

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to [PlanningCommission@TorranceCA.Gov](mailto:PlanningCommission@TorranceCA.Gov). Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA  
MARCH 5, 2025  
REGULAR MEETING  
6:30 P.M. IN THE LeROY J. JACKSON COUNCIL CHAMBER  
AT 3031 TORRANCE BLVD.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM  
LISTED ON THE AGENDA**

**1. CALL MEETING TO ORDER**

**ROLL CALL:** Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

**2. FLAG SALUTE:** Commissioner Obejas

**3. REPORT OF STAFF ON THE POSTING OF THE AGENDA**

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Friday, February 28, 2025.

**4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS**

**5. ORAL COMMUNICATIONS**

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

**6. CONSENT CALENDAR**

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

**6A. Approval of Minutes: None.**

**7. ADMINISTRATIVE MATTERS**

**8. HEARINGS**

**8A. Community Development – Conduct a Public Hearing to Consider Approval of MOD24-00006: JASON KOLB – SCHOLB PREMIUM ALES, INC (OFIFLEX, LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Modification of a previously approved Conditional Use Permit (CUP15-00012) to allow an outdoor patio addition to an existing brewery with tasting room, on property located in the M-2 Zone at 2964 Columbia Street. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-010)

**8B. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00029, MOD24-00010: SCOTT MANCLARK (RIVIERA PLAZA, LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Conditional Use Permit to allow the expansion of an existing restaurant, in conjunction with a Modification of previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM20-01005) associated with the restaurant use and commercial center, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard (APN 7511-014-013 and -014). This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. Nos. 25-012, 25-013)

**8C. Community Development – Conduct a Public Hearing to Consider Approval of CUP23-00013, MOD23-00009: RYAN ALVAREZ (SAM’S TORRANCE, CA PARTNERSHIP)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Conditional Use Permit to allow the construction of a members only fueling station, in conjunction with a Modification of PD90-2 to an existing membership warehouse store, on property located in the P-D Zone at 2601 Skypark Drive. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. Nos. 25-014, 25-015)

**8D. Community Development – Conduct a Public Hearing to Consider Approval of CUP24-00027, DVP24-00002, DIV24-00007, MOD24-00009: LEDO CAPITAL GROUP (LCG ATRIUM, LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Conditional Use Permit and Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square

foot light industrial warehouse building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the H-MP Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, -051). This project is Categorical Exempt from CEQA per Guidelines Section 15332 – Infill Development and Section 15305 – Minor Alterations in Land Use Limitations. (Res. Nos. 25-016, 25-017, 25-018, 25-019)

**9. RESOLUTIONS**

**10. COMMISSION ORAL COMMUNICATIONS**

**11. ADJOURNMENT**

Adjournment of Planning Commission meeting to Wednesday, March 19, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber.

## **AGENDA ITEM NO. 8A**

**DATE:** March 5, 2025  
**TO:** Planning Commission  
**FROM:** Luis Velazquez, Planning Associate  
**SUBJECT:** 2964 Columbia Street  
Modification (MOD24-00006)

Consideration of a Modification of a previously approved Conditional Use Permit (CUP15- 00012) to allow an outdoor patio addition to an existing brewery and tasting room, on property located in the M-2 Zone at 2964 Columbia Street (APN 7352-023-020).

### **CONTINUANCE**

The applicant has requested an indefinite continuance to allow additional time to obtain a shared parking agreement with adjacent neighbors. Staff does not object to this request and recommends that this matter be continued to a date uncertain.

### **STAFF CONTACT**

Luis Velazquez, Planning Associate  
[LVelazquez@TorranceCA.gov](mailto:LVelazquez@TorranceCA.gov)

### **ATTACHMENTS**

1. Applicant Correspondence

## Velazquez, Luis

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**From:** Jason Kolb [REDACTED]  
**Sent:** Thursday, February 27, 2025 3:22 PM  
**To:** Velazquez, Luis  
**Subject:** Scholb patio cup mod continuance

Luis,

Please postpone the hearing to a date uncertain for my patio permit to allow me time to get one more parking agreement. I'll try to get it by next week.

Jason Kolb  
Head Brewer / Owner  
Scholb Premium Ales  
Call/text [REDACTED]

**AGENDA ITEM NO. 8B**

**DATE:** March 5, 2025  
**TO:** Planning Commission  
**FROM:** Austin Lujan, Planning Assistant  
**SUBJECT:** 217 Palos Verdes Boulevard  
Conditional Use Permit (CUP24-00029)  
Modification (MOD24-00010)

Consideration of a Conditional Use Permit to allow the expansion of an existing restaurant, in conjunction with a Modification of a previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM010005) associated with the restaurant use and commercial center, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard (APN's 7511-014-013 and -014).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 25-012 and 25-013 for approval of a Conditional Use Permit to allow the expansion of an existing restaurant, in conjunction with a Modification of a previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM010005) associated with the restaurant use and commercial center, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard (APN's 7511-014-013 and -014), and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicant, Scott Manclark (Riviera Plaza, LLC), requests approval by the Planning Commission to allow the expansion of an existing restaurant, on property located in the C-1 Zone at 217 Palos Verdes Boulevard.

The development standards of the C-1 Zone are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow the expansion of an existing restaurant; and
- Modification (MOD) to allow revisions to past entitlements associated with the restaurant use and shopping center.

Staff has reviewed the project and determined the project is consistent with the Commercial Center land use designation and complies with the objective development standards of the C-1 Zone, and does not require further environmental review. Staff notes the planning and design provisions of the Hillside Overlay are not applicable to the project. The balance of this report provides an overview of the project.

**DISCUSSION**

**Environmental Determination**

Minor alterations to an existing structure or building involving no expansion of the building are Categorical Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

### **General Plan Land Use Designation**

The project site has a General Plan land use designation of Commercial Center, which is intended to permit a wide range of commercial uses that serve both the local and regional community. Permitted uses include shopping centers, professional and medical offices, food and beverage establishments, entertainment facilities, financial institutions, automotive sales, and mixed-use developments that are limited to a 1.0 FAR. The Commercial Center designation is implemented by the C-1, C-2, C-3, C-5, C-R, and PD Zones. The proposed restaurant expansion is consistent with the Commercial Center land use designation.

### **Zoning Designation and Adjacent Land Uses**

The project site is designated as C-1 Zone (Retail Commercial District) and bounded by multiple parcels located in the City of Redondo Beach and multiple parcels that are located in the City of Torrance across Palos Verdes Boulevard.

NORTH:	City of Redondo Beach
SOUTH:	City of Redondo Beach
EAST: R-3	Limited Multiple Family Residential District
WEST:	City of Redondo Beach

### **Project Site**

The project site is based within a shopping center, referred to as the Riviera Plaza, at the intersection of Palos Verdes Boulevard and Via Valencia. The site is relatively flat and has no outstanding natural features. Access to the shopping center is provided via internal circulation and a driveway along each street. The subject tenant space, identified as 217 Palos Verdes Boulevard, measures approximately 1,375 square feet and was formerly occupied by a retail store. The existing restaurant tenant space, identified as 211, 213 Palos Verdes Boulevard, measures 2,750 square feet and is located adjacent to the vacant tenant space.

### **Floor Plan**

The proposed restaurant expansion features an existing restroom, a new indoor dining area, and a new outdoor covered patio that measures 418 square feet. The expanded dining areas will accommodate a total 52 seats that include 28 patio seats. The expansion area will be accessed directly from the existing restaurant and the outdoor seating will be accessed via a new storefront entrance and front gate. The proposed expansion will result in a total of 122 seats and will measure 4,114 square feet, inclusive of the outdoor covered patio. No changes are proposed to the existing restaurant floor plan, which features a kitchen, dining areas, a bar, and restrooms.

### **Façade Improvements**

The proposed restaurant expansion features several facade improvements, including new storefront signage and three new canvas awnings. The applicant will also demolish a portion of interior tenant space of 217 Palos Verdes to create a new covered patio measuring 418 square feet.

### **Business Operation**

The business operation involves an existing full-service restaurant that offers a full menu of appetizers, entrées, side items, and beverages including beer and wine service. The proposed expansion would include beer and wine service for the outdoor dining area. Beer and wine will be served by trained staff during operating hours and there is no self-pour service and no sale for off-site consumption. Staff notes there is no change to the hours of operation, which are 10:00am – 9:00pm Sundays, 11:00am – 9:00am Monday to Thursday, 11:00am – 10:00pm on Fridays, and 10:00am – 10:00pm on Saturdays.

## **Parking**

Per the Torrance Municipal Code, restaurants are required to provide 1 parking space for every 100 square feet of floor area and patio spaces are exempt from parking requirements when less than 500 square feet. The existing restaurant with proposed expansion requires 32 parking spaces and total of 63 parking spaces are provided within the shopping center. Therefore, no additional parking is required.

Staff notes that any building for which a building permit had been issued on or before January 1, 1988, may utilize the modified gross floor area method of calculating the number of off-street parking spaces such as food and beverage establishments.

Staff conducted a site visit and observed the building and landscaping are well maintained. In addition, the subject request was reviewed by the Torrance Police Department and no objections were received. Staff also notes the restaurant operator will be required to amend the current business license, which is subject to approval by the License Review Board.

## **CONCLUSION**

The proposed expansion enhances the existing restaurant within the shopping center and is compatible with the existing uses within the Riviera Plaza, which features a wide variety of commercial uses and services, including retail and restaurants. Lastly, the project is consistent with the orderly development of the City as provided for in its General Plan, which designates the site as Commercial Center. For these reasons, staff recommends approval of the request as conditioned.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on February 13, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution Nos. 25-012, 25-013
2. Location and Zoning Map
3. Code Requirements
4. Business Narrative
5. Project Plans

## **STAFF CONTACT**

Austin Lujan, Planning Assistant  
[ALujan@TorranceCA.gov](mailto:ALujan@TorranceCA.gov)

**ITEM 8B**  
**ATTACHMENT 1**

RESOLUTIONS NOS. 25-012, 25-013

**PLANNING COMMISSION RESOLUTION NO. 25-012**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE EXPANSION OF AN EXISTING RESTAURANT, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE C-1 ZONE AT 217 PALOS VERDES BOULEVARD.

**CUP24-00029: SCOTT MANCLARK (RIVIERA PLAZA, LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on March 5, 2025, to consider an application for a Conditional Use Permit to allow the expansion of an existing restaurant, in conjunction with a Modification of a previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM010005) associated with the restaurant use and commercial center, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property under consideration is located at 217 Palos Verdes Boulevard (APN's 7511-014-013 and 7511-014-014);
- b) That the property is described as the portion of "Tract 10300 LOTS 29, 32, 33, 36" per map recorded Office of the Los Angeles County Recorder, State of California;
- c) That minor alteration of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed project is conditionally permitted within the C-1 Zone and complies with all of the applicable provisions of this Division, as conditioned;
- e) That the proposed project will not impair the integrity and character of the C-1 Zone because a restaurant is consistent with the shopping center and surrounding commercial uses in the zone and area;
- f) That the proposed project is compatible with the land use presently on the subject property because the shopping center features a variety of service, retail, and restaurant uses.
- g) That the proposed project will be compatible with existing and proposed future land uses within the C-1 Zone and the general area in which the proposed project is to be located because the restaurant will be compatible with the other uses permitted within the zone, and will not change the existing shopping center uses;
- h) That the proposed project will encourage and be consistent with the orderly development of the City as provided for in its General Plan, which designates the site as Commercial Center, uses such as a restaurant are consistent uses with the Commercial Center designation;

- i) That the proposed project will not discourage the appropriate existing or planned future uses of the surrounding property because the proposed restaurant expansion is compatible with the existing uses and the planned future uses of the surrounding property;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed project is not detrimental to the public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed project, because the project shall maintain all existing pedestrian walkways and vehicular access points;
- l) That the location, size, design, and operating characteristics of the proposed project would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area;
- m) The proposed project will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** CUP24-00029, subject to conditions:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSED:	COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that CUP24-00029, filed by Scott Manclark (Riviera Plaza, LLC) to allow the expansion of an existing restaurant, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard, on file in the Community Development of the city of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for a restaurant shall be subject to all conditions imposed in Conditional Use Permit 24-00029; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Conditional Use Permit is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in section 92.27.1;
3. That a copy of Planning Commission Resolution Nos. 25-012 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)

4. That all proposed awnings will match the existing awnings as well as compliment the shopping center; (Planning)
5. That the business name and address shall be clearly visible from the street; (Police)
6. That there will be non-glare security lightning for the parking lot; (Police)
7. That 4-foot-tall address numerals will be painted on the rooftop for aerial identification; (Police)
8. That hours of operation are visible at or near the business entrance; (Police)
9. Install bollards or equivalent barriers to shield outdoor dining area from vehicular traffic; outdoor dining enclosure be of sufficient height to prevent unwanted interaction between diners and outside pedestrian traffic. Police strongly recommends outdoor patio to be monitored by video surveillance system; (Police)
10. That the applicant shall obtain a sign permit for any new areas of signage to be displayed on the façade, the outward walls, on the ground, and that all signs (new, modified or revised) shall conform to the approved sign program and be approved by the Environmental Division with appeal rights to the Planning Commission; (Environmental)
11. That no freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
12. That applicant will submit a noise attenuation plan to the satisfaction of the Environmental Division. The recommendations of the Noise Study/Noise consultant shall be adhered to and incorporated into plans submitted to the City of Torrance. Plans shall show how noise recommendations will mitigate noise, so that when completed, this use will comply with the Torrance Municipal code & will not disturb neighboring properties; (Environmental)
13. That the applicant shall check for and comply with sign program on file; (Environmental)
14. That applicant shall provide 9" (minimum) contrasting address numerals for non-residential uses; (Environmental)
15. That applicant shall install rooftop numbers on the building in order to assist law enforcement and other emergency personnel locate the property. The numbers shall measure no less than 4' high and 2' wide, spaced 12 inches apart, and shall be positioned parallel to the street and be a non-reflective color that contrasts the color of the roof; (Environmental)
16. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; and (Environmental)
17. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-013**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED CONDITIONAL USE PERMIT (CUP78-77) AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 28 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE EXPANSION OF AN EXISTING RESTAURANT ON PROPERTY LOCATED IN THE C-1 ZONE AT 217 PALOS VERDES BOULEVARD.

**MOD24-00010: SCOTT MANCLARK (RIVIERA PLAZA, LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on March 5, 2025, to consider an application filed by Scott Manclark (Riviera Plaza, LLC) for a Modification of a previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM010005) associated with the restaurant use and commercial center, in conjunction with a Conditional Use Permit to allow the expansion of an existing restaurant, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard;

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 28 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 217 Pacific Coast Highway (APN's 7511-014-013 and 7511-014-014);
- b) That the property is described as "Tract 10300 LOTS 29, 32, 33, 36" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That minor alteration of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed modification, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses, and is conditionally permitted within the C-1 Zone;
- e) That the proposed modification is conditionally permitted within the Retail Commercial District (C-1 Zone) and complies with the provisions of the Torrance Municipal Code;
- f) That the proposed modification, as conditioned, will not impair the integrity and character of the Retail Commercial District (C-1 Zone) because restaurants with on-sale beer and wine service are conditionally permitted and the proposed use is compatible with the surrounding uses;
- g) That the subject site is physically suitable for the proposed modification, as conditioned, because the restaurant building is situated within an existing commercial center and already served by all necessary utilities and public services, and no net increase in parking is required;
- h) That the proposed modification, as conditioned, will be compatible with existing and proposed future land uses within the Retail Commercial District (C-1 Zone) and the general area in

which the restaurant is located because the site is surrounded by urban uses that consists a mixture of retail and restaurant. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant building;

- i) That the proposed modification, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the proposed use is located within the Commercial Center land use designation, which is intended to permit a wide range of commercial uses that serve both the local and regional community including commercial centers and restaurant uses with on-sale beer and wine service;
- j) That the proposed modification, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the proposed use furthers the goals of the General Plan, complies with all applicable development standards, and is compatible with current development trends in the surrounding vicinity;
- k) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed modification, as conditioned, is not detrimental to public health and safety;
- l) That there will be adequate provisions for public access to serve the proposed modification, as conditioned, because the restaurant building is located within a commercial center and is accessed from onsite parking and internal circulation;
- m) That the location, size, design, and operating characteristics of the proposed modification, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the C-1 Zone and is consistent with the Commercial Center land use designation. In addition, there are no residential uses, churches, schools, hospitals, or public playgrounds located near to the restaurant building;
- n) That the proposed modification, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

**WHEREAS**, the Planning Commission by the following roll call votes **APPROVED** MOD24-00010, subject to conditions:

AYES: COMMISSIONER:  
NOES: COMMISSIONER:  
ABSENT: COMMISSIONER:  
ABSTAIN: COMMISSIONER:

**NOW, THEREFORE, BE IT RESOLVED** that MOD24-00010 filed by Scott Manclark (Riviera Plaza, LLC) to a modification of a previously approved entitlements (CUP78-77, MIS04-00144, MOD15-00003, ADM010005) associated with the restaurant use and commercial center, on property located within the Hillside Overlay in the C-1 Zone at 217 Palos Verdes Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property shall be subject to all conditions imposed in Modification 24-00010 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if Modification 24-00010 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That a copy of Planning Commission Resolution No. 25-013 shall appear on the building plans associated with the restaurant building tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That within 30 days of the final public hearing the "Public Notice" sign and stake shall be returned to the Community Development Department; and (Planning)
5. That the on-sale beer and wine service shall be granted explicitly in conjunction with the operation of a bona fide restaurant on the property described herein, and if the restaurant ceases to serve food, the Modification shall be reviewed by the Planning Commission to determine whether the on-sale beer and wine service shall continue; (Planning)
6. That the outdoor seating area shall be accessed only from the interior of the restaurant building and shall not be accessible to pedestrian traffic outside of the restaurant building and self-closing gates shall be for exit only; (Planning)
7. That all open space, landscape areas, and outdoor seating areas shall be maintained, repaired, and kept free of trash, litter, debris, graffiti and vandalism; (Planning)
8. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the building; (Planning)
9. That no exterior security bars and roll-up doors applied to windows and building entrances shall be permitted outside of the building; (Planning)
10. That any use of sound amplifying equipment shall comply with the provisions for amplified sound as listed in Division 3, Chapter 3, Article 4, and Division 4, Chapter 6, Article 5 of the Torrance Municipal Code; (Planning)
11. That any form of live entertainment shall be prohibited unless approved by the Planning Commission or License Review Board in accordance with the provisions for live entertainment as listed in Division 3, Chapter 5, Article 5 of the Torrance Municipal Code, or as part of a Temporary Event Permit approved by the Community Development Director; (Planning)
12. That any sale or service of food or beverages for onsite consumption in outdoor areas shall comply with the provisions for outdoor restaurants as listed in Division 3, Chapter 5, Article 2 of the Torrance Municipal Code; (Planning)
13. That the restaurant operator shall obtain approval of a business license through the City of Torrance License Review Board prior to offering on-sale beer and wine service; (Planning)

14. That the restaurant operator shall obtain the appropriate alcohol license for the business model and shall comply with conditions and regulation of the California Department of Alcohol Beverage Control (ABC); (Police)
15. That the applicant shall install surveillance cameras to monitor building entries/exits, cash handling areas, and parking lot. Security cameras shall be maintained in proper working order at all times and recording shall be made available to Police upon request. Surveillance footage shall be stored for no less than 30 days; and (Police)
16. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

