\_\_\_\_  
Rebecca Poirer, City Clerk

\_\_\_\_\_  
Tatia Y. Strader, Assistant City Attorney

**ITEM 8E**  
**ATTACHMENT 2**  
RIH-OZ SITES

Religious Institution Housing Overlay Zone  
Housing Element Sites Inventory

Site Number	APN	Address	Base Zoning	Zoning Overlay	Net Realistic Capacity
33	7519-025-049	21100 Victor St	R-3		14
63	7370-002-002	2300 Sepulveda Blvd	C-3/P1		2
88	7357-010-012	1900 Crenshaw Blvd	M-2		16
94	7514-023-030	330 Palos Verdes Blvd	R-3	Hillside	10
106	7371-020-016	2051 236th St	R-1		2
131	4087-016-033	16831 Ainsworth Ave	R-3/C-2		25
146	7370-010-009	2150 Sepulva Blvd	C-3		5
177	7524-015-104	3611 Torrance Blvd	H-DA2		9
193	7547-003-015	3646 Newton St	R-3		5
216	7528-005-009	22605 Kent Ave	R-3		18
231	7371-020-032	2059 236th St	R-1		0
241	7534-006-012	4000 Pacific Coast Hwy	C-2		15
254	7511-021-004	375 Palos Verdes Blvd	R-3	Hillside	9
311	4088-006-027	17910 Prairie Ave	R-3		21
314	4085-032-008	18015 Prairie Ave	A-1		4
332	7359-023-038	2900 Carson St	R-2		19
353	7524-006-001	4527 Spencer St	R-3		2
361	4096-009-067	2115 182nd St	C-3/P1		7
366	7519-026-040	4915 Emerald St/20730 Victor St	R-1		9
369	7524-007-035	4345 Emerald St	ML (M-1PP)		25
391	7514-005-005	6122 Pacific Coast Hwy	R-3		4
400	7362-014-011	2930 El Dorado St	R-1		9
420	7371-020-041	2077 236th St	R-1		4
493	7527-021-006	4565 Sharynne Ln	A-1		8
495	7377-013-001	2701 237th St	M-1PP		25

267