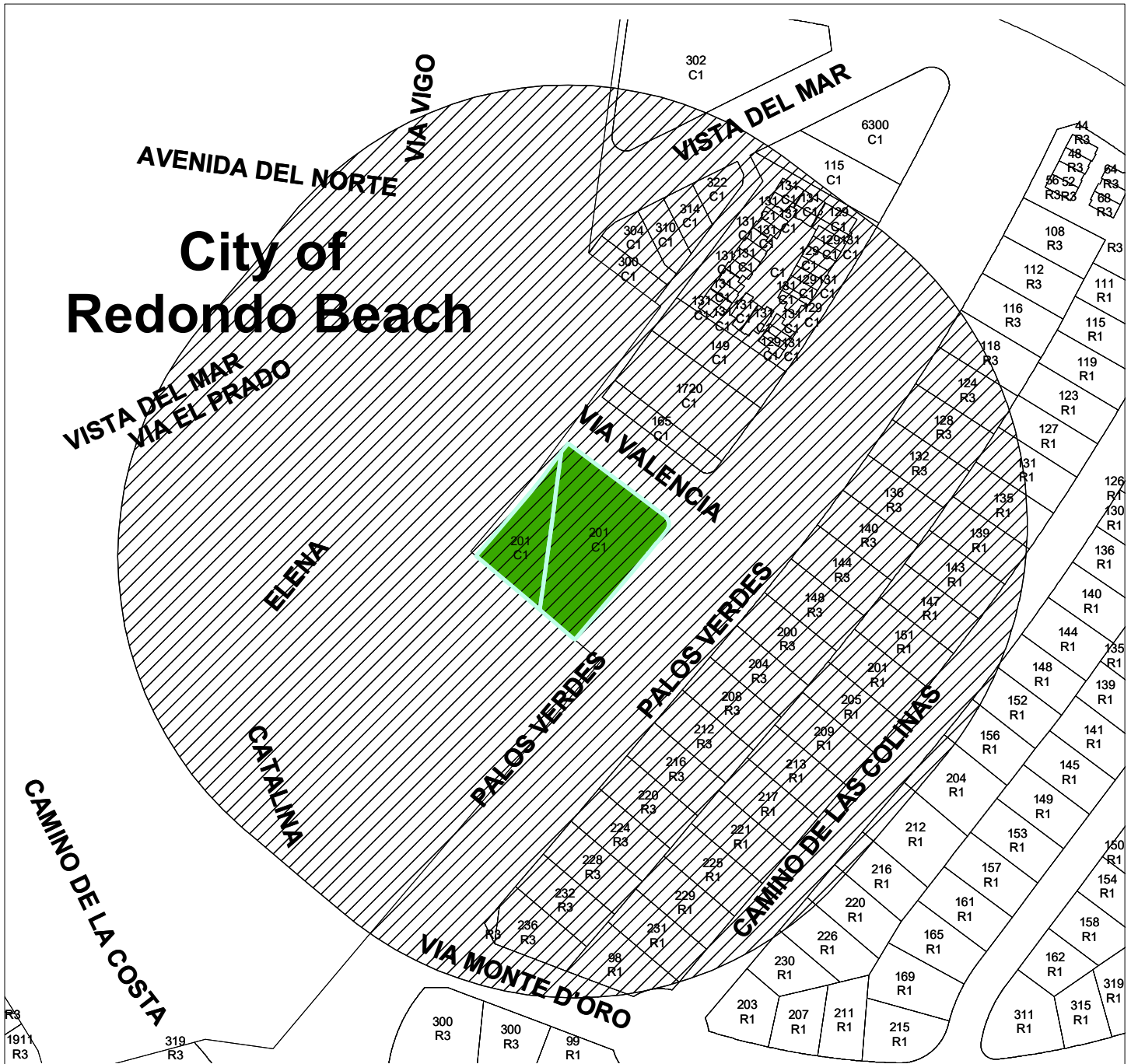
I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:  
NOES: COMMISSIONERS:  
ABSENT: COMMISSIONERS:  
ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**ITEM 8B**  
ATTACHMENT 2  
LOCATION AND ZONING MAP

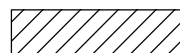


# LOCATION AND ZONING MAP

CUP24-00029, MOD24-00010  
 217 Palos Verdes Blvd



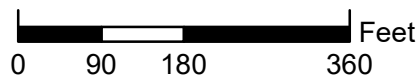
## LEGEND



Notification Area



217 Palos Verdes Boulevard



**ITEM 8B**  
ATTACHMENT 3  
CODE REQUIREMENTS

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### **BUILDING AND SAFETY**

1. Comply with 2022 California Codes and Torrance Ordinances.

**ITEM 8B**  
**ATTACHMENT 4**  
**BUSINESS NARRATIVE**

# Bryant • Palmer • Soto, Inc.

Jack K. Bryant ENGINEERS / Neil Stanton Palmer ARCHITECTS

2601 Airport Drive, Suite 310, Torrance, CA 90505

Engineers (310) 539-1161

Architects (310) 326-9111

Fax: (310) 325-0271

# Memo

To: City of Torrance Community Development Planning Division

Attn: Soc Yumul, Planning Associate

Date: December 23, 2024

RE: CUP, Site Plan Review and Administrative Entitlements for proposed tenant expansion located at 211-217 Palos Verdes Boulevard.

BPS Project #: 03-0230:004

Soc,

Per your request, this project narrative is submitted to satisfy justification for the project's expansion.

*Bettolino Kitchen is a "California Italian restaurant" that is proposing to expand its successful Riviera Plaza center location to serve more dining guests. Expansion will incorporate three separate and distinct spaces including an outdoor covered patio, more dining room area and a catered dining room for group dining. The proposal is entirely possible because an adjacent vacant tenant lease space is currently available for this endeavor, and the number of on-site parking spaces falls under the maximum required and provided.*

*In addition to the expansion, the Landlord /Owner of the existing center proposes cosmetic enhancements to the façade / storefront to the remaining tenants. Included are awnings, metal canopy, and storefront wall projections. Enhancement features will not be overbearing because all are located below the main architectural element which combines a dominant overhead*

*parapet wall with tenant signage. Enhancements will provide a livelier architectural experience and improve the center's image in the community.*

Presently, the tenant (Bettolino's Kitchen), is comprised of suites 210 and 211 with a total 2,750 square feet of gross floor area. Expansion is suite 217 with a total of 1,375 square feet of gross floor area. Suite 217 will be remodeled for a total of 946 square feet of gross floor area. Total for suites 210,211 and 217 will be 3,696 square feet of gross floor area. The remaining floor area of suite 217 will become a covered outdoor dining patio which is 418 square feet of floor area and due the city's modified parking standards, it will not be required to be parked because it is under the 500 square foot threshold. In addition, please see attached C.U.P. Exhibit drawing 1 with a parking analysis.

Building owner is including façade enhancements with this entitlement. Tenant with expansion will comprise of one existing awning plus a proposed canvas awning and metal canopy over the main entrance and the remaining suites will have a proposed awning or furred-out wall enhancement. Existing canopy wall above will feature two "star" icons to match the one featured on the existing pylon sign which has existed since the opening the project strip mall from the early 1960s, giving it historical significance. Refer to attached C.U.P. Exhibit drawing 2. It is in the best interest of the owner to proceed with one or all façade enhancements in phases.

Lastly, the project includes a proposed compliant ADA path of travel to the Palos Verdes Boulevard R.O.W. and new ADA parking space.

Kimmo Sahakangas  
Senior Project Architect



**BPS Bryant Palmer Soto Inc.**

2601 Airport Drive Suite 310

Torrance CA 90505

office 310.326.9111x143 fax 310.325.0271

[ksahakangas@bpsonline.info](mailto:ksahakangas@bpsonline.info)

**ITEM 8B**  
ATTACHMENT 5  
PROJECT PLANS

**TOTAL USABLE BUILDING AREA PARKING ANALYSIS FOR PRE-1988 DEVELOPMENT:**

#201, 207	3,800 S.F. / 87%	RETAIL	1/250 SF = 15.20
#211, 213	2,321 S.F. / 84%	BETTOLINO'S RESTAURANT	1/100 S.F. = 23.21
#217	876 S.F. / 92%	RESTAURANT EXPANSION	1/100 S.F. = 8.76
#219 / 221	1,382 S.F. / 89%	RETAIL	1/250 S.F. = 5.53
#223	1,030 S.F. / 85%	RETAIL	1/250 S.F. = 4.12
9,409 S.F. TOTAL USEABLE AREA		TOTAL PARKING SPACES REQ'D = 56.82	

6,212 S.F. TOTAL USEABLE RETAIL AREA

3,197 S.F. TOTAL USEABLE RESTAURANT AREA

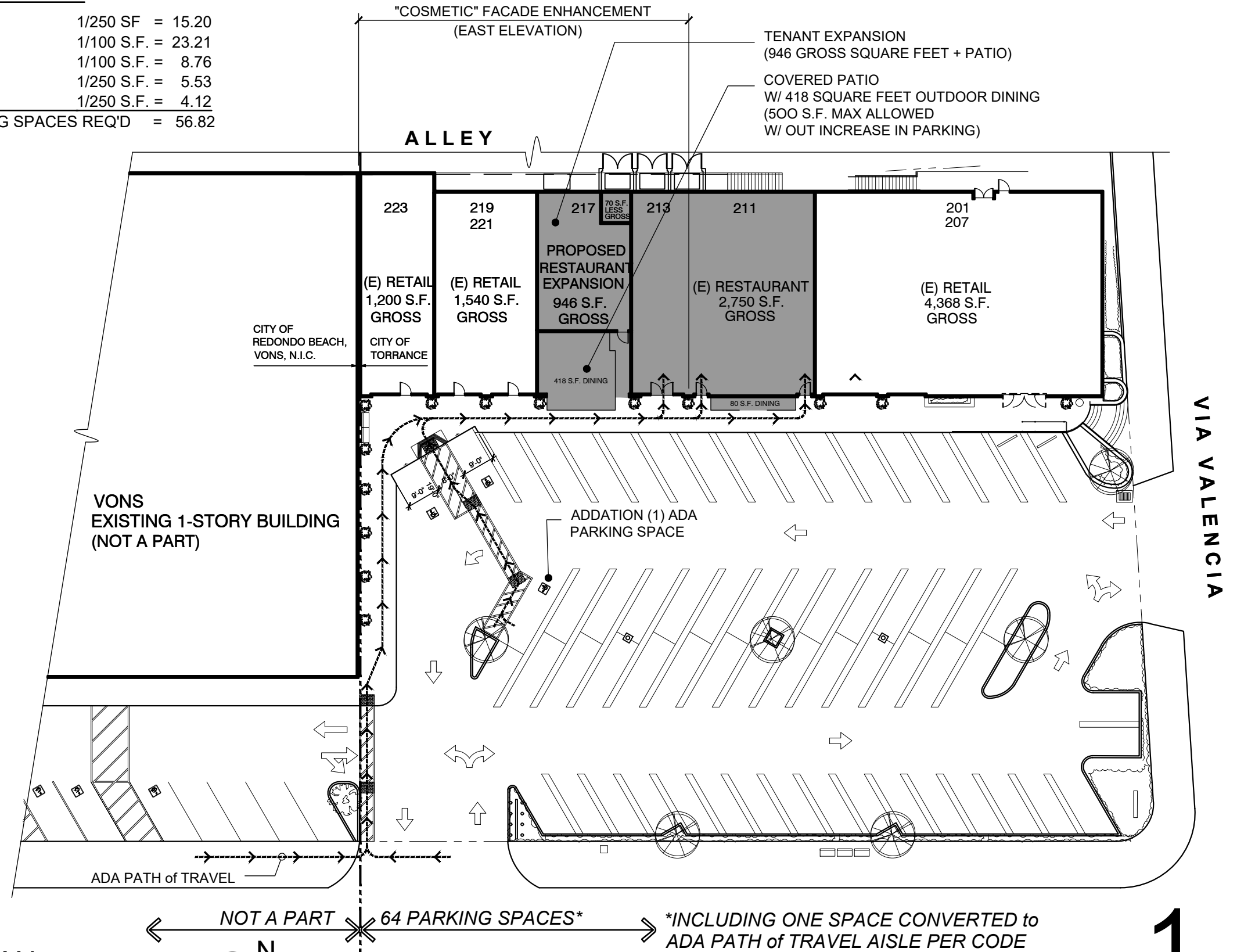
10,804 S.F. GROSS

24.85 RETAIL PARKING SPACES REQUIRED (1 / 250 SF)

31.97 RESTAURANT PARKING SPACES REQUIRED (1 / 100 SF)

56.82 TOTAL PARKING SPACES REQUIRED

63 TOTAL PARKING SPACES PROVIDED



1 SITE PLAN  
SCALE: 1" = 30'-0"



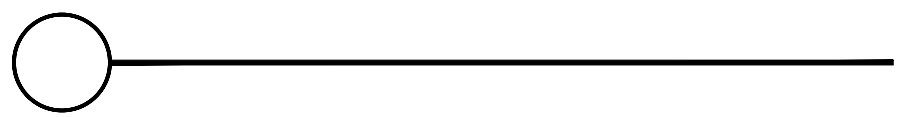
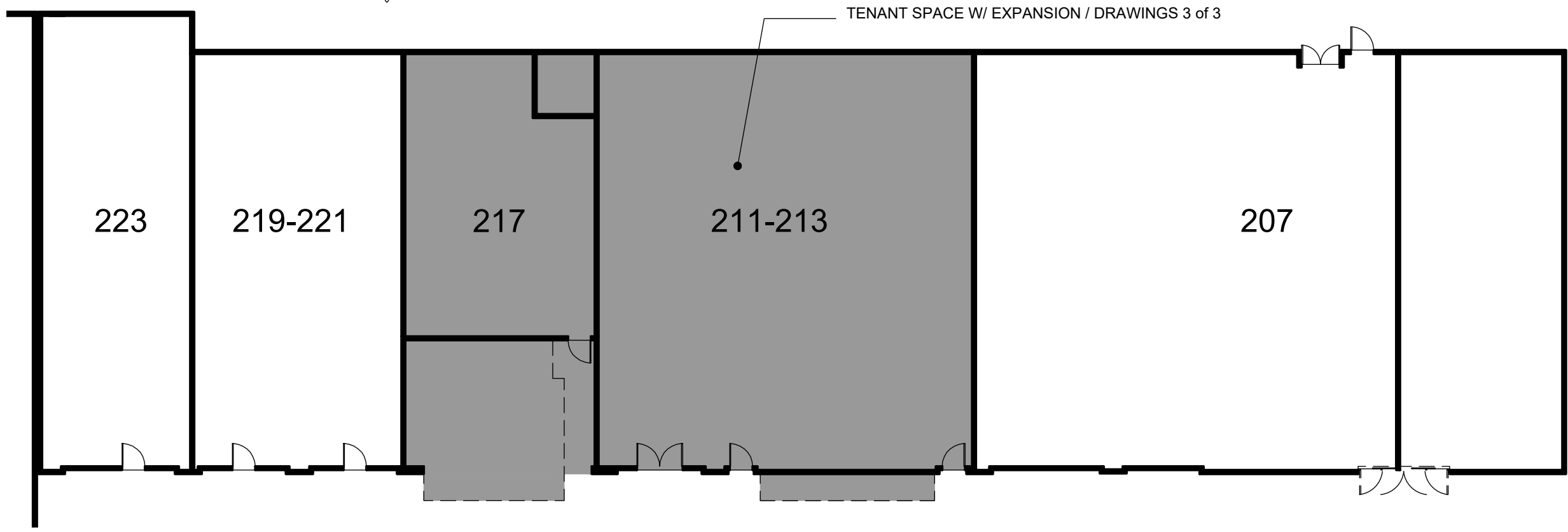
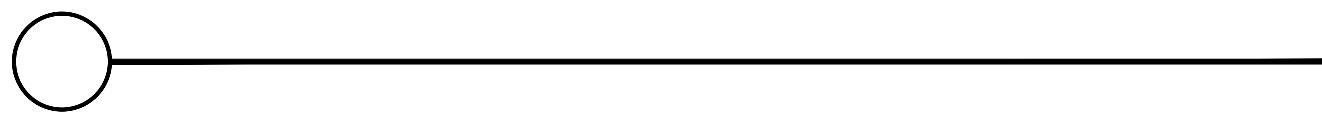
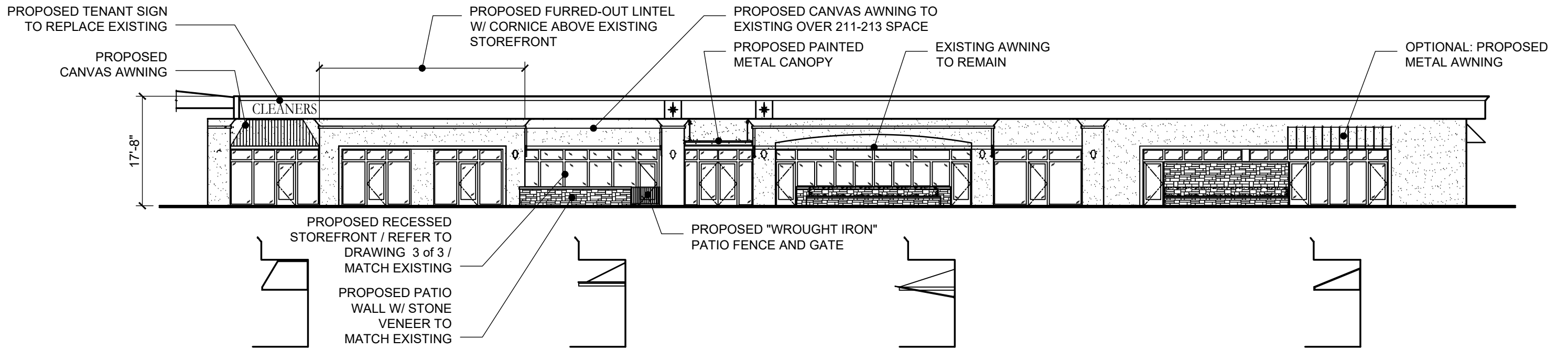
← NOT A PART | 64 PARKING SPACES\* | \*INCLUDING ONE SPACE CONVERTED TO ADA PATH OF TRAVEL AISLE PER CODE →

1 of 3

C.U.P. EXHIBIT  
217 PALOS VERDES BLVD. TORRANCE CA 90277

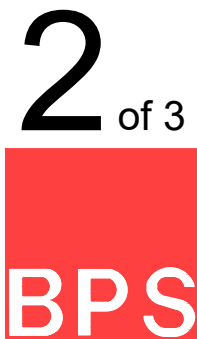
Bryant Palmer Soto Inc.  
ARCHITECTS & ENGINEERS

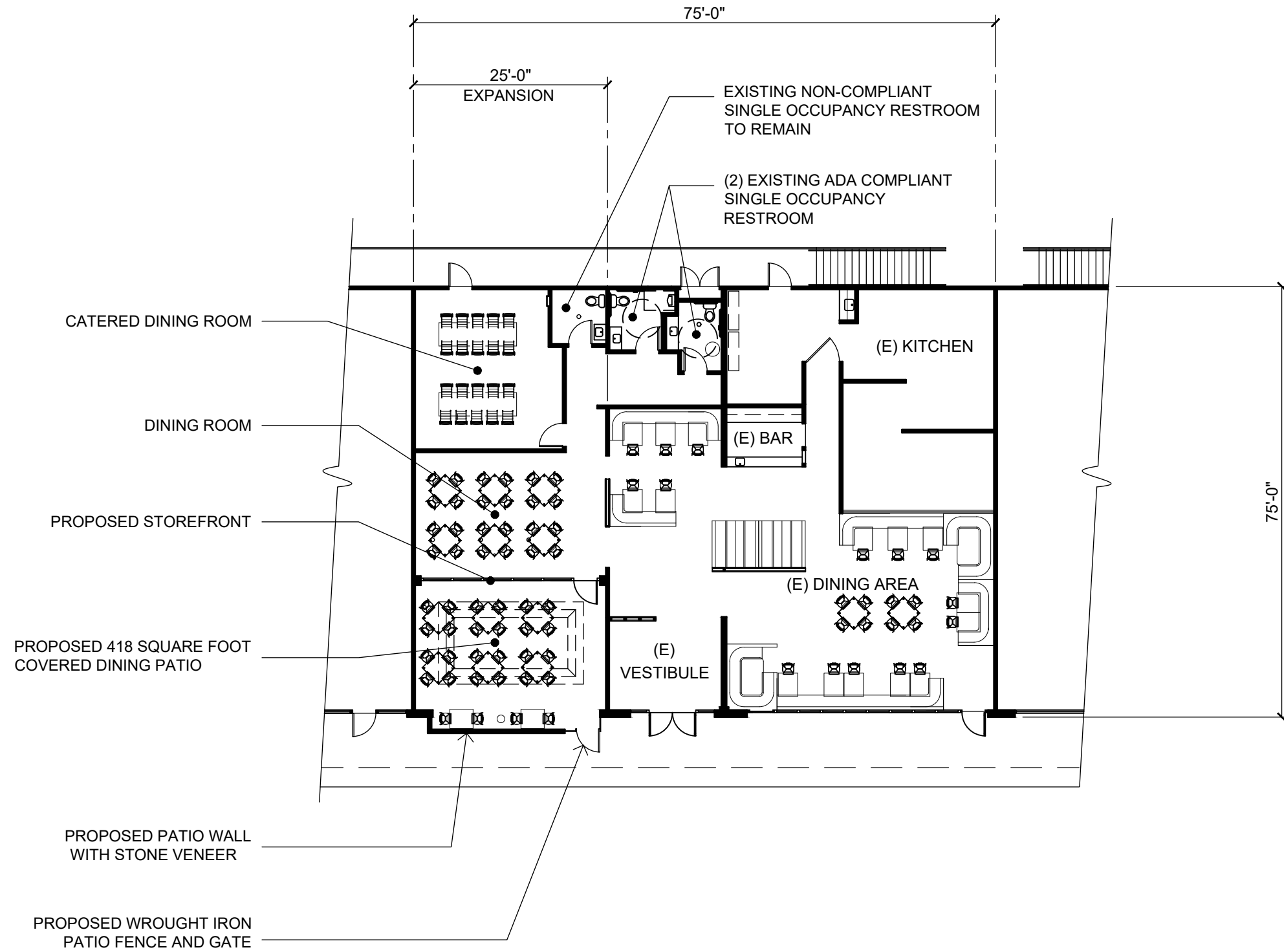




C.U.P. EXHIBIT  
 217 PALOS VERDES BLVD. TORRANCE CA 90277

Bryant Palmer Soto Inc.  
 ARCHITECTS & ENGINEERS





**1** PROPOSED FLOOR PLAN EXPANSION  
SCALE: 1/16" = 1'-0"



**3** of 3

C.U.P. EXHIBIT  
217 PALOS VERDES BLVD. TORRANCE CA 90277

Bryant Palmer Soto Inc.  
ARCHITECTS & ENGINEERS



Telephone: (310) 326-9111  
Fax: (310) 325-0271

**AGENDA ITEM NO. 8C**

**DATE:** March 5, 2025

**TO:** Planning Commission

**FROM:** Yolanda Gomez, Planning Associate

**SUBJECT:** 2601 Skypark Drive (APN 7377-012-013)  
Conditional Use Permit (CUP23-00013)  
Modification of Planned Development (MOD23-00009)

Consideration of a Conditional Use Permit to allow the construction of a member's only fueling station with underground tanks, in conjunction with a Modification of PD90-2 to an existing membership warehouse store, on property located in the P-D Zone at 2601 Skypark Dr.

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolutions No. 25-014 and 25-015 for approval of a Conditional Use Permit to allow the construction of a member's only fueling station with underground tanks, in conjunction with a Modification of PD90-2 to an existing membership warehouse store, on property located in the P-D Zone at 2601 Skypark Dr., and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicants, Ryan Alvarez (Sam's Torrance CA Partnership L.P.), request approval by the Planning Commission to allow the construction of a member's only fueling station with underground tanks, in conjunction with a Modification of PD90-2 to an existing membership warehouse store, on property located in the P-D Zone at 2601 Skypark Dr. The development standards of the P-D Zone (Planned Development District), as well as, the development standards and design criteria of PD90-2, are applicable to the project; and therefore, require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow construction of a fueling service station and ancillary building/uses; and
- Modification (MOD) to allow revisions to past entitlements.

Staff has reviewed the project and has determined that the project is consistent with the General Commercial land use designation and complies with the objective development standards of the P-D Zone, as well as, the development standards and design criteria of the PD90-2, and does not require further environmental review. The balance of this report provides an overview of the project.

## **DISCUSSION**

### **Environmental Determination**

Additions to existing structures, provided that the addition will not result in an increase of more than 10,000 sq. ft., if (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan; and (B) The area in which the project is located is not environmentally sensitive, are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Sections 15301 (Existing Facilities).

### **General Plan Land Use Designation**

The site has a General Plan Land Use Designation of General Commercial. Development in this designation is intended for a wide range of uses including regional shopping centers and food and beverage establishments. This site is part of a much larger commercial shopping center that includes home improvement, off-price and grocery stores, restaurants, and other types of service/commercial uses. The proposed construction of a member's only fueling station with underground tanks and ancillary service building, is consistent with the land use designation.

### **Zoning Designation and Adjacent Land Uses**

The project site is designated as P-D Zone (Planned Development District) and bounded by six parcels that partially share the same zoning designation, as well as, the M-2 Heavy Manufacturing District, and are developed with similar land uses to the north, south, east, and west.

NORTH: M-2; Phillips 66 Pipeline and Tank Farm

SOUTH: M-2; Lisi Aerospace

EAST: P-D; Crossroads Shopping Center

WEST: M-2 & P-D; Costco Wholesale, Amazon Delivery Hub and Business Park

### **Project Site**

The subject property is an irregularly shaped through lot, with a narrow extended drive aisle from Lomita Boulevard, leading to the wider portion of the property, with access also from Skypark Drive. The lot measures 540,293 sq. ft. The existing store is centrally located on the property, originally constructed in 1992, with parking around the building and a large parking field on the south side of the property. The site is relatively flat, with the majority of the existing landscaping surrounding the perimeter of the property and no outstanding features at this site.

### **Project Summary**

The applicant proposes to add a member's only fueling station to complement the existing use, which is a membership warehouse store. No changes are proposed for the store. Based on the applicant's plans, the proposed project area is located along the southeast portion of the site. Underground tanks and an ancillary service building, related to the fueling station's use, are also proposed. The plans show 20 fueling pumps, with two pumps per lane, under a canopy, with the 192 sq. ft. service building located north of the fuel pumps, and the underground tanks to the far east of the noted project area. The hours of operation for the fueling station are 5:30 am - 9:30 pm, Monday - Saturday, and

6 am – 8 pm, Sunday, which are slightly beyond the store's hours of 10:00 am - 8:00 pm, Sunday – Friday, and 9:00 am - 8:00 pm, Saturday. The fueling station is self-serve; however, an attendant will be available during business hours. Additionally, per State law, air and water pumps are required, which the applicant noted will be turned on by the attendant during business hours.

### **Building Setbacks and Site Improvements**

The plans do not show any setback callouts; however, per staff's calculations the fuel pumps are approximately 275 ft. from the south property line and 45 ft. from the east side property line. The service building is setback approximately 350 ft. from the south property line and 95 ft. from the east side property line and the underground tanks are approximately 280 ft. from the south property line and 25 ft. from the east side property line.

Staff met with the applicant on various occasions starting in 2021 to discuss this project, and has reviewed numerous iterations, particularly noting staff's concerns with its original proximity to the south driveway at Skypark Dr. Public Work's staff also reviewed applicant's Traffic Circulation Analysis (TCA) and approved it in December 2024, with no improvements required. The TCA provided the following information regarding vehicle trips:

*The project is estimated to generate 206 trips (103 inbound and 103 outbound) during the morning peak hour and 278 trips (139 inbound and 139 outbound) during the evening peak hour. After applying pass-by reductions, the project is estimated to generate 86 net trips (43 inbound and 43 outbound) during the morning peak hour and 162 net trips (81 inbound and 81 outbound) during the evening peak hour.*

Per staff's estimation, the plans show that there is space for approximately four vehicles to stack per fuel pump lane. Beyond the lane, staff estimates that approximately 17 vehicles may stack along the north drive aisle, and approximately 16 vehicles from Skypark to the north drive aisle. Additionally, circulation taken from Lomita Blvd. provides approximately stacking of 68 spaces.

Staff previously met with the applicant and noted concerns regarding the north drive aisle adjacent to the fueling station, in that two way traffic is noted on the plans, and that access to the fuel pumps from the northern parking field is also proposed. Staff recommends that only eastbound one way traffic be permitted into the fueling pump lanes and that a landscaped planter or other permanent barrier be constructed across the entire northern drive aisle to restrict entry into the fueling station from various lanes of the parking field. Staff has provided a Condition of Approval that the applicant shall continue to work with Planning staff to resolve these potential circulation conflicts. The siting of the project, as conditioned, appears to be in the best location to avoid stacking onto Skypark Dr., and avoiding traffic circulation conflicts on-site. The TCA is available online at: <https://www.torranceca.gov/home/showpublisheddocument/94046/638761511007092459>.

## **Parking**

The existing warehouse store requires 559 parking spaces, and the site provides 695 parking spaces. The current project will eliminate 133 parking spaces, reducing the parking count to 562 stalls, which nets three surplus parking spaces. While the ancillary service building was not noted in the project statistics, staff does not anticipate requiring more than one additional parking space for it, at the office rate, and the project would continue to be in compliance with two surplus parking spaces. The fueling station does not trigger any additional parking, as no additional retail or long-term service component is proposed. Staff is providing a Condition of Approval that the building's square footage shall be noted on the final Building Plans and the parking requirement shall be amended correspondingly.

## **Project Design**

The elevation plans feature the fueling station canopy with a typical utilitarian design. The canopy is shown with a blue flat metal canopy, with grey columns. The floor plans show the ancillary service building as a pre-manufactured metal structure, and the elevations display the building with vertical sections for the majority of the structure, except the roof fascia with wider sections. The colors of the building are shown in a dark and light gray. The building features three windows and two doors.

Staff has concerns with both the canopy and building not matching the existing store's exterior materials, color, and architecture, which are smooth stucco in the beige/brown tones, except for the blue signage branding, and in a contemporary Spanish style. Staff has provided Conditions of Approval that the applicant shall continue to work with staff on providing a homogenous color for the canopy's columns and exterior materials, color and architecture for the building.

The fuel pump canopy is proposed at an 18'-8" height. The ancillary service building is proposed at a 10'-10" height. Staff notes the maximum height permitted in this P-D Zone is 32-ft.

## **FAR, Lot Coverage and Open Space**

The proposed project will not increase the Floor Area Ratio (FAR) of 0.26, which is lower than the maximum of 0.60 for the applicable General Plan's land use designation; no FAR, Lot Coverage or Open Space requirements are noted in the approved P-D.

## **CONCLUSION**

In staff's judgment, the proposed fueling station and ancillary uses, as conditioned, are compatible with the planning and design provisions of the P-D District, and the General Commercial land use designation. Additionally, the proposed use provides convenience and reduces vehicle trips to external fueling stations for its warehouse members. As of the completion of this report, staff has not received any correspondence. Therefore, staff recommends approval of the project, as conditioned.

## **FINDINGS OF ACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and Conditions of Approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., which are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with Torrance Municipal Code, notices of the public hearing are required to be published in the local newspaper, no less than 10 calendar days, before the Planning Commission meeting. Notices were also posted at the project site on February 14, 2025, and were mailed to the registered owners of properties, located within a 500' radius of the exterior boundaries of the project site, on February 13, 2025. Notices were also posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code Section 95.7.1, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at 310.618.2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Development Review/Planning Counter) located at City Hall, 3031 Torrance Blvd., Torrance, CA 90503, during normal business hours, open 8:00 am to 5:00 pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at 310.618.5990.

## **ATTACHMENTS**

1. Resolution Nos. 25-014 & 25-015
2. Location and Zoning Map
3. Code Requirements
4. Project Plans

## **STAFF CONTACT**

Yolanda Gomez, Planning Associate  
YGomez@TorranceCA.Gov

**ITEM 8C**  
**ATTACHMENT 1**

Resolution Nos. 25-014 & 25-015

**PLANNING COMMISSION RESOLUTION NO. 25-014**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF A MEMBER'S ONLY FUELING STATION WITH UNDERGROUND TANKS ON PROPERTY LOCATED IN THE P-D ZONE AT 2601 SKYPARK DRIVE.

**CUP23-00013: RYAN ALVAREZ  
(SAM'S TORRANCE CA PARTNERSHIP L.P.)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on March 5, 2025, to consider an application for a Conditional Use Permit filed by Ryan Alvarez (Sam's Torrance CA Partnership L.P.) to allow the construction of a member's only fueling station with underground tanks on property located in the P-D Zone at 2601 Skypark Drive; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, additions to existing structures are Categorically Exempted by the Guidelines for Implementation of the 2025 California Environmental Quality Act, Article 19, Section 15301 (e); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property for this Conditional Use Permit is located at 2601 Skypark Drive;
- b) That the property is located on Tract 49936, Lot 12 per the Los Angeles County Assessor's records, and is described as Assessor's Parcel Number 7377-012-013;
- c) That the proposed fueling station, underground tanks and ancillary service building is conditionally permitted, and the proposal complies with all of the applicable provisions of the Torrance Municipal Code, as conditioned;
- d) That the proposed project will not impair the integrity and character of the zoning district, because the proposed use is conditionally permitted in the P-D Zone;
- e) That the subject site is physically suitable for the type of land use being proposed, because the proposed project exceeds the parking requirement, and the proposed layout, as conditioned, should not impact surrounding properties;
- f) That the proposed member's only fueling station will be compatible with the land use presently on the subject property, because it is located within a site that provides an existing membership-only warehouse club;

- g) That the proposed use will be compatible with existing and future land uses within the district and the general area in which the proposed use is to be located, because there is currently a mix of uses including commercial, retail, restaurant, warehouse and home improvement stores, on surrounding properties, and the proposed use is conditionally permitted;
- h) That the proposed use will encourage and be consistent with the orderly development of the City, as provided for in the General Plan, which designates the site as General Commercial, and the P-D Zoning District, because the use is conditionally permitted in the Zone and is consistent with the General Plan designation;
- i) That the proposed use will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as member's only fueling stations serve the area, save vehicle trips to members of the warehouse store, and the use is compatible with the existing surrounding uses and uses allowed in the surrounding commercial zoning designations;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services, to ensure that the proposed development is not detrimental to public health and safety, as the site is located in an area surrounded by urban uses;
- k) That there will be adequate provisions for public access to serve the proposed use, because this property can be accessed via two existing driveways, along Lomita Boulevard and Skypark Drive, and existing pedestrian walkways;
- l) That the proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area, because the project meets/or exceeds all development standards, including the parking requirement; and
- m) That the proposed use will not produce any or all of the following results:
  1. Damage or nuisance from noise, smoke, odor, dust or vibration,
  2. Hazard from explosion, contamination or fire,
  3. Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** CUP23-00013, subject to conditions:

AYES:                    COMMISSIONERS:

NOES:                    COMMISSIONERS:

ABSENT:                COMMISSIONERS:

ABSTAIN:              COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that CUP23-00013 filed by Ryan Alvarez (Sam's Torrance CA Partnership L.P.) to allow the construction of a member's only fueling station with underground tanks on property located in the P-D Zone at 2601 Skypark Drive, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the development and use of the subject space as a member's only fueling station shall be subject to all conditions imposed in Planning Commission case CUP23-00013 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Conditional Use Permit (CUP23-00013) is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period of time as provided for in Section 92.27.1;
3. That all applicable conditions and code requirements of PD90-2 (City Council Resolution No. 92-17) shall be met; (Planning)
4. That the applicant shall comply with all conditions required by Modification MOD23-00009; (Planning)
5. That the final Building Plans shall provide the setbacks for the fueling pumps, underground tanks and ancillary building, to the satisfaction of the Community Development Director; (Planning)
6. That the final Building Plans shall provide the ancillary building statistics, including but not limited to, area and parking requirements, to the satisfaction of the Community Development Director; (Planning)
7. That the final Building Plans shall provide the location of the air and water pumps, to the satisfaction of the Community Development Director, and that these improvements shall be maintained and functional at all times during business hours; (Planning)
8. That the applicant shall continue to work with Planning staff on the design/architecture, exterior materials and color of the aboveground improvements, to match the existing warehouse building, including submittal of the final color/material board, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
9. That the applicant shall maintain the subject property in a clean, safe and attractive condition until construction begins; (Planning)
10. That no outside public telephones, vending machines and/or publication racks shall be permitted; (Planning)

11. That the applicant shall show the location of all electrical/mechanical equipment located on the property and the method of screening to the satisfaction of the Community Development Director. Equipment shall not be located within the front setback areas; (Planning)
12. That a landscape plan (including off-site and on-site) shall be submitted to the Community Development Department for approval, prior to the issuance of any Building Permits and shall be implemented prior to occupancy. The plan shall utilize drought resistant/xeriscape plant materials, and shall provide state-of-the-art water saving irrigation system and/or drip irrigation for larger shrubs and trees. That if more than 2,500 square feet is irrigated, the project shall comply with the 2010 State Water Efficient Landscape Ordinance. Landscaping shall be maintained to the satisfaction of the Community Development Director; (Planning)
13. That final Building Plans shall reflect the total landscape area statistic for landscaping material removed and landscaping material rehabbed and/or new plant material, and that the applicant shall continue to work with Planning staff to replace a comparable area of the removed landscaping material, to the satisfaction of the Community Development Director, prior to the issuance of Building Permits; (Planning)
14. That an exterior lighting plan, and photometric study, incorporating the design themes of the membership warehouse shall be submitted to Planning Staff for approval, prior to the issuance of any Building Permits, to ensure adequate lighting, and to ensure that lighting is shielded from the abutting and nearby properties, to the satisfaction of the Community Development Director; (Planning)
15. That the applicant shall provide a detailed plan for any new gates, fences, guardrails, walls, and retaining walls, specifically excluding the use of chain link or barbed wire, for review and approval by the Community Development Director, prior to the issuance of any Building Permits, and that they shall be treated with color and materials to match or be complementary to the existing improvements, to the satisfaction of the Community Development Director; (Planning)
16. That all windows shall be provided with a protective film to prevent graffiti; (Planning)
17. That all roof equipment shall be screened from public view as an integral part of the building design; (Planning)
18. That a code required NPDES compliant trash enclosure shall be constructed and designed to match or be complementary with the store's façade, including materials, color, decorative trellis and solid roofing materials, or if a trash enclosure is already provided for the store, a trash collection plan for the fueling station shall be submitted for approval to the satisfaction of the Community Development Director, prior to Building Permit issuance; (Planning)
19. That the fueling station's hours of operation may exceed those of the warehouse store's hours, subject to Planning approval; (Planning)

20. That vehicles associated with the proposed development, including employees and customers, shall be required to park on-site; (Planning)
21. That within 30 days of the final public hearing, the applicant shall remove the City's "Public Notice" sign (provided there is no appeal) to the satisfaction of the Planning Manager; (Planning)
22. That any future request for a Wireless Antenna Facility shall require a separate approval and would provide for all related equipment cabinets to be located within the existing structure or undergrounded; (Planning)
23. That the applicant shall provide a site wide signing and striping plan that includes stop controls, directional signs, and pavement markings to assist with right of way assignment and pedestrian safety to the satisfaction of the Community Development Director; (Transportation Planning)
24. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering – Permits & Records)
25. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduced pressure backflow assemblies shall be located above ground on private property near the public right-of-way, shall be screened from public view with approved plant material, and shall be constructed per City of Torrance standards. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to Building Permit issuance. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering – Permits & Records)
26. That the existing driveways on Lomita Ave. and Skypark Dr. shall be reconstructed to commercial radius type driveways, minimum 30 feet wide, with depressed back of walk and wheelchair ramps per City of Torrance standards; (Engineering – Permits & Records)
27. That a dedicated water meter and reduced pressure assembly shall be provided for landscape irrigation; (Engineering – Permits & Records)
28. That a new 3-port fire hydrant with break off check valve shall be installed near the northeast corner of the proposed gasoline fueling station; (Engineering – Permits & Records)
29. That all new and existing domestic water services shall be protected by a reduced pressure principle assembly; (Engineering – Permits & Records)
30. That the existing single check valve assembly shall be upgraded to a double check detector assembly (DCDA) per current City standard; (Engineering – Permits & Records)

31. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; and (Environmental)
32. That no freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage shall be constructed that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
33. That the business name and address shall be visible from the street; (Police)
34. That non-glare security lighting of fueling islands and gas station ingress/egress for afterhours traffic shall be installed; (Police)
35. That video surveillance of fueling station, centralized ingress/egress points of queuing lanes, and building entry points. That security cameras shall be maintained in proper working order at all times and video retention of a minimum of 60 days be made available to Police upon request; (Police)
36. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

\_\_\_\_\_  
Chairman, Torrance Planning Commission

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES:                   COMMISSIONERS:

NOES:                   COMMISSIONERS:

ABSENT:                COMMISSIONERS:

ABSTAIN:               COMMISSIONERS:

---

Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-015**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF A PREVIOUSLY APPROVED PLANNED DEVELOPMENT (PD90-2) AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 28 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF A MEMBER'S ONLY FUELING STATION WITH UNDERGROUND TANKS ON PROPERTY LOCATED IN THE P-D ZONE AT 2601 SKYPARK DRIVE.

**MOD23-00009: RYAN ALVAREZ  
(SAM'S TORRANCE CA PARTNERSHIP L.P.)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on March 5, 2025, to consider an application for a Modification of a previously approved Planned Development (PD90-2), filed by Ryan Alvarez (Sam's Torrance CA Partnership L.P.) to allow the construction of a member's only fueling station with underground tanks on property located in the P-D Zone at 2601 Skypark Drive; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 28 of the Torrance Municipal Code; and

**WHEREAS**, additions to existing structures are Categorically Exempt by the Guidelines for Implementation of the 2025 California Environmental Quality Act, Article 19, Section 15301 (e); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property for this Modification is located at 2601 Skypark Drive;
- b) That the property is located on Tract 49936, Lot 12 per the Los Angeles County Assessor's records, and is described as Assessor's Parcel Number 7377-012-013;
- c) That the proposed fueling station, underground tanks and ancillary service building is conditionally permitted, and the proposal complies with all of the applicable provisions of the Torrance Municipal Code, as conditioned;
- d) That the proposed project will not impair the integrity and character of the zoning district, because the proposed use is conditionally permitted in the P-D Zone;
- e) That the subject site is physically suitable for the type of land use being proposed, because the proposed project exceeds the parking requirement, and the proposed layout, as conditioned, should not impact surrounding properties;

- f) That the proposed member's only fueling station will be compatible with the land use presently on the subject property, because it is located within a site that provides an existing membership-only warehouse club;
- g) That the proposed use will be compatible with existing and future land uses within the district and the general area in which the proposed use is to be located, because there is currently a mix of uses including commercial, retail, restaurant, warehouse and home improvement stores, on surrounding properties, and the proposed use is conditionally permitted;
- h) That the proposed use will encourage and be consistent with the orderly development of the City, as provided for in the General Plan, which designates the site as General Commercial, and the P-D Zoning District, because the use is conditionally permitted in the Zone and is consistent with the General Plan designation;
- i) That the proposed use will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as member's only fueling stations serve the area, save vehicle trips to members of the warehouse store, and the use is compatible with the existing surrounding uses and uses allowed in the surrounding commercial zoning designations;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services, to ensure that the proposed development is not detrimental to public health and safety, as the site is located in an area surrounded by urban uses;
- k) That there will be adequate provisions for public access to serve the proposed use, because this property can be accessed via two existing driveways, along Lomita Boulevard and Skypark Drive, and existing pedestrian walkways;
- l) That the proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area, because the project meets/or exceeds all development standards, including the parking requirement;
- m) That the proposed use will not produce any or all of the following results:
  1. Damage or nuisance from noise, smoke, odor, dust or vibration,
  2. Hazard from explosion, contamination or fire,
  3. Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and
- n) That the proposed development meets the requirements of the California Environmental Quality Act.

**WHEREAS**, the Planning Commission by the following roll call vote APPROVED MOD23-00009, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that MOD23-00009 filed by Ryan Alvarez (Sam's Torrance CA Partnership L.P.) to allow the construction of a member's only fueling station with underground tanks on property located in the P-D Zone at 2601 Skypark Drive on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That the use of the subject property as a member's only fueling station shall be subject to all conditions imposed in Planning Commission case MOD23-00009 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this Modification 23-00009 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all applicable conditions and code requirements of PD90-2 (City Council Resolution No. 92-17) shall be met; (Planning)
4. That the applicant shall comply with all conditions required by Conditional Use Permit CUP23-00013; and (Planning)
5. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

\_\_\_\_\_  
Chairman, Torrance Planning Commission

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

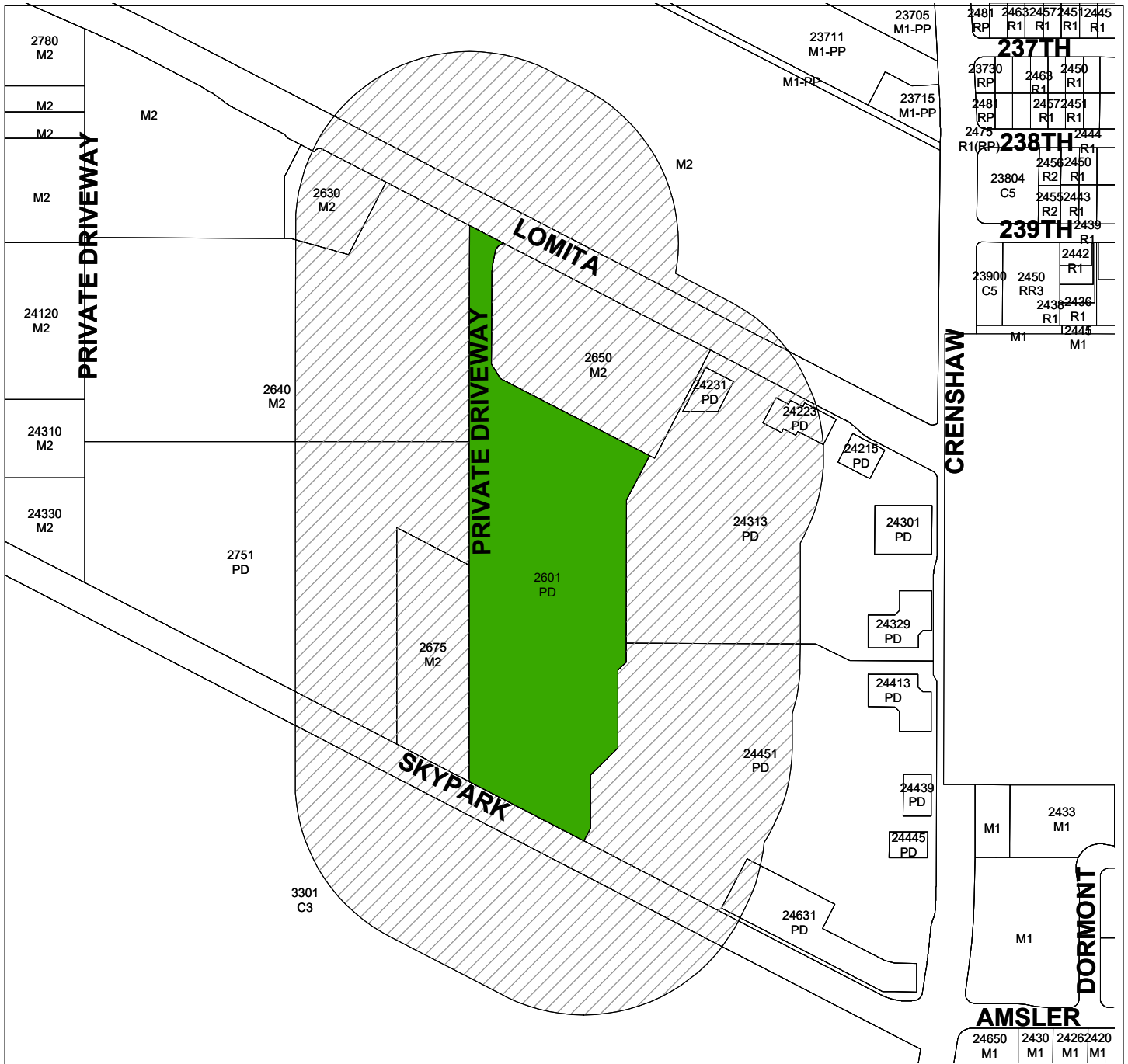
ABSTAIN: COMMISSIONERS:

---

Secretary, Torrance Planning Commission

**ITEM 8C**  
**ATTACHMENT 2**

Location and Zoning Map





# LOCATION AND ZONING MAP

CUP23-00013, MOD23-00009  
 2601 SKYPARK DRIVE



## LEGEND

-  NOTIFICATION AREA
-  2601 SKYPARK DRIVE



**ITEM 8C**  
**ATTACHMENT 3**  
Code Requirements

## **CODE REQUIREMENTS**

The following is a partial list of code requirements applicable to the proposed project. All possible code requirements are not provided here and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the code requirements. They are provided for information purposes only.

### **Building Regulations**

1. Comply with 2022 CA Codes.
2. Comply with 2022 CBC, Code Sections under 406.7.
3. Obtain separate Fire Permit through Torrance Fire Division.

### **Engineering – Permits & Records**

4. Public water facilities needed to serve this site, including as applicable, mains and appurtenances shall be constructed at the cost of applicant/owner per Torrance Municipal Water (TMW) plans and specifications. TMWD shall make final determination/approval for location, type, and size of all water facilities.
5. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Lomita Blvd. and Skypark Dr. (City Code Sec. 74.6.2)
6. Replace a portion of lifted sidewalk on Skypark Dr. per City of Torrance standards.

### **Grading Division**

7. The applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per TMC 81.2.49 (J103) and TMC 81.2.50(J104). Precise grading plan shall detail compliance paths of travel, accessible parking stalls per 2022 California Building Code (CBC) 11B-201.
8. The applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.

9. The applicant shall have a final drainage study prepared by a Registered Civil Engineer. The drainage study shall be prepared in report format and include sections addressing on-site and off-site drainage areas, existing and developed conditions hydrology, the design hydraulics for the on-site drainage system, including sizing of inlets, conduits, v-ditches, down drains and other structures, and associated calculations and conclusions. The drainage study shall demonstrate project compliance with the current Los Angeles County Public Work Department's Hydrology Manual and Hydraulic Design Manual; however the minimum design flow for sizing onsite drainage devices shall be 25 year recurrence (Q25) or 50 year storm for sump conditions. The drainage study shall be submitted to the Building and Safety and approved by the Building official prior the issuance of a grading permit Per TMC 81.2.50 (J104.9).
10. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6)
11. Drainage plans shall incorporate appropriate post-construction best management practices (BMPs) into the design of the project and must be prepared and approved prior to issuance of any grading permit per TMC 411.1.050. Please refer to the Los Angeles County Low Impact Development (LID) Manual for applicable design requirements. The project-specific LID plans shall describe how this project design conforms to all requirements set forth in the LID manual and must include a fully executed and recorded LID covenant to provide for on-going maintenance of the BMPs that have been chosen. Stormwater quality design volume (SWQDv) shall be retained onsite per TMC 411.1.070.
12. Per TMC 410.1.070 the owner/owner's agent shall submit erosion control plan to Building and Safety review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
13. Cover sheet of construction document shall include area (acres) of disturbed soil, disturbed soil 1 acre or more required the owner to file a Notice of Intent with the Division of Water Quality of State Water Resources Control Board and prepare a SWPPP per TMC 410.1.070, if applicable.
14. All undocumented fill shall be removed, until competent native soils have been reached and recompacted. TMC 81.2.50(J104.5).

15. Retaining wall proposed to accommodate the cuts and fills requires a separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
16. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per 81.2.52.

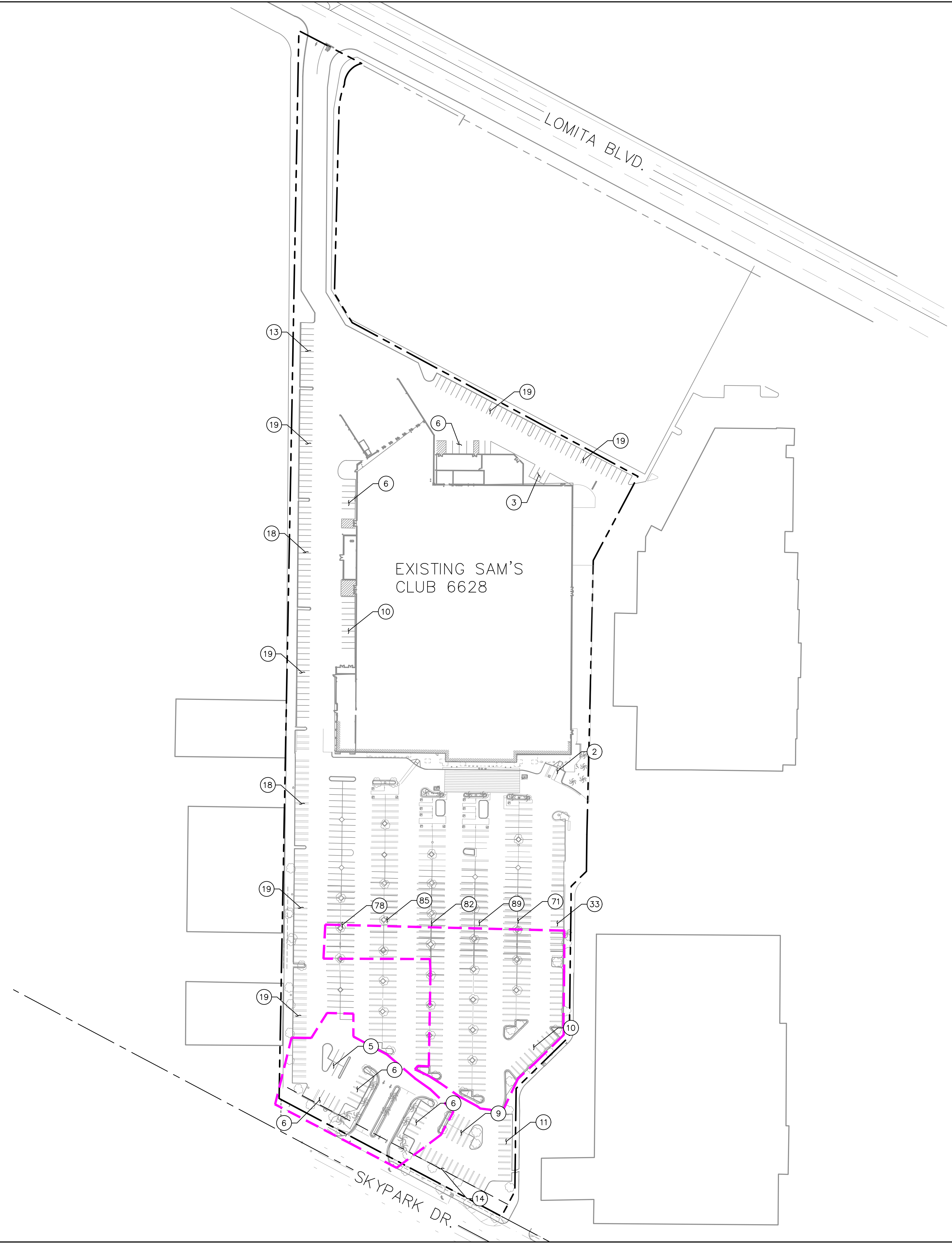
**Public Works - Streetscape**

17. Street trees required every 50'. Call Streetscape Division for tree species and locations.

**ITEM 8C**  
**ATTACHMENT 4**

Project Plans

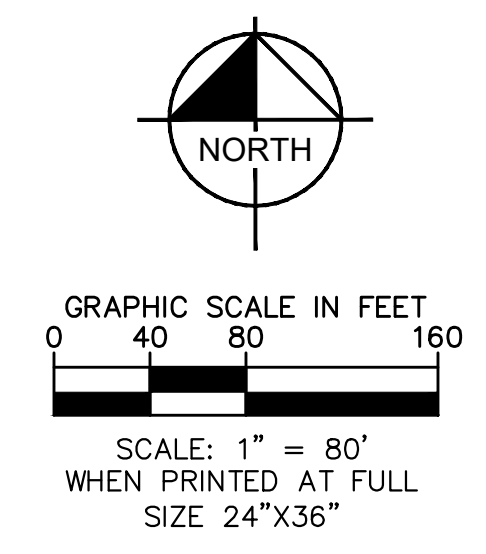
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 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE DATA		
	NO. OF SPACES	RATIO
CURRENT PARKING SPACES	695	4.96/1000 S.F.
POST FUEL	562	4.02/1000 S.F.
REQUIRED PARKING	559	4.00/1000 S.F.
NET PARKING REDUCTION	133	
SURPLUS PARKING	3	
ZONING	PD - PLANNED DEVELOPMENT	
ADDRESS	2601 SKYPARK DR	
PARCEL SIZE	540,293 SF	
BUILDING SIZE	139,750 SF	
PARKING REQUIREMENT	1 SPOT/250SF	
PARKING LOT AREA	338,400 SF	
OVERALL		
EXISTING LANDSCAPE AREA	65,384 SF	
PROPOSED LANDSCAPE AREA	62,143 SF	
LIMITS OF DISTURBANCE		
EXISTING LANDSCAPE AREA	6,277 SF	
PROPOSED LANDSCAPE AREA	3,036 SF	
LIMITS OF DISTURBANCE	1.18 AC   51,480 SF CEQA EXEMPTION CLASS 321 - INFILL	

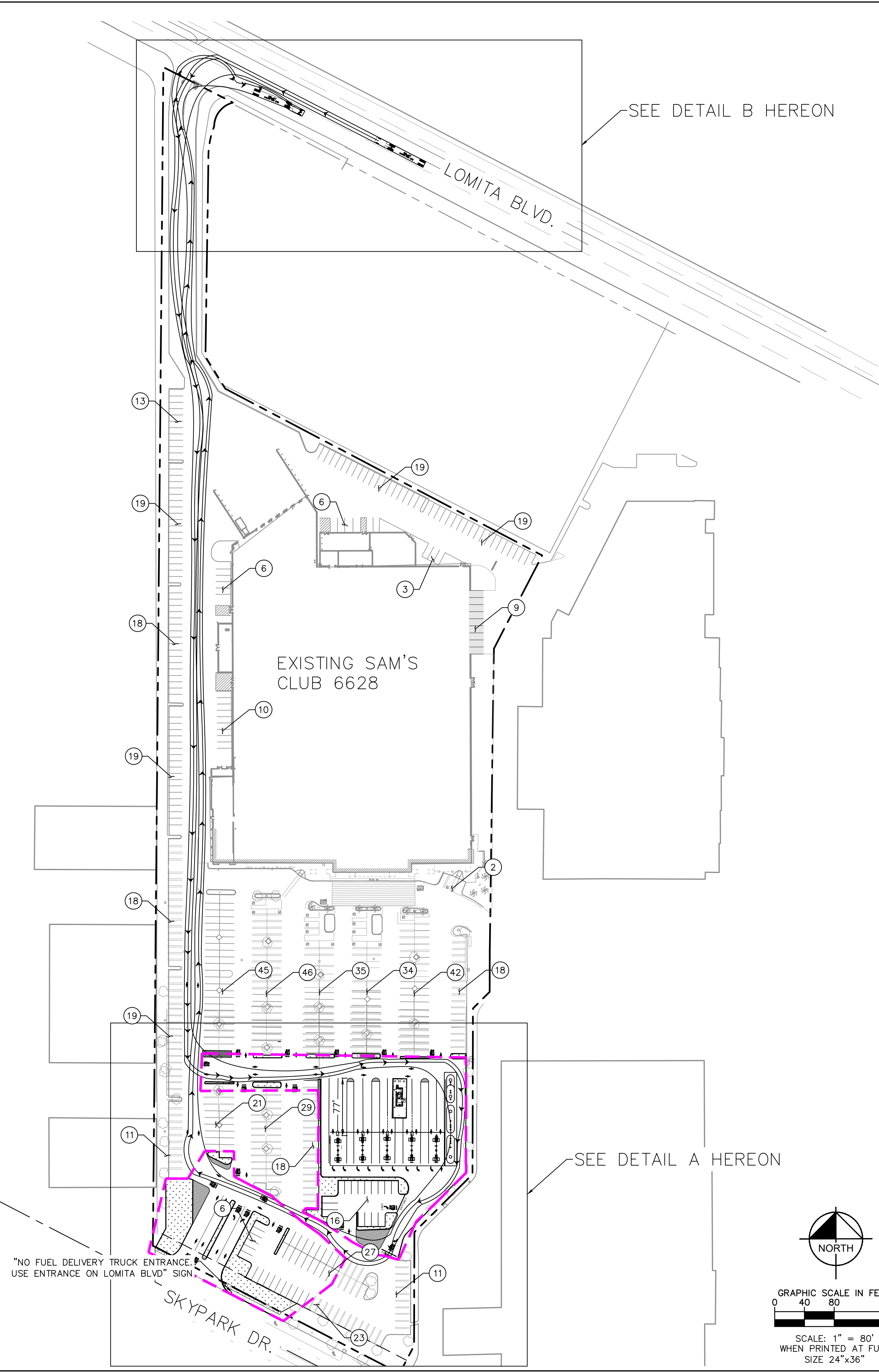
**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - LIMITS OF DISTURBANCE
- (X) PARKING COUNT
- [Stippled Box] PROPOSED LANDSCAPE



<p><b>EXISTING SITE PLAN</b></p>	<p><b>SAM'S CLUB 6628 FUEL STATION</b>          PREPARED FOR  <b>CITY OF TORRANCE, CA</b>          2601 SKYPARK DR</p>
<p>DATE: 8/8/2024</p> <p>SCALE: AS SHOWN</p> <p>DESIGNED BY: FF</p> <p>DRAWN BY: FF</p> <p>CHECKED BY: RWA</p>	<p>LICENSED PROFESSIONAL</p>
<p><b>C1.0</b></p>	<p><b>Kimley»Horn</b></p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC.          1100 W TOWN &amp; COUNTRY ROAD, SUITE 700, ORANGE, CA 92666          PHONE: 714-939-1030 FAX: 714-938-9488          WWW.KIMLEY-HORN.COM</p>
<p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p> <p>BY _____</p>	<p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p> <p>BY _____</p>

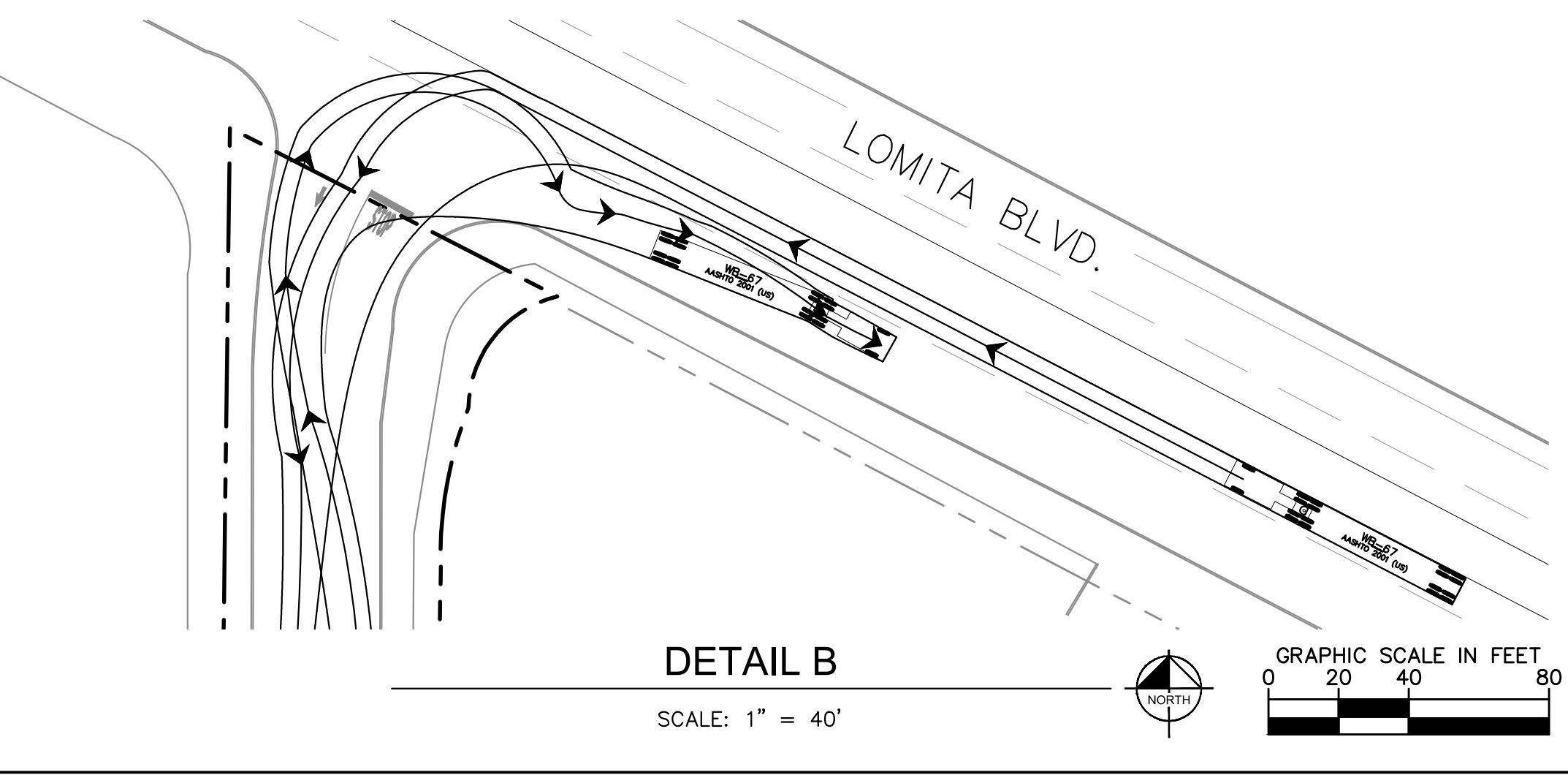
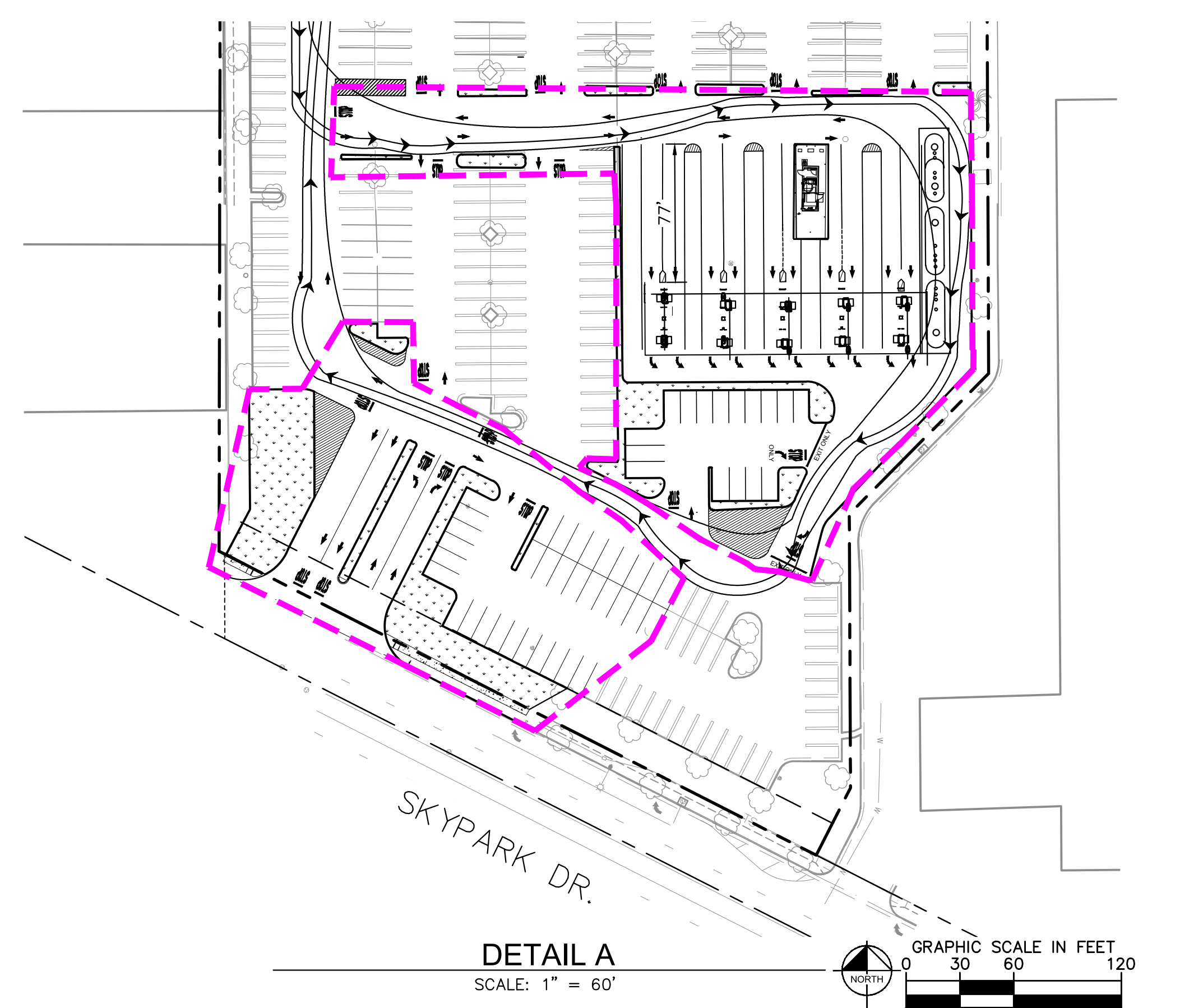
Plotted By: Santiago, Erin Sheet: K:\ORA\_L05EV\Wal Mart\Sams's Fuel\Torrance 6628 - Sams\_CAD\PlanSheets\SITE PLAN.dwg  
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BUILDING SIZE	139,750 SF	
PARKING REQUIREMENT	1 SPOT/250SF	
PARKING LOT AREA	338,400 SF	
OVERALL		
EXISTING LANDSCAPE AREA	65,384 SF	
PROPOSED LANDSCAPE AREA	62,143 SF	
LIMITS OF DISTURBANCE		
EXISTING LANDSCAPE AREA	6,277 SF	
PROPOSED LANDSCAPE AREA	12,056 SF	
LIMITS OF DISTURBANCE	2.00 AC   86,836 SF CEQA EXEMPTION CLASS 321 - INFILL	

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - LIMITS OF DISTURBANCE
- (X) PARKING COUNT
- [Pattern] PROPOSED LANDSCAPE



**PROPOSED SITE PLAN**

**SAM'S CLUB 6628 FUEL STATION**  
 PREPARED FOR  
 CITY OF TORRANCE, CA  
 2601 SKYPARK DR

**Kimley & Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 1100 W TOWN & COUNTRY ROAD, SUITE 700, ORANGE, CA 92666  
 PHONE: 714-939-1030 FAX: 714-939-9488  
 WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL

DATE: 8/8/2024

SCALE AS SHOWN: FF  
 DESIGNED BY: FF  
 DRAWN BY: FF  
 CHECKED BY: RWA

SHEET NUMBER: **C2.0**

NO. REVISIONS DATE BY

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CONSULTANTS

**sam's club**  
BACKFILL  
2601 SKYPARK DRIVE  
TORRANCE, CA 90505  
CLUB NO.: 6628-238  
JOB NUMBER: 96530512  
PROTO: SAM10-192

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: NB  
DRAWN BY: NB  
PROTO CYCLE: 08/30/2024  
DOC DATE: 12/19/2024

**NOT FOR CONSTRUCTION**

CANOPY PLAN, ELEVATIONS, AND DETAILS

SHEET: **FSA1**

**SHEET NOTES**

- REFER TO MEP FOR ADDITIONAL INFORMATION. REF SHEET F5T8 FOR EQUIPMENT ITEMS (FXXX) NOT SCHEDULED ON FSA1.
- 40B/C, 13 LB MINIMUM RATED FIRE EXTINGUISHERS SHALL BE PROVIDED BY GC IN ACCORDANCE WITH NFPA 10. FIRE EXTINGUISHER LOCATIONS AND SIZE SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL PRIOR TO OCCUPANCY.
- ALL SIGNAGE AND PRICE READERS MOUNTED ON CANOPY FASCIA IS FURNISHED AND INSTALLED BY OWNER'S SIGN INSTALLER.
- REFER TO CANOPY MANUFACTURER DRAWINGS FOR MORE INFORMATION.
- SPOT GRADES INDICATE RIM OF MANHOLE 1" ABOVE SURROUNDING GRADE. FIELD VERIFY. SLOPE CONCRETE AWAY FROM MANHOLE AT MAXIMUM 1/4" PER FOOT. REF MEP.
- ALL BOLLARDS, RAILS, BARRIERS, OR GUARDS ARE USED ONLY TO PROVIDE VISUAL CUES SEPARATING PEDESTRIAN, EQUIPMENT, AND VEHICLE AREAS AND ARE NOT INTENDED TO COMPLY WITH ASCE, ASTM F3016, ASTM F2056, OR ANY PROVISION ESTABLISHING TESTING OR RATING REQUIREMENTS FOR VEHICLE IMPACT.
- GC TO INSTALL OWNER SUPPLIED FUEL PRICE SIGN AT INTERIOR OF MAIN CLUB. SIGN TO BE MOUNTED AT 5'-0" AFF TO BOTTOM OF SIGN ON SALES FLOOR WALL ADJACENT TO THE VESTIBULE EXIT DOOR. IF SPACE IS NOT AVAILABLE DUE TO CONFLICTS WITH EXISTING ITEMS, VERIFY LOCATION WITH CONSTRUCTION MANAGER AND CLUB MANAGER. REFER TO ELECTRICAL FOR POWER AND COMMUNICATION REQUIREMENTS. REFERENCE 9-FSA3.
- SPOT GRADES ARE SHOWN IN THREE LOCATIONS (CIVIL ARCHITECTURAL, AND STRUCTURAL DRAWINGS). GC TO SUBMIT RFI IF DISCREPANCY BETWEEN THESE THREE LOCATIONS IS FOUND.

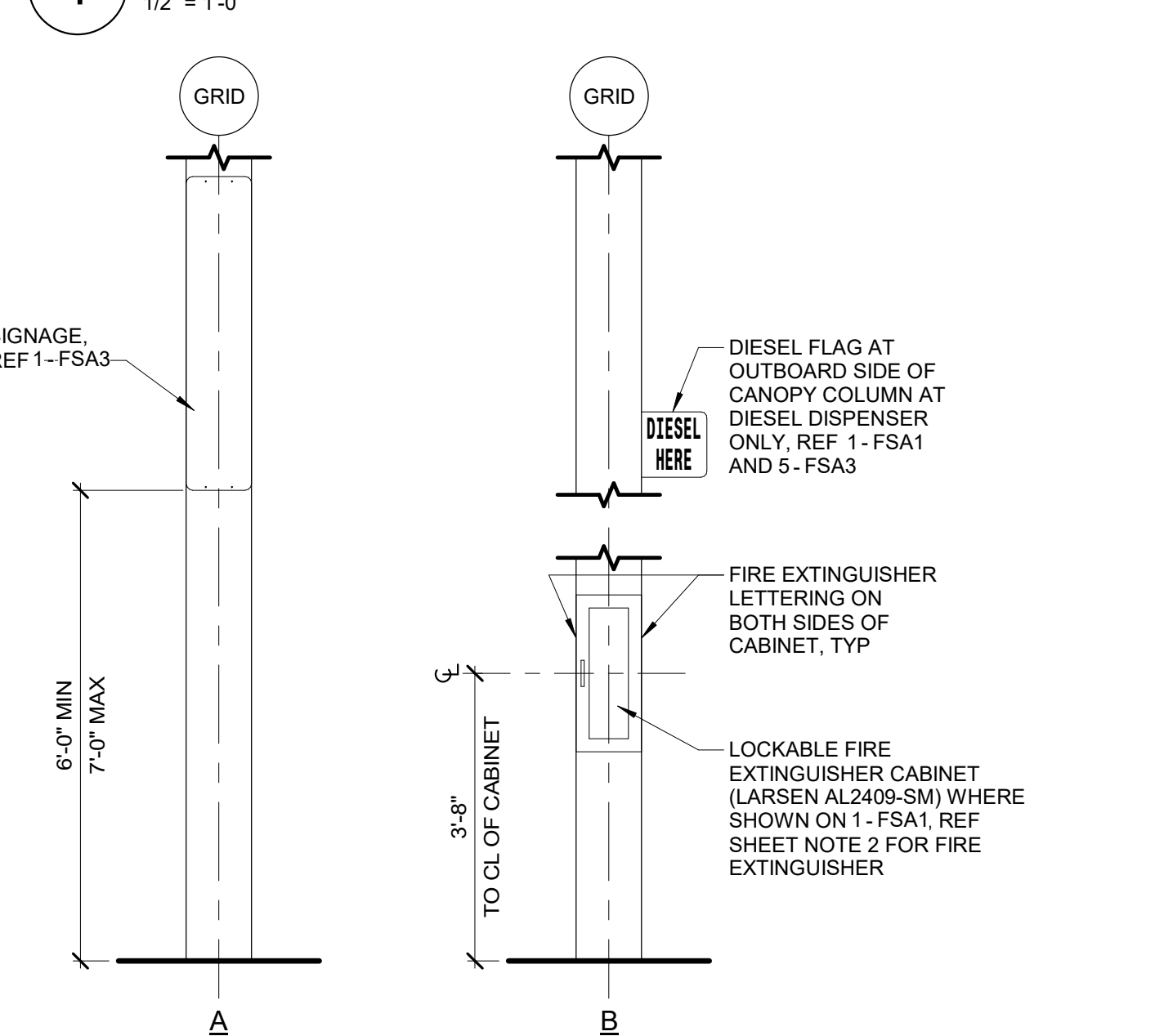
**SIGNS**

CANOPY SIGNAGE	AREA
1. (4) x "SAM'S CLUB" SIGN - CANOPY	(4) x 18.88 SF
2. (4) x DIGITAL PRICE SIGN (UNLEADED)	(4) x 17.33 SF
3. (4) x DIGITAL PRICE SIGN (DIESEL)	(4) x 17.33 SF
<b>TOTAL SIGNAGE</b>	<b>214.16 SF</b>

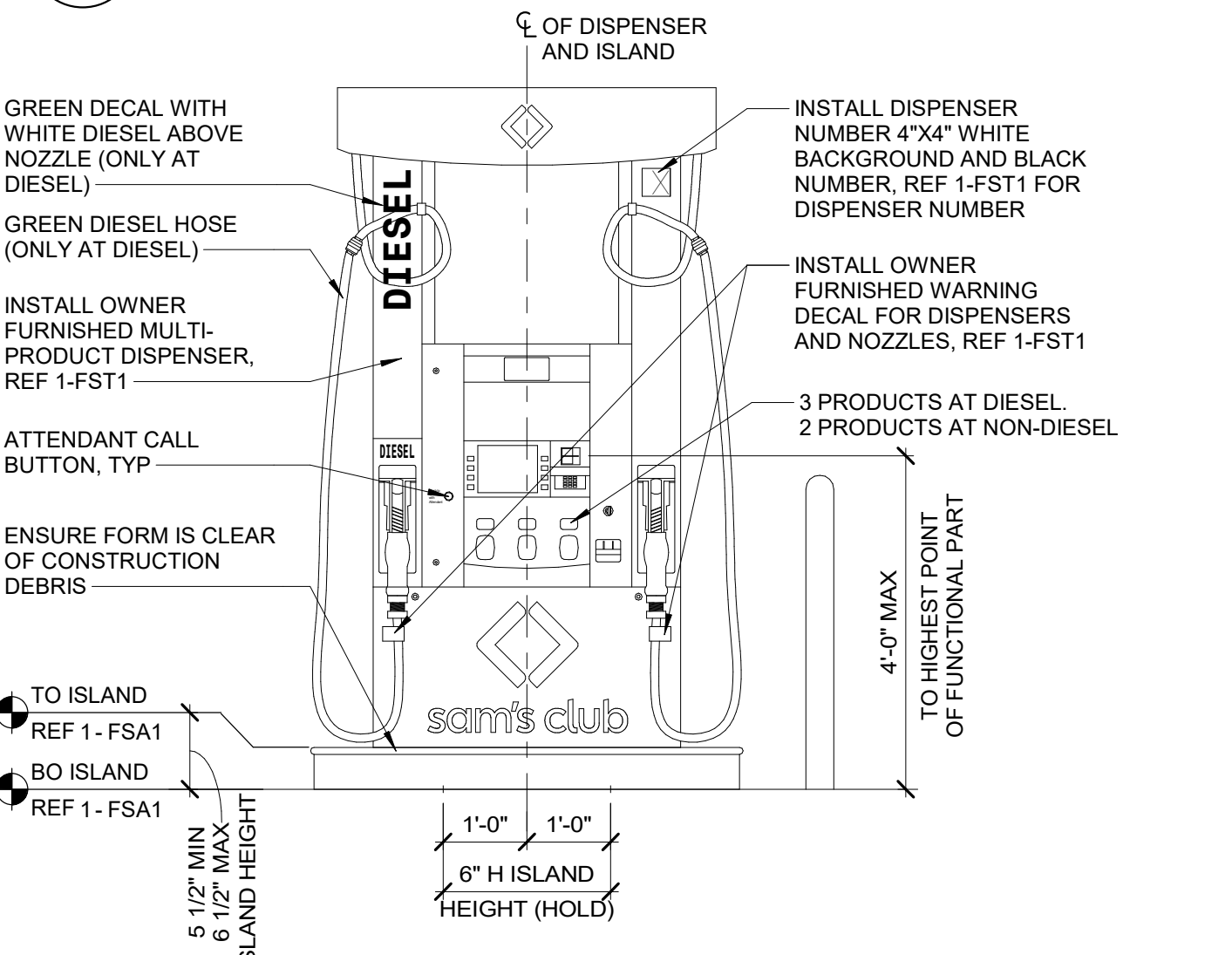
**COLOR LEGEND**

P5	"SAFETY YELLOW" OSHA STANDARD
P203	"URBANE BRONZE" SW #7048
PF21	CUSTOM COLOR - MATCH SW #6659 "BLUE CHIP" (ALPOLIC CUSTOM COLOR CMR: 16977 BLUE OR ARCONIC CUSTOM COLOR CMR: 80621-D BY BECKERS)

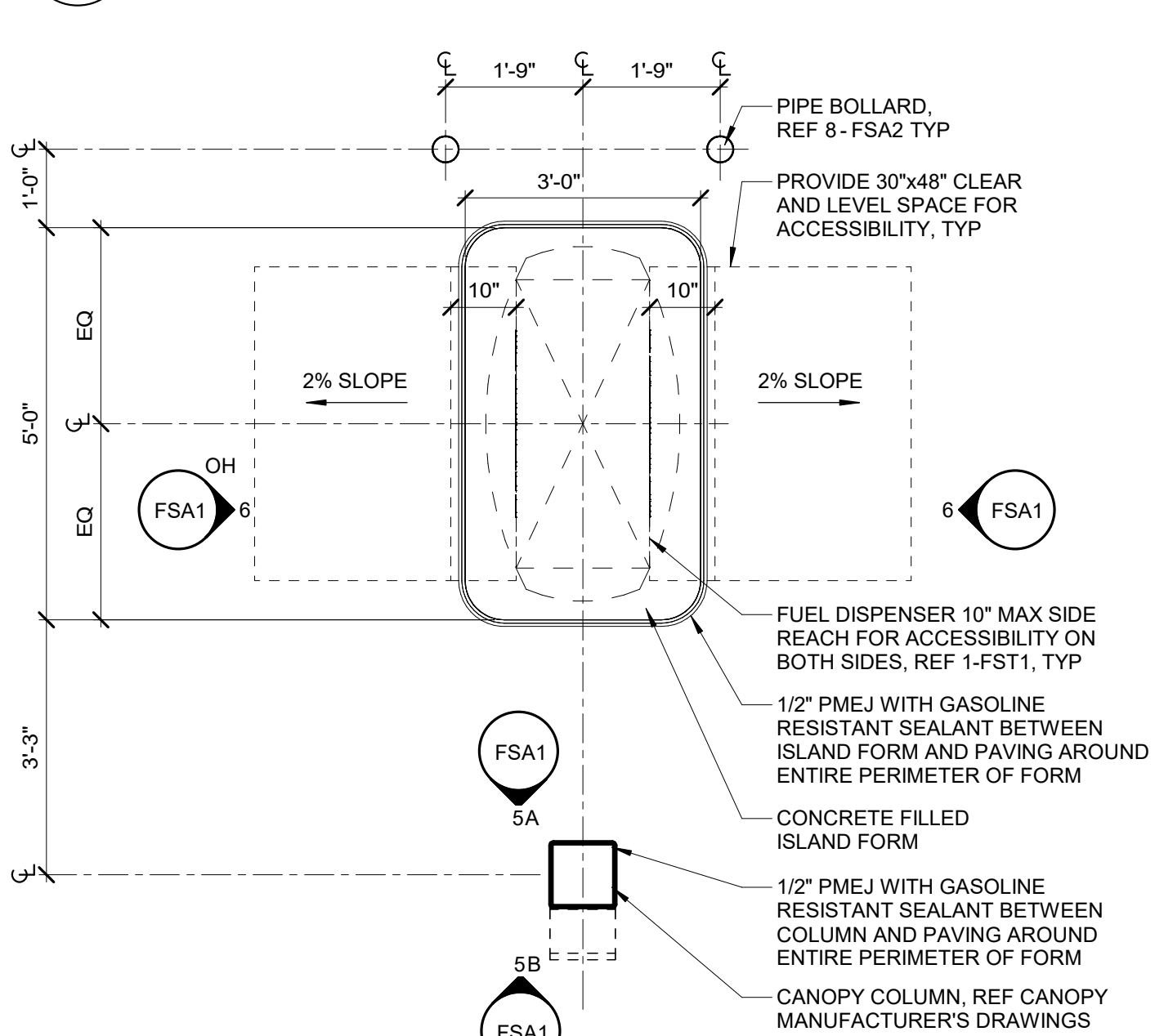
**EMERGENCY PUMP SHUT-OFF POST**



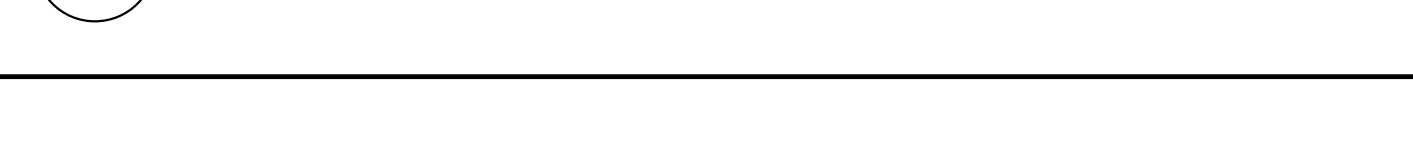
**COLUMN ELEVATIONS**



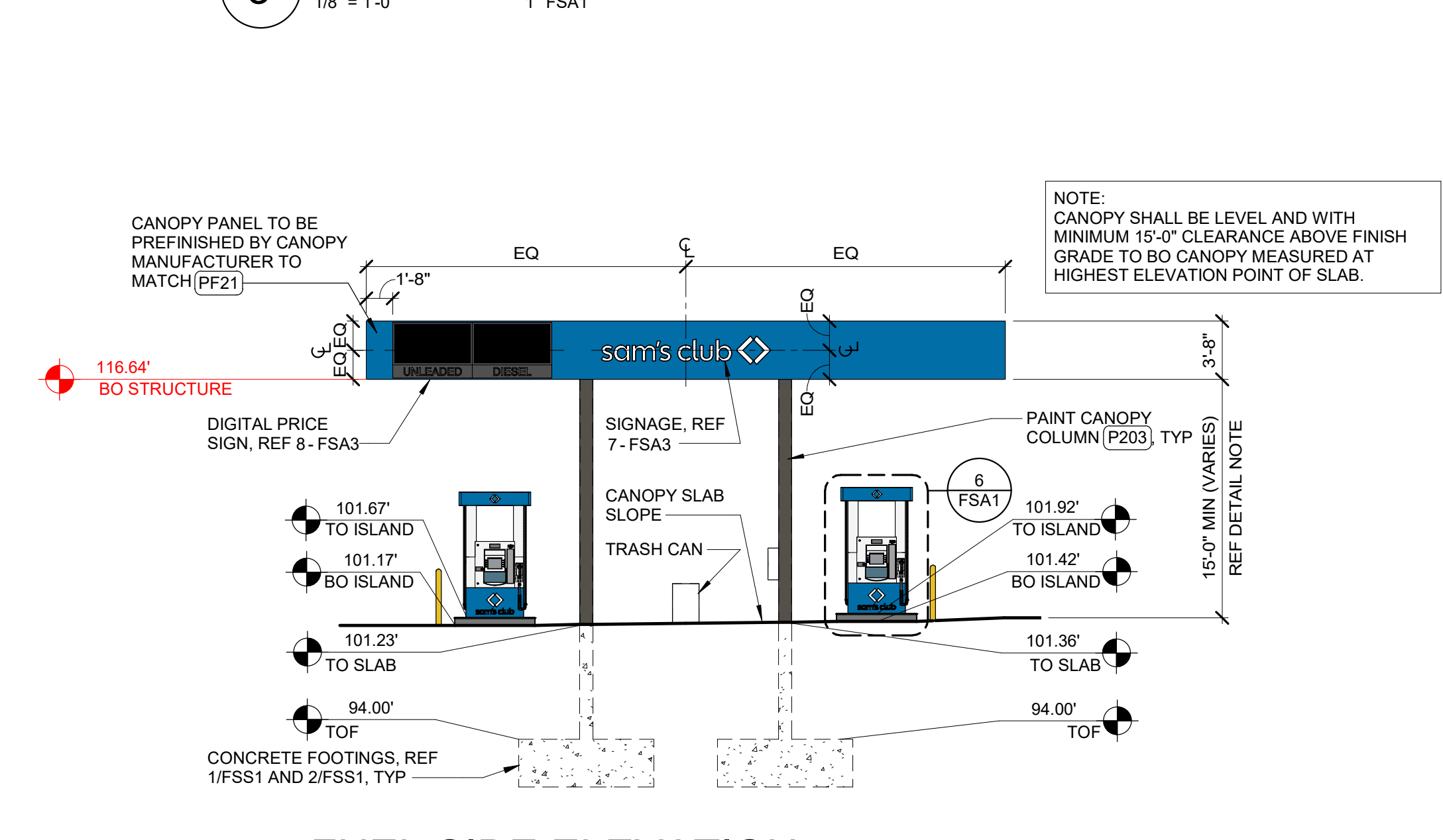
**FUEL DISPENSER ELEVATION**



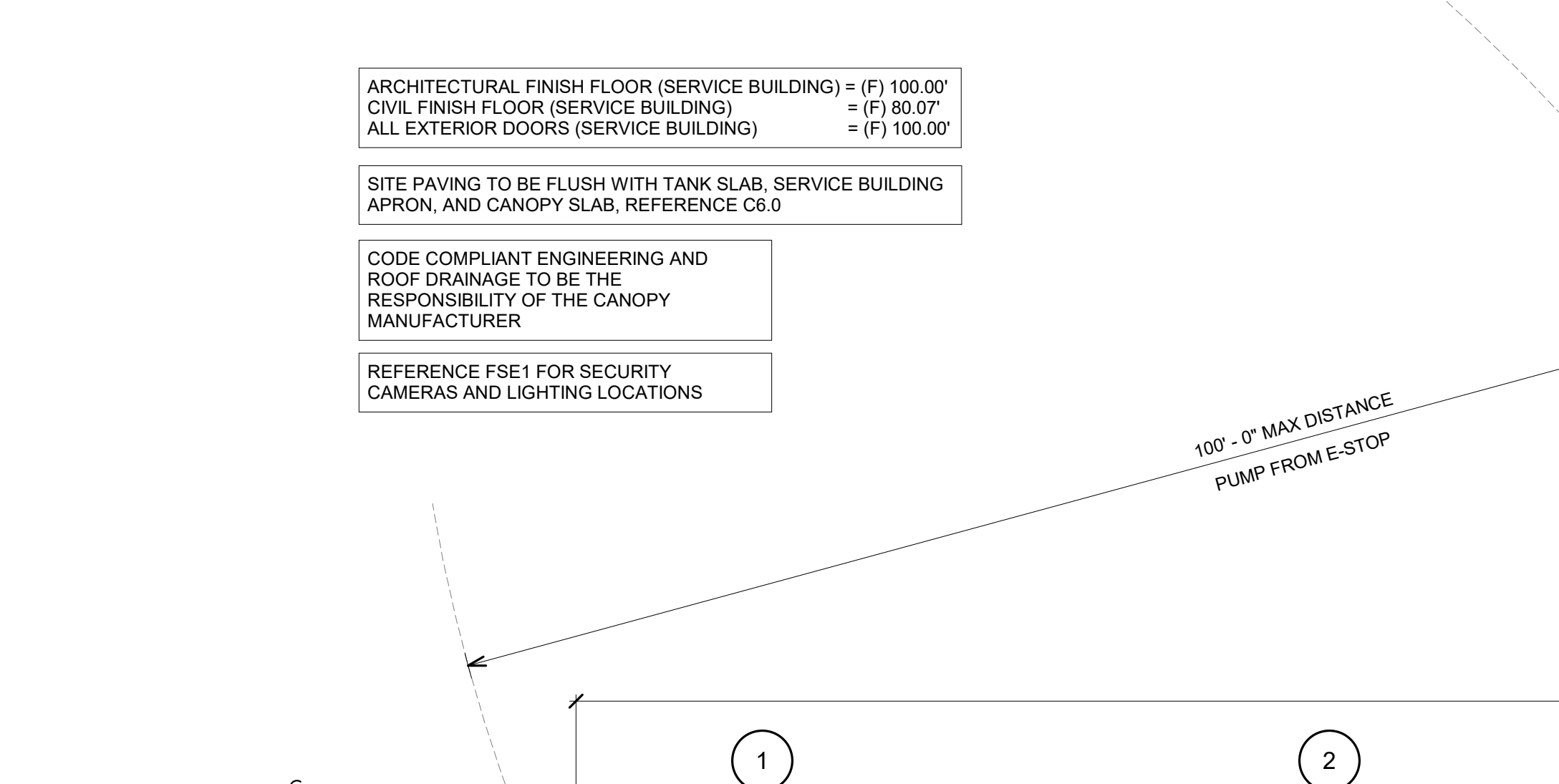
**DISPENSER ISLAND PLAN**



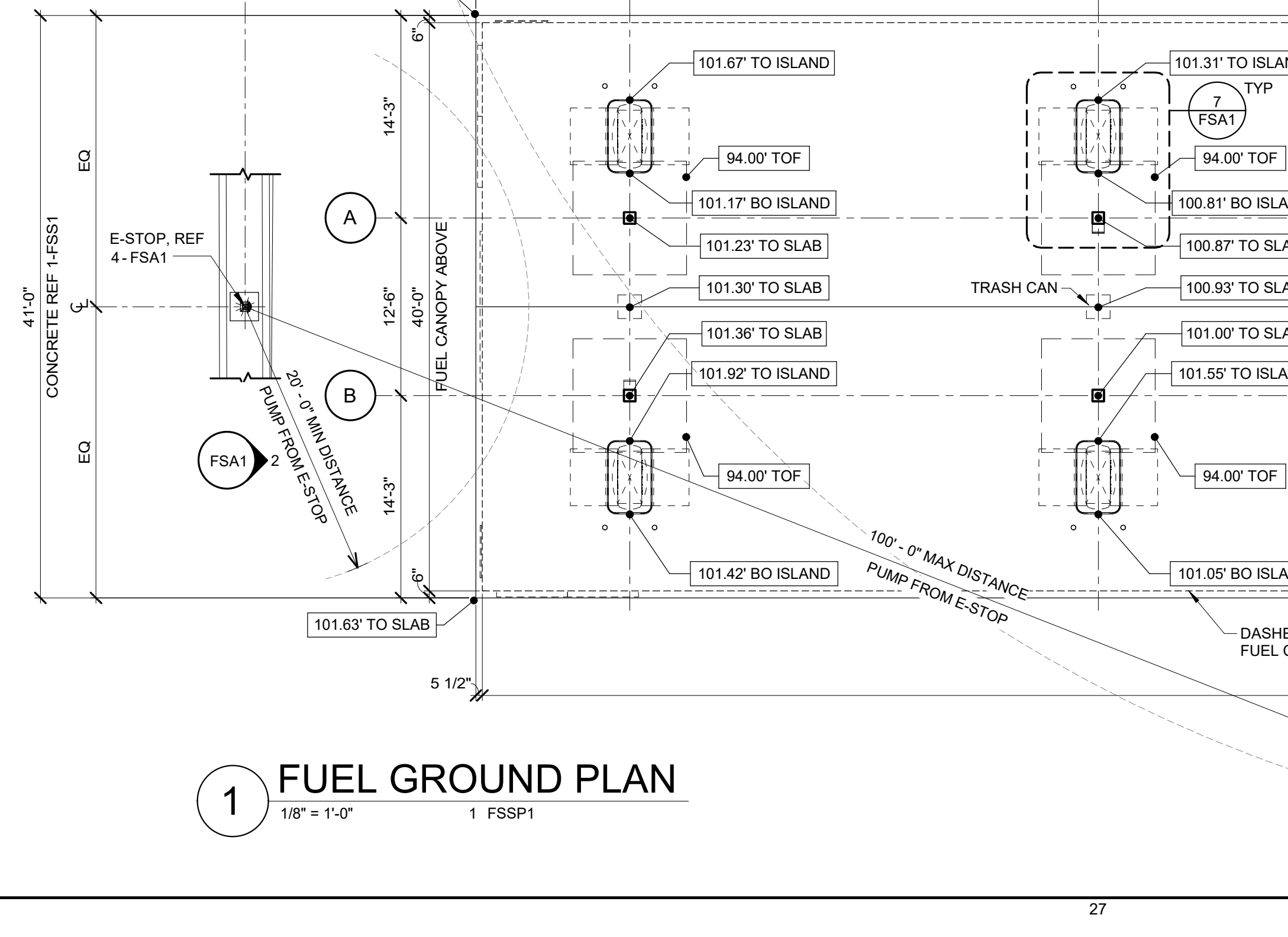
**FUEL ENTRY/EXIT ELEVATION**



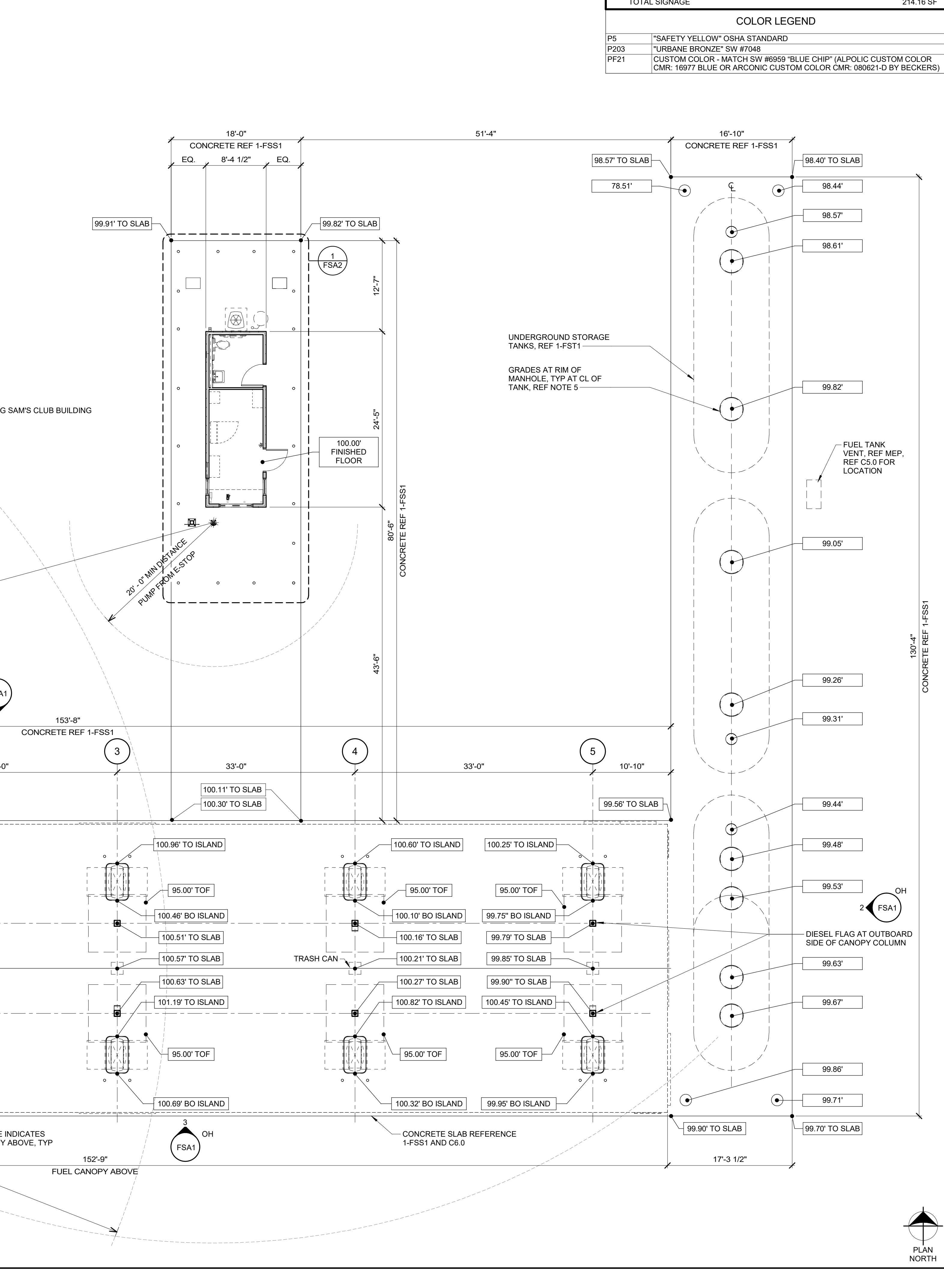
**FUEL SIDE ELEVATION**



**FUEL GROUND PLAN**



**EXISTING SAM'S CLUB BUILDING**





**AGENDA ITEM NO. 8D**

**DATE:** March 5, 2025  
**TO:** Planning Commission  
**FROM:** Dominique Allen, Planning Assistant  
**SUBJECT:** 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051)  
Conditional Use Permit (CUP24-00027)  
Modification (MOD24-00009)  
Development Permit (DVP24-00002)  
Division of Lot (DIV24-00007)

Consideration of a Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051) .

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 25-016, 25-017, 25-018, and 25-019 for approval of a Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan- Meadow Park District Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051), and determine a Categorical Exemption for the project in accordance with the California Environmental Quality Act (CEQA); Article 19, Sections 15305 (Minor Alterations) and 15332 (In-fill Development).

**EXECUTIVE SUMMARY**

The project applicant, Ryan Martin of Ledo Capital Group (LCG Atrium, LLC), requests approval by Planning Commission to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, on properties located at 23760-23868 Hawthorne Boulevard.

The project design is consistent with the design guidelines established in the Hawthorne Boulevard Corridor Specific Plan (HBCSP), which encourage scale, placement, and appeal that is compatible with character of the surrounding area and that blend with existing uses. The project is proposed across four lots as it involves a lot line adjustment and the construction of a new light industrial building. The light industrial building is designed as a one-story tilt up building that features an office mezzanine.

Access to the project is provided from a primary driveway and pedestrian pathway along Hawthorne Boulevard and a secondary driveway on Madison Street. The project provides onsite and offsite parking within adjacent parcels near the project site.

The project would replace the southern portion of the existing Atrium Business Center and would be redeveloped and reconfigured. Additionally, the project involves a modification to past entitlements associated with the Atrium Business Center.

The development standards of M-1 Zone as well as the design guidelines of the Hawthorne Boulevard Corridor Specific Plan (HBCSP) and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP) to allow the redevelopment of the southern portion of the former Atrium Business Center to construct a new 56,722 square foot light industrial building;
- Development Permit (DVP) to allow new development within the HBCSP Overlay;
- Division of Lot (DIV) to allow a lot line adjustment; and
- Modification (MOD) to allow revisions to the site and past entitlements.

Staff has reviewed the project and determined compliance with the objective development standards of the M-1 Zone as well as the design guidelines of the HBCSP as well as consistency with the Light Industrial land use designation. The potential environmental impacts associated with the project were assessed through multiple Technical Studies, which found there is no substantial evidence that the project would have a significant effect on the environment. Staff recommends approval of the project. The balance of this report provides an overview of the project.

Staff notes the project plans and all related documents are readily available for public review on the City webpage (<https://bit.ly/23760-23860-Hawthorne-Boulevard>)

## **DISCUSSION**

### **Environmental Determination**

The demolition of two industrial buildings and the construction of one new industrial building is categorized as In-Fill Development, which refers to development of unused or underutilized land located in urban areas. Minor lot line adjustments that do not result in the creation of any new parcel is categorized as Minor Alterations in Land Use Limitations.

The Project involves demolition of two existing industrial buildings and the construction of a new light industrial building totaling 56,722 square feet on property located in the M-1 Zone. The Class 32 Categorical Exemption is allowed where the proposed project would result in the redevelopment of the site with a building of substantial similar size, purpose, and capacity. The project's proposed light industrial building increases in size compared to the two existing buildings, with a net increase of 8,722 square feet. The proposed project would redevelop the site with a substantially similar use and purpose by replacing the two existing industrial buildings with one new industrial building.

A trip generation assessment was prepared by the applicant and reviewed by staff to evaluate the potential change in capacity by comparing the existing operation with the proposed operation. The proposed project would generate substantially less capacity than the existing uses, as there would be a net reduction in daily two-way trips per day.

In accordance with the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15332, In-Fill Development projects are found not to have a significant effect on the environment and are declared categorically exempt from further environmental review when: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; (e) the site can be adequately served by all required utilities and public services.

The project meets the criteria for a categorical exemption (Class 32) as follows:

- a. The project is consistent with the M-1 Zone and I-LT land use designations, which allow industrial development up to 0.6 floor area ratio.
- b. The project site is located within the City of Torrance limits and is located on an approximate 2.45-acre site. The project site is surrounded by urban uses that include business and industrial uses.
- c. The project site is not a habitat for endangered, rare or threatened species. The site is located within an urbanized environment and is developed as industrial use. There are no outstanding natural features on the site nor in the vicinity. Additionally, the general plan does not identify any candidate, sensitive or special status species that occupy the site.
- d. The potential traffic, noise, air quality, cultural resources, biological, and water quality associated with the project were assessed in technical studies prepared in consultation with the Torrance Community Development Department and the Torrance Public Works. The studies found the project would not result in significant or less than significant traffic, noise, air quality, and water quality impacts. For example, with respect to traffic, the project would generate 280 daily trips, a decrease of 70 daily trips, which falls below the City's threshold of 500 new daily trips. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code.
- e. The project site is currently served by existing utilities and public services. The project applicant would demolish the existing two industrial buildings and redevelop the site with one new light industrial building. The associated decrease in utilities services is expected to have negligible effect on current service providers. The site can be adequately served by all required utilities and public services.

In the judgment of staff, based on the assessment contained in the technical studies provided, no new substantial environmental issues have been identified. All potential environmental impacts associated with the project were found to be less than significant or no impact.

### **General Plan Land Use Designation and Zoning Designation**

The project site has a General Plan land use designation of Light Industrial (I-LT) and a zoning designation of Light Manufacturing (M-1) Zone and within Hawthorne Boulevard Corridor Specific Plan – Meadow Park Sub-district Overlay. New development in the area is envisioned to retain the existing pattern of individual buildings or small building clusters, separated by relatively wide side yard areas. Corresponding to the relatively smaller lot sizes, and more modest scale of development, building setbacks are closer to the street.

The project site has a General Plan land use designation of Light Industrial (I-LT), which allows a maximum FAR of 0.6. Development in the I-LT land use designation is characterized by a wide range of industrial uses including manufacturing, assembly, wholesale, warehouse/distribution, research and development, professional offices, medical offices, and ancillary commercial uses. The proposed light industrial building with office use is consistent with the Light Industrial Designation.

### **Adjacent Land Uses and Zoning Designations**

The project site is located adjacent to the Torrance Municipal Airport - Zamperini Field and across from different land uses that are consistent with various zoning designations. To the north across the property are professional offices, to the east across Madison Street is a parking lot and a professional office building, to the south are professional offices, commercial and industrial buildings, and to the west across Hawthorne Boulevard are commercial buildings.

NORTH: M-1/ H-MP Light Industrial/ Meadow Park Sub-district  
SOUTH: M-1/ H-MP Light Industrial/ Meadow Park Sub-district  
EAST: M-1/ H-MP Light Industrial/ Meadow Park Sub-district  
WEST: H-MP Meadow Park Sub-district

### **Existing Site**

The existing development consists of five buildings encompassing four irregular shape parcels measuring 5.15 acres in area. In 1973, the Planning Commission approved a Conditional Use Permit (CUP73-55) and Planning Commission Review (PCR73-6) that allowed the construction of an industrial complex consisting of five industrial buildings across four parcels within the former Meadow Park Redevelopment area. The five two-story industrial buildings are designed with individual tenant spaces for manufacturing and office use. Parcel APN 7378-011-040 (Lot 10) contains two light industrial buildings; the northern building measures 14,400 square feet and the southern building measures 24,000 square feet, Parcel APN 7378-011-041 (Lot 11) contains a 24,000 square foot light industrial building, Parcel 7378-011-050 (Lot 20) contains a 24,000 square foot light industrial building, and Parcel 7378-011-051 (Lot 21) contains 24,000 square foot light industrial building. The existing total square footage for all five buildings is approximately 110,400 square feet. There are no outstanding natural features on the site.

The project site is within the Airport Influence Area (AIA) of the Torrance Municipal Airport - Zamperini Field. The project proposes approximately 56,722 square feet of light industrial and office space in one building with a height of approximately 46 feet on one of the four lots. The project will replace two existing industrial use buildings on two lots with one building on one consolidated lot. The project site is approximately 1,050 feet northwest of the nearest runway edge of the airport.

The applicant obtained clearance from Los Angeles County Airport Land Use Commission (ALUC). According to the letter of clearance, industrial development is permitted within the 70

decibel A (dBA) noise contours, provided that sound insulation is considered for the portions of the buildings closest to the airport where people may be present, such as offices. To minimize risks to aircraft operations, reflective materials on building exteriors facing the airport and flight paths should be avoided, and clearance on air obstruction should be sought with the Federal Aviation Administration (FAA). The proposed project does not conflict with the compatibility criteria in the Airport Land Use Plan (ALUP). Therefore, the project does not need to be further reviewed for compliance with the policies of the County ALUP.

### **Redevelopment History**

The subject properties are located in the former Meadow Park Redevelopment Project Area (MRP), which allowed for a variety of light industrial uses. As previously mentioned, the development of the subject properties was approved under CUP73-55 and PCR73-6. The project complied with the development standards that were in place when the project was originally constructed.

When the MRP expired in 2007, the properties became part of Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district (H-MP). In 2010, the land use designation of the former MRP industrial properties was amended from General Commercial to Light Industrial as part of the General Plan Update to reflect the existing land use pattern with the intention of updating the zoning designation and/or uses permitted as part of a comprehensive zoning code update to conform with the Light Industrial land use designation.

According to Ordinance 3426 and the accompanying map exhibits that established the boundaries of the Hawthorne Boulevard Corridor Specific Plan (HBCSP), the parcels that comprised the former Meadow Park Redevelopment Project Area (MRP) were not rezoned H-MP as part of the HBCSP. The underlying zoning of the MRP parcels is M-1 or C-5. The C-5 or M-1 permitted uses and development standards, as well as the Specific Plan Design Guidelines will apply to the former MRP.

### **Lot Line Adjustment**

The project involves a Lot Line Adjustment that combines lot 11 and 20 into one parcel that would result in a newly formed parcel measuring 2.45 acres. Additionally, the two northern parcels, 10 and 21, will be subdivided into three parcels that will result in lots measuring 33,967 square feet for Parcel A, 40,676 square feet for Parcel B, and 42,854 square feet for parcel C. Approval of the Lot Line Adjustment would give the applicant the ability to proceed with the proposed development in substantial compliance with the local ordinances, policies, and standards that are currently in effect. Staff reviewed the map and found its design and improvements are consistent with the HBCSP and the General Plan, and in compliance with the Subdivision Map Ordinance of the Torrance Municipal Code as well as the Subdivision Map Act of the State of California.

### **Site Design and Building Architecture**

The project site design and building architecture are consistent with the design guidelines of the HBCSP, which encourage scale, placement, and appeal that is compatible with character of the surrounding area and that blend with existing uses. The project design builds on the existing character of the surrounding area by introducing a light industrial building that is consistent with structures within the vicinity.

The project site design demonstrates transition and scale in conformity with surrounding structures by establishing the façade of the concrete tilt-up building as the focal point with varying colors throughout the building. The façade features a medium gray color, decorative canopies,

and storefront glazing to enhance articulation. Staff notes a Condition of Approval has been included for the applicant to continue to work with staff to further enhance the building articulation.

In addition, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. The architectural design of the building will be of a concrete tilt up that utilizes high quality materials such as storefront glazing, metal, and wood. The color scheme includes white and variations of gray throughout the building. Additional features and design enhancements include landscaping, pedestrian pathways, and perimeter fencing.

The proposed building layout features 51,222 square feet of warehouse and 3,000 square feet of ground level office, an electrical room, six loading docks in the rear, and a 2,500 square foot mezzanine.

Additional site improvements include a new trash enclosure at the rear of the light industrial building facing east towards Madison. Also, there is a fencing system at the rear of the property that consists of a 40 foot long steel painted rolling gate that is setback approximately 7 feet 3 inches away from the property line. The rolling gate is attached to a tube steel fence that surrounds the south, east, and north of the rear of the building. Lastly, towards the north of the building in the rear, there is a proposed swinging gate that measures 38 feet long that is also part of the fencing system. Staff notes the swinging gate opens outward into the adjacent parking stalls. Staff has included a condition of approval to have the swinging gate open inward away from the parking stalls or change the gate to a rolling gate.

### **Building Setbacks**

The project features building setbacks that are consistent with the HBCSP design guidelines and have been designed to achieve clear and recognizable transitions by providing an 8 foot 3 inches wide landscape setback along the street frontage of Hawthorne Boulevard and 7 foot 3 inches in the rear along Madison Street, followed by parking spaces that offer broad separation between the sidewalk and the building. Staff notes the required building setbacks are measured from property line along the public right-of-way or from the curb face of a private street.

Provided below is a summary of the building setbacks measured from each property line and street:

<b>Building Setback Summary</b>		
<b>Property Line / Street</b>	<b>Proposed Setback</b>	<b>Required Setback</b>
North / Commercial/ Industrial Properties	24 feet 3 inches	10'
South / Commercial/ Industrial Properties	10 feet	10'
East / Madison Street	149 feet 10 inches	0'
West / Hawthorne Boulevard	86 feet 3 inches	8'

## **Building Height**

The project features building heights that are consistent with the HBCSP design guidelines and that demonstrate transition and scale to maintain conformity with the neighboring structures. The building is designed to feature varying roof heights throughout the building, with a maximum height of 46 feet. The varying roof heights further enhance the architectural articulation and break up the building mass. Additionally, staff notes the applicant plans to install roof top equipment and a Condition of Approval has been included to screen roof top equipment from public view.

## **Landscaping**

The project provides 13,454 square feet of landscaping for the project site which is consistent with the design guidelines of the HBCSP and makes a positive contribution to the aesthetics and function of the site. The project incorporates landscape setbacks along the site perimeter that provide an attractive view from the street. Planted areas are used to frame and soften structures, define site functions, enhance the quality of the environment, and create identity. Staff notes there are multiple mature trees on site that are being removed. Staff notes existing mature trees and other prominent physical land features should be preserved and incorporated into the landscape plans. Removal of any healthy, mature tree(s) is discouraged. However, in the event that mature trees are to be removed, a 36" box canopy tree all be installed as a replacement for each tree removed. Drought tolerant and native regional plants are encouraged and should make up a large percentage of plant materials used. Staff has included Conditions of Approval to address the landscaping requirements.

## **Access, Circulation, and Parking**

The project site design for access, circulation, and parking is consistent with the HBCSP design guidelines, which encourage clear, easy to understand access and circulation patterns that accommodate the needs of both the automobile and the pedestrian, and that reduce traffic conflicts. The project site currently has two driveways: one on Hawthorne Boulevard and one on Madison Street. The driveway along Hawthorne Boulevard is for primary vehicular and pedestrian access, as the driveway along Madison Street is for secondary vehicular access. Additionally, there is an emergency vehicle access lane that wraps around the building from the northwest to the southeast.

The parking requirements for warehouses with offices are 1 space for every 1,500 square feet of warehouse space and 1 space for every 250 square feet of office space. The project requires a total of 57 parking spaces and provides a total of 49 parking spaces within the project site. The subject site provides 7 compact parking stalls, 26 standard parking stalls, 2 standard accessible parking stalls, 1 van accessible parking stalls, 10 Electric Vehicle (EV) capable stalls without EVSE (Electric Vehicle Supply Equipment), 2 EVCS (Electric Vehicle Charging System) EV capable stalls w/ EVSE, and 1 van accessible EVCS (EV Capable stall w/ EVSE).

Although the subject site does not have sufficient parking spaces to meet the requirement for the light industrial warehouse with office use, the parking requirement is met through shared parking within the four adjacent parcels. The provided parking for the project totals 114 parking spaces, in which meets the parking requirement of 57 spaces.

## **CONCLUSION**

In the judgment of staff, the project is consistent with the zoning designation of Light Manufacturing within the Hawthorne Boulevard Corridor Specific Plan – Meadow Park Sub-district and the Light Industrial land use designation, as the project design builds on the existing character

of the surrounding area. The proposed project provides a light industrial warehouse concrete tilt up building that demonstrates appeal through modulation of building masses and represents an improvement to the area. The general plan recognizes the importance of this area as a means to achieve employment objectives and promote viable industrial development. The proposed development would allow for additional business and employment growth, as well as present a viable redevelopment of the property.

Additionally, the Division of Lot request is consistent with the subdivision regulations of the Torrance Municipal Code. In the judgment of staff, the proposed Lot Line Adjustment is consistent with existing improvements and will remain compatible with the prevailing land use pattern of the surrounding area. The project area will not be significantly impacted by the proposed parcel boundary adjustment, nor does the project affect existing uses or intensity of uses. Based on the findings of this report and set forth in the attached Resolution, staff recommends approval of the request, as conditioned.

### **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

### **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the Torrance Municipal Code, California Building Code, California Fire Code, et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

### **PUBLIC NOTICE**

In accordance with the Torrance Municipal Code, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on February 13, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

### **RIGHT OF APPEAL**

In accordance with Torrance Municipal Code Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

### **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990. In addition, the project plans and all related documents are readily available for public review on the City webpage (<https://bit.ly/23760-23860-Hawthorne-Boulevard>).

## **ATTACHMENTS**

1. Resolution Nos. 25-016, 25-017, 25-018, and 25-019
2. Location and Zoning Map
3. Code Requirements
4. Boundary Map (Exhibit A)
5. Project Plans

**ITEM 8D**  
**ATTACHMENT 1**

**RESOLUTION NUMBERS**  
**25-016, 25-017, 25-018, AND 25-019**

**PLANNING COMMISSION RESOLUTION NO. 25-016**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF A NEW 56,722 SQUARE FOOT LIGHT INDUSTRIAL BUILDING, ON PROPERTIES LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-MEADOW PARK DISTRICT OVERLAY IN THE M-1 ZONE AT 23760-23868 HAWTHORNE BOULEVARD.

**CUP24-00027: RYAN MARTIN OF LEDO CAPITAL GROUP  
(LCG ATRIUM LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on March 05, 2025, to consider an application filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for a Conditional Use Permit and a Development Permit, in conjunction with a Modification of the previously approved entitlements (CUP73-55 and PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park District Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties are located at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051);
- b) That the properties are described as "Tract No 21484 Lot 11, Tract No 21484 Lot 20, Tract No 21484 Lot 10, and Tract No 21484 Lot 21" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in-fill development projects within City limits on a project site of no more than five acres substantially surrounded by urban uses are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15332 – In-fill Development;
- d) That the proposed light industrial building is conditionally permitted within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone and complies with all of the applicable provisions of the Torrance Municipal Code and all conditions imposed on the property;
- e) That the proposed light industrial building, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses;
- f) That the subject site is physically suitable for the proposed light industrial building, as conditioned, because the project site is situated within an urbanized environment and already

served by all necessary utilities and public services, and will not extend any roads or other infrastructure;

- g) That the proposed light industrial building, as conditioned, will be compatible with existing and proposed future land uses within the Hawthorne Boulevard Corridor Specific Plan- Meadow Park District Overlay in the M-1 Zone and the general area because the project site is surrounded by similar uses;
- h) That the proposed light industrial building, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as Light Industrial, because the proposed light industrial building redevelops the existing longstanding use;
- i) That the proposed light industrial building, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the site will continue to be compatible with existing surrounding uses;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed building is not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the project, as conditioned, because the project maintains the driveways on Hawthorne Boulevard and Madrona Avenue;
- l) That the proposed location, size, design, and operating characteristics of the proposed light industrial building, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the Hawthorne Boulevard Corridor Specific Plan- Meadow Park District overlay, the M-1 Zone, and is consistent with the Light Industrial land use designation; and
- m) That the proposed building will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** CUP24-00027, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that CUP24-00027 filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for a Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for a light industrial building shall be subject to all conditions imposed in Conditional Use Permit 24-00027; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if CUP24-00027 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this Conditional Use Permit or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award;
4. That during all construction activities, the applicant or developer shall provide a toll free hotline for complaints relation to the construction of the project. The hotline shall be staffed with a live operator who is able to immediately access a construction supervisor who is present at the project site during regular construction hours. Prior to the issuance of grading permits, the applicant or developer shall post at least two highly visible signs on the perimeter of the site informing the public of the availability of the hotline; (Planning)
5. That the construction site shall be secured with decorative temporary fencing, which shall be maintained throughout construction, to the satisfaction of the Community Development Director; (Planning)
6. That a copy of the signed Resolution, with all conditions of approval shall be incorporated into the set of plans submitted for plan check; (Planning)
7. That within 30 days of the final public hearing, the applicant shall remove the "Public Notice" sign to the satisfaction of the Community Development Director; (Planning)
8. That a striping and signage plan shall be provided for all drive aisles and parking areas which includes stop controls, directional signage, and pavement markings to assist right-of-way assignment and pedestrian safety to the satisfaction of the Community Development Director

prior to the issuance of any building permits. All parking areas shall be striped with double lines (6" both sides of center, 4" wide stripes) between stalls to facilitate the movement into and out of the parking stalls; (Planning)

9. That all loading and unloading shall be performed within the buildings, directly into trucks parked at approved loading docks, and that all material and product inventories shall be stored within the buildings; (Planning)
10. That all trucks and shipping containers shall be stored within the designated truck courts and limited to the approved loading bays; (Planning)
11. That no stacking of shipping containers or similar storage containers shall be permitted on-site; (Planning)
12. That no truck terminal, truck stop, or similar operation shall be permitted on-site; (Planning)
13. That the applicant shall continue to work with staff to provide enhance façade articulation with the use of varying textures, faux windows, and glazing to the satisfaction of the Community Development Director; (Planning)
14. That a graffiti-proof finish shall be used on walls where applicable, including building walls, fence walls and screened walls, and that all windows shall be provided with a protective film or other technology to prevent graffiti; (Planning)
15. That exterior color and material samples shall be submitted to the Community Development Department for approval prior to the issuance of any building permits. Exterior materials and finishes shall be compatible with the surrounding development to the satisfaction of the Planning Manager. That the district color, matte black, shall be incorporated into the building or site's design; (Planning)
16. That a maximum of six loading docks shall be allowed for this building. The addition or conversion of loading docks shall be subject to the approval the Community Development Director; (Planning)
17. That no chain link fence or similar fence type shall be used around the perimeter or exterior of the site and that the existing chain link fence along the rear property line shall be replaced with wrought iron fencing; (Planning)
18. That all bare planter areas throughout the subject properties shall be replanted and have at least three inches of mulch or groundcover added, to the satisfaction of the Community Development Director; (Planning)
19. That a roof plan shall be submitted to the Community Development Department for approval prior to issuance of any building permits associated with the project. The roof plan shall ensure that all roof appurtenances, such as ducts and vents, all mechanical equipment on the roof shall be completely screened from public view with materials compatible with the building. Such equipment or screening materials shall be constructed in such a manner that noises emanating from the roof appurtenances shall not be audible beyond the property lines; (Planning)
20. That the interior swinging gate at the rear of the building shall be redesigned to reduce impacts to parking or replaced by a sliding gate; (Planning)
21. That any future request for a Wireless Antenna Facility shall require a separate approval and would provide for all related equipment cabinets to be located within the existing structure or undergrounded; (Planning)
22. That a Landscape Plan Review application and landscape and irrigation plans shall be submitted to the Community Development Department for approval prior to issuance of any building permits associated with the project. The landscape plan shall include the parkways along Hawthorne

boulevard and Madison Street, implemented prior to occupancy and maintained to the satisfaction of the Community Development Director. The landscape plan shall utilize drought tolerant California friendly vegetation, shade-producing trees, and provide a state-of-the-art water saving irrigation system and/or drip irrigation system for landscape areas. The planting arrangement shall include screening of all transformers and trash enclosure within the parking areas and provide landscaping of sufficient height and texture to provide an effective screen from headlights positioned toward the adjacent uses and street frontages. The landscape plan shall comply with the latest California Water Efficient Landscape Ordinance; (Planning)

23. That the location of any electrical transformer(s), backflow preventer, double detector check assembly, etc., shall be shown on the final working drawings and landscape plans, and shall be screened from public view or undergrounded, if applicable, to the satisfaction of the Planning Manager prior to the issuance of Building Permits. Electrical transformers shall not be located within the front/street setback areas, and the applicant shall work with Fire, Engineering, and Planning staff for the siting and painting of exterior equipment. Any equipment that is required to be sited above ground shall be screened with enclosures that match the materials and finishes of the main building facades and/or vegetation; (Planning)
24. That the project shall provide a utility management plan that establishes the placement, design, and screening/camouflaging of all utility and related equipment including but not limited to: transformers, panels, meters, backflow preventers, double detector check assemblies, sprinkler risers, etc. Screening shall comply with all utility company access requirements. All related mounting or ancillary equipment such as conduit and piping, etc. shall be screened or painted, to the satisfaction of the Community Development Director; (Planning)
25. That equipment that can be stored inside the structure, such as Fire/sprinkler risers, shall be located indoors, to the satisfaction of the Community Development Director; (Planning)
26. That all electrical switch gear cabinets, fire risers, etc. shall be designed within the interior of the subject building, and shall be shown on the final Building plans, and that any exterior doors//walls for this equipment shall be designed as an integral part of the façade, matching color, finishes and materials to the satisfaction of the Community Development Director; (Planning)
27. That the existing driveway on Hawthorne Boulevard service road and Madison Street shall be reconstructed to a commercial radius type driveway, minimum 30 feet wide, with depressed back of walk and wheelchair ramps; (Engineering)
28. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Engineering)
29. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduced pressure backflow assemblies shall be located above ground on private property near the public right-of-way, shall be screened from public view with approved plant material, and shall be constructed per City of Torrance standards. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to BUILDING PERMIT ISSUANCE. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Engineering)
30. That the applicant shall perform fire hydrant flow test that determines the capability of the public water system to supply the project; (Engineering)
31. That all new water services shall be connected to the 12" C.I. main on Hawthorne Boulevard service road; (Engineering)

32. That the existing fire hydrant north of the existing driveway on Madison St. shall be upgraded to a 3-port fire hydrant with break off check valve; (Engineering)
33. That a fire meter and double check valve assembly shall be installed at each fire connection to the public main if on-site fire hydrants are installed; (Engineering)
34. That a dedicated water meter and reduced pressure assembly shall be provided for landscape irrigation; (Engineering)
35. That a hydrology study shall be submitted to and approved by the Community Development Department, Engineering Division prior to approval of the grading plan. The study shall include method of detaining the difference between the 10-year and 50-year storm. Determine proposed building finished floor elevation with adequate freeboard; (Engineering)
36. That the applicant shall submit a noise attenuation plan to the satisfaction of the Environmental Division. The recommendations of the Noise Study/Noise consultant shall be adhered to and incorporated into plans submitted to the City of Torrance. Plans shall show how noise recommendations will mitigate noise, so that when completed, this use will comply with the Torrance Municipal code & will not disturb neighboring properties; (Environmental)
37. That no freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
38. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
39. That the applicant shall provide 9" (minimum) contrasting address numerals for non-residential uses; (Environmental)
40. That the applicant shall provide bike rack(s). Applicant shall install on-site bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
41. That the applicant install rooftop numbers in order to assist law enforcement and other emergency personnel locate the property. The numbers should be 4' high and 2' wide, spaced 12 inches apart, be parallel to the street and be a non-reflective color that contrasts the color of the roof; (Environmental)
42. That the trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion to meet current NPDES requirements; (Environmental)
43. That the applicant shall provide bins/containers within trash enclosure for the storage and retrieval of trash and recyclable materials; (Environmental)
44. That upon completion of the project, the applicant shall hire a Certified Access Specialist (CAsp) to verify that project(s) are in compliance with California Building Code. All deficiencies shall be addressed to the satisfaction of the Building Official (Building and Safety)
45. That the applicant shall provide missing and correct data for the Trip Generation Assessment that relates to the Passenger Car Equivalent trips, inconsistent data, and formulas; (Public Works)
46. That all Conditions and Code requirements of MOD24-00009 and DVP24-00002 shall be met; and

47. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

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Secretary, Torrance Planning Commission

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Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE        )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-017**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA APPROVING A DEVELOPMENT PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 45 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE REDEVELOPMENT OF THE SOUTHERN PORTION OF THE ATRIUM BUSINESS CENTER, WITH A MODIFICATION OF PREVIOUSLY APPROVED ENTITLEMENTS (CUP73-55 AND PCR73-6), IN CONJUNCTION WITH A CONDITIONAL USE PERMIT TO CONSTRUCT A NEW 56,722 SQUARE FOOT LIGHT INDUSTRIAL BUILDING, AND A DIVISION OF LOT FOR A LOT LINE ADJUSTMENT ACROSS 4 PARCELS, ON PROPERTIES LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-MEADOW PARK DISTRICT OVERLAY IN THE M-1 ZONE AT 23760-23868 HAWTHORNE BOULEVARD.

**DVP24-00002: RYAN MARTIN OF LEDO CAPITAL GROUP  
(LCG ATRIUM LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on March 5, 2025, to consider an application filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 36 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties are located at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051);
- b) That the properties are described as "Tract No 21484 Lot 11, Tract No 21484 Lot 20, Tract No 21484 Lot 10, and Tract No 21484 Lot 21" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in-fill development projects within City limits on a project site of no more than five acres substantially surrounded by urban uses are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15332 – In-fill Development;
- d) That the proposed light industrial building is consistent with the purpose and requirements of the Meadow Park District, complies with all applicable provisions of the Hawthorne Boulevard Corridor Specific Plan, and as conditioned, is consistent with the objectives, policies, and programs of the General Plan and with the land use designation of Light Industrial;

- e) That the proposed light industrial building, as conditioned, conforms with all applicable design guidelines and review criteria of the Hawthorne Boulevard Corridor Specific Plan;
- f) That the subject site is physically suitable for the type and intensity of development, and for the types of land uses being proposed because the property is currently developed as a light industrial campus, and the new light industrial building replaces two existing buildings;
- g) That by virtue of high quality design and construction, the proposed development will positively contribute to the orderly and harmonious development of the Hawthorne Boulevard Corridor and the general welfare of the City as it will be implementing the District design guidelines, as conditioned;
- h) That the proposed development, as conditioned, will enhance the light industrial development of the area so as to increase the taxable value of real property and sales tax return to the City, and to maintain the stability and value of the property and of the Hawthorne Boulevard Corridor as it will be implementing the District design guidelines, as conditioned;
- i) That traffic impacts have been mitigated, in whole or in part by the design of the on-site circulation system so as to minimize hazard and congestion, to facilitate on-site movements between adjacent properties, and to maximize opportunities for pedestrian and transit connections, as conditioned;
- j) That there are adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed development is not detrimental to public health and safety as the site is located in an area surrounded by urban uses, as conditioned;
- k) That the proposed development is consistent with the objectives, policies, general land uses and programs of the Torrance General Plan, as conditioned; and
- l) That the proposed development would not be detrimental to the public interest, health, safety, convenience or welfare, as conditioned.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** DVP24-00002, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that DVP24-00002 filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for a light industrial building shall be subject to all conditions imposed in Development Permit 24-00002; and any amendments thereto or modifications thereof

as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if DVP24-00002 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of MOD24-00009 and CUP24-00027 shall be met; and
4. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-018**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A LOT LINE ADJUSTMENT ACROSS FOUR PROPERTIES LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-MEADOW PARK DISTRICT OVERLAY IN THE M-1 ZONE AT 23760-23868 HAWTHORNE BOULEVARD.

**DIV24-00007: RYAN MARTIN OF LEDO CAPITAL GROUP  
(LCG ATRIUM LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on March 5, 2025, to consider an application for a Division of Lot filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) to allow a Lot Line Adjustment across four properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park District Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties for this Division of Lot are located at 23760, 23820, 23860, and 23868 Hawthorne Boulevard;
- b) That the properties are identified as APNs 7378-011-040,-041,-050, & -051;
- c) That the Lot Line Adjustment is consistent with the M-1 Zone and Light Industrial General Plan designation;
- d) That the resulting parcels are physically suitable for the existing uses as the Lot Line Adjustment does not change the existing zoning or land use designation, nor affect the existing uses or intensity of uses. Furthermore, the resulting parcels will remain consistent with the development pattern of the area;
- e) That the Lot Line Adjustment will not interfere with the orderly development of the City and will be compatible with the prevailing land use pattern as the resulting parcels will remain relatively the same size. Additionally, the M-1 Zone does not have a minimum lot size requirement;
- f) That the Lot Line Adjustment will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as the project has been determined to be Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act, Article 19, Section 15305;
- g) That the Lot Line Adjustment is consistent with the City's Zoning because the existing and current uses are allowed within the M-1 Zone and will not change as part of the request;

- h) That the Division of Lot will not cause serious public health problems as the Lot Line Adjustment, as conditioned, will not produce any or all of the following results:
- Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
    - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.
- i) That the Lot Line Adjustment will not conflict with any public access or easements.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** DIV24-00007, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that DIV24-00007 filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) to allow a Lot Line Adjustment across four properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park District Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the Lot Line Adjustment of the subject properties shall be subject to all conditions imposed in Division of Lot 24-00007; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if the Lot Line Adjustment is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1; and
3. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

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Secretary, Torrance Planning Commission

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Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE        )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO. 25-019**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A MODIFICATION OF PREVIOUSLY APPROVED ENTITLEMENTS (CUP73-55 AND PCR73-6) WITH A DEVELOPMENT PERMIT TO ALLOW THE REDEVELOPMENT OF THE SOUTHERN PORTION OF THE ATRIUM BUSINESS CENTER, IN CONJUNCTION WITH A CONDITIONAL USE PERMIT TO CONSTRUCT A NEW 56,722 SQUARE FOOT LIGHT INDUSTRIAL BUILDING AND A DIVISION OF LOT FOR A LOT LINE ADJUSTMENT ACROSS FOUR PARCELS, ON PROPERTIES LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-MEADOW PARK SUB-DISTRICT OVERLAY IN THE M-1 ZONE AT 23760-23868 HAWTHORNE BOULEVARD.

**MOD24-00009: RYAN MARTIN OF LEDO CAPITAL GROUP  
(LCG ATRIUM LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on March 5, 2025, to consider an application for a Division of Lot filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code; and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties are located at 23760-23868 Hawthorne Boulevard (APN 7378-011-040,-041,-050, & -051);
- b) That the properties are described as "Tract No 21484 Lot 11, Tract No 21484 Lot 20, Tract No 21484 Lot 10, and Tract No 21484 Lot 21" per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in-fill development projects within City limits on a project site of no more than five acres substantially surrounded by urban uses are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Section 15332 – In-fill Development;
- d) That the proposed light industrial building is conditionally permitted within the M-1 Zone within Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district overlay and complies with all of the applicable provisions of the Torrance Municipal Code, including the Hawthorne Boulevard Corridor Specific Plan and all conditions imposed on the property;

- e) That the proposed light industrial building, as conditioned, will not impair the integrity and character of the zoning district in which it is located because the property remains suitable for said use and compatible with the surrounding uses, and is conditionally permitted in the M-1 Zone within Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay;
- f) That the subject site is physically suitable for the proposed light industrial building, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure. Furthermore, the project complies with setback standards and the proposed building heights are compatible with the surrounding area;
- g) That the proposed light industrial building, as conditioned, will be compatible with existing and proposed future land uses in the M-1 Zone within Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district and the general area because the project site is surrounded by similar uses;
- h) That the proposed project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan, which designates the site as Light Industrial, because the proposed light industrial building does not change the existing, longstanding use;
- i) That the proposed light industrial building, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property or tenancies, as the site will continue to be the previously approved church campus and will remain compatible with existing surrounding uses;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed modifications are not detrimental to public health and safety because the project site is situated within an urbanized environment and is already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- k) That there will be adequate provisions for public access to serve the modified project, as conditioned, because the project maintains the driveways on Hawthorne Boulevard and Madison Street, as well as pedestrian circulation;
- l) That the proposed location, size, design, and operating characteristics of the proposed light industrial building, as conditioned, would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the Hawthorne Boulevard Corridor Specific Plan, Torrance Municipal Code, and is consistent with the Commercial Center land use designation; and
- m) That the proposed light industrial building, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** MOD24-00009, subject to conditions:

AYES:            COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that MOD24-00009 filed by the Planning Commission of the City of Torrance conducted a duly noticed public hearing on March 5, 2025, to consider an application for a Division of Lot filed by Ryan Martin of Ledo Capital Group (LCG Atrium LLC) for Conditional Use Permit and a Development Permit, in conjunction with a Modification of previously approved entitlements (CUP73-55, PCR73-6) to allow the redevelopment of the southern portion of the Atrium Business Center to construct a new 56,722 square foot light industrial building, and a Division of Lot for a lot line adjustment across the four parcels, on properties located within the Hawthorne Boulevard Corridor Specific Plan-Meadow Park Sub-district Overlay in the M-1 Zone at 23760-23868 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property as light industrial building shall be subject to all conditions imposed in Modification 24-00009; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if MOD24-00009 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions of Approval and Code Requirements of CUP24-00027, DVP24-00002, DIV24-00007, MOD24-00009 shall apply; (Planning)
4. That all Conditions and Code requirements of DVP24-00002 and CUP24-00027 shall be met; (Planning)
5. That a copy of the signed Planning Commission Resolutions shall appear on the construction plans associated the subject building, to facilitate coordination and effective implementation of the conditions of approval; (Planning)
6. That the location of any electrical transformer(s), backflow preventer, double detector check assembly, etc. shall be shown on the final working drawings and landscape plan, and shall be screened from public view or undergrounded, if applicable, to the satisfaction of the Community Development Director prior to the issuance of Building Permits; (Planning)
7. That all new electrical transformers shall not be located within front or street setback areas and that applicants shall continue to work with Fire, Engineering, and Planning Staff for the siting and painting of all exterior equipment, including, but not limited to, electrical transformers and double-check detectors/backflow assembly equipment, and shall be shown on the final Building Plans; and that any equipment that is required to be sited aboveground shall be screened with enclosures that match the materials and finishes of the main building facades and/or vegetation, to the satisfaction of the Community Development Director; (Planning)

8. That the project shall provide a utility management plan that establishes the placement, design, and screening/camouflaging of all new utility and related equipment, including but not limited to: transformers, panels, meters, backflow preventers, double detector check assemblies, etc. Screening shall comply with all utility company access requirements. All related mounting or ancillary equipment such as conduits and piping, etc., shall also be screened or painted, to the satisfaction of the Community Development Director; (Planning)
9. That equipment that can be stored inside the structure, such as Fire/sprinkler risers, shall be located indoors, to the satisfaction of the Community Development Director. Furthermore, all electrical switchgear cabinets, fire risers, etc., shall be designed within the interior of the subject building, and shall be shown on the final Building Plans, and that any exterior doors/walls for this equipment shall be designed as an integral part of the façade, matching color and materials to the satisfaction of the Community Development Director; (Planning)
10. That any new rooftop equipment, such as, air conditioning units, venting, etc., shall be screened from the surrounding view and right-of-way by a parapet that is designed as an integral part of the façade, and shown on the final Building Plans, to the satisfaction of the Community Development Director, prior to Building Permit issuance; (Planning)
11. That a roof plan shall be submitted prior to issuance Building Permits. The roof plan shall identify the parapet heights and setbacks to ensure all new roof appurtenances, such as ducts and vents, all mechanical equipment, electrical boxes, meters, pipes, transformers, air conditioners and all other equipment on the roof shall be completely screened from public view and nearby taller buildings with materials compatible with the building. Such equipment or screening material shall be constructed in such a manner that noises emanating from the roof appurtenances shall not be audible beyond the property lines; (Planning)
12. That an exterior lighting design and photometric plan shall be submitted to the Community Development Department for approval prior to the issuance of any Building Permits to ensure adequate lighting for exterior doorways, parking spaces, and pedestrian walkways, and to prevent light spillage from the site, to the satisfaction of the Community Development Director; (Planning)
13. That the project shall provide for the installation and operation of the required number of Level-2 Electric Vehicle Supply Equipment units (otherwise known as EV-charger), as mandated by California Green Code Tier 1 requirements. The applicants shall work with staff in regards to the ideal placement and distribution of EV-charger stalls, to the satisfaction of the Community Development Director. The EV-charger stalls shall comply with current accessible requirements; (Planning)
14. That the applicant shall provide a site-wide signing and striping plan that demonstrates, but is not limited to: way-finding signage (for automobiles and pedestrians), pavement markings, directional arrows, stop and yield control devices, etc., to the satisfaction of the Community Development Director; (Planning)
15. That material and color samples shall be provided to the Community Development Department for approval prior to the issuance of Building Permits, and that the district color "Purple Eggplant" shall be incorporated as an accent whenever possible on building trim, lighting fixtures, site furniture and other hardware; (Planning)
16. That a graffiti-proof finish shall be used on walls where applicable, including building walls, fence walls, and screen walls, and that all windows shall be provided with a protective film to prevent graffiti; (Planning)

17. That a detail of any new walls and fencing shall be provided to the Community Development Department for approval prior to the issuance of Building Permits; (Planning)
18. That for those projects with a security gate, the property shall be secured via Knox-box lock with access to Police and Fire. Provide Knox-box access for secured gates and doors to property; (Planning)
19. That Police and Fire shall be given key/code access to any locked vehicle/pedestrian entrances that are restricted to customers only; (Planning)
20. That there shall be non-glare security lighting for all parking areas, common pedestrian stairways, and walkways; (Planning)
21. That the construction site shall be secured to prevent theft of materials after hours; (Planning)
22. That the applicants shall install alarmed doors for main access points; (Planning)
23. That the site shall provide bicycle rack(s). The applicant shall install onsite bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
24. That the applicant shall provide 9 inch minimum contrasting address numerals for non-residential uses; (Environmental)
25. That the applicant submit a noise attenuation plan to the satisfaction of the Environmental Division. The recommendations of the Noise Study/Noise consultant shall be adhered to and incorporated into plans submitted to the City of Torrance. Plans shall show how noise recommendations will mitigate noise, so that when completed this use will comply with the Torrance Municipal code & will not disturb neighboring properties; (Environmental)
26. That prohibited signage for this use shall include: freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates Torrance Municipal Code requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
27. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program. Check for and comply with sign program on file; (Environmental)
28. That the applicant shall install rooftop numbers onto the new building in order to assist law enforcement and other emergency personnel locate the property. The numbers shall be 4 feet high and 2 feet wide, spaced 12 inches apart, be parallel to the street, and be a non-reflective color that contrasts the color of the roof; (Environmental)
29. That all trash shall be kept in an enclosure that is bounded on three sides by a decorative wall, decorative trellis and solid doors, and shall be constructed of materials and of a design, color and texture which is architecturally compatible with the buildings and structures on the property. The trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion to meet current NPDES requirements. Bins/containers shall be provided within trash enclosure for the storage and retrieval of trash and recyclable materials; (Environmental)
30. That the project shall comply with Tier 1 Requirements in 2022 Green Code; (Building & Safety)

31. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of March 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, LEO OORTS, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of March 2025, by the following roll call vote:

AYES: COMMISSIONERS:

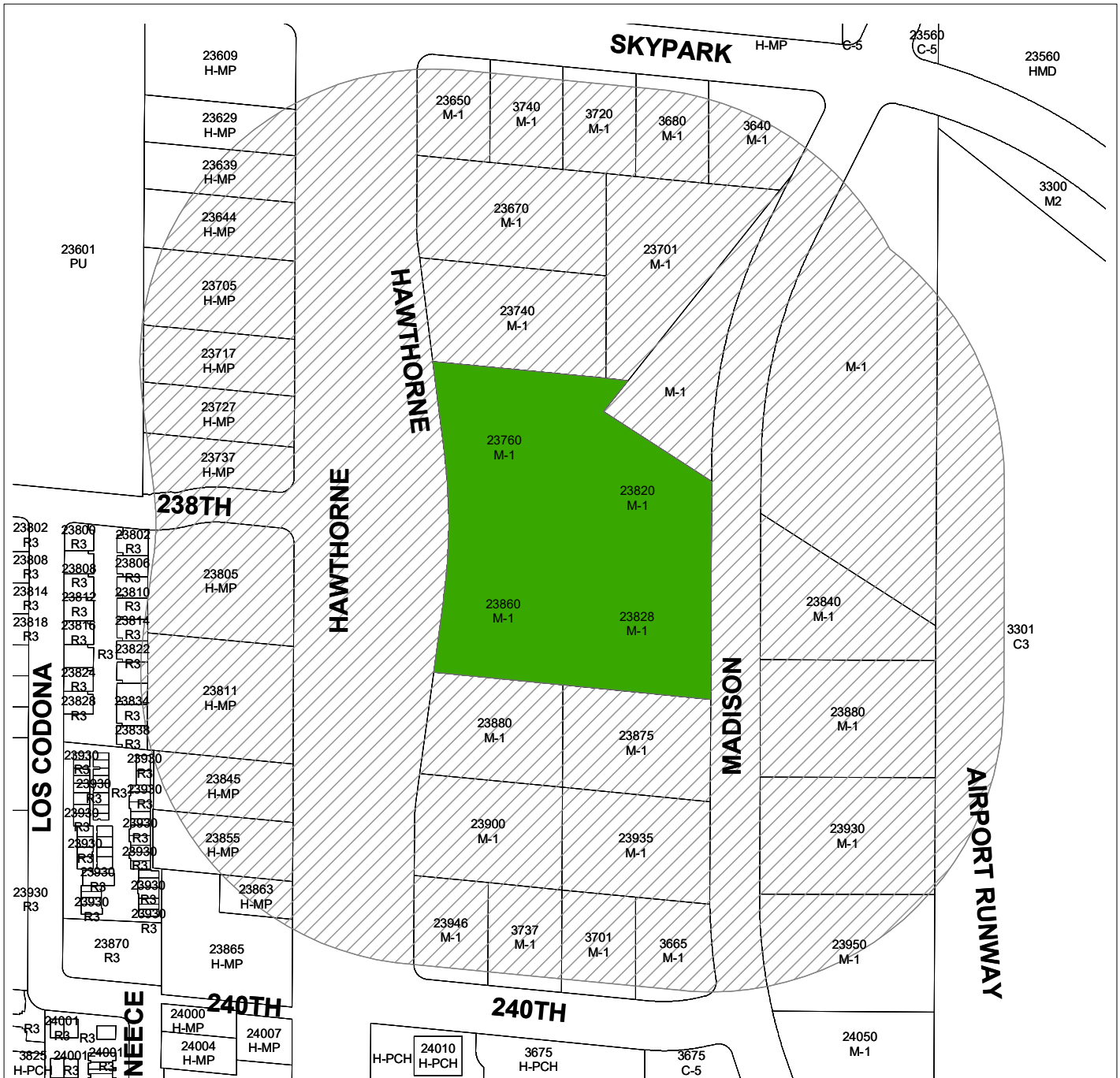
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**ITEM 8D**  
**ATTACHMENT 2**  
**LOCATION AND ZONING MAP**



# LOCATION AND ZONING MAP

MOD24-00009, CUP24-00027,  
 DVP24-00002, DIV24-00007  
 23760-23868 Hawthorne Blvd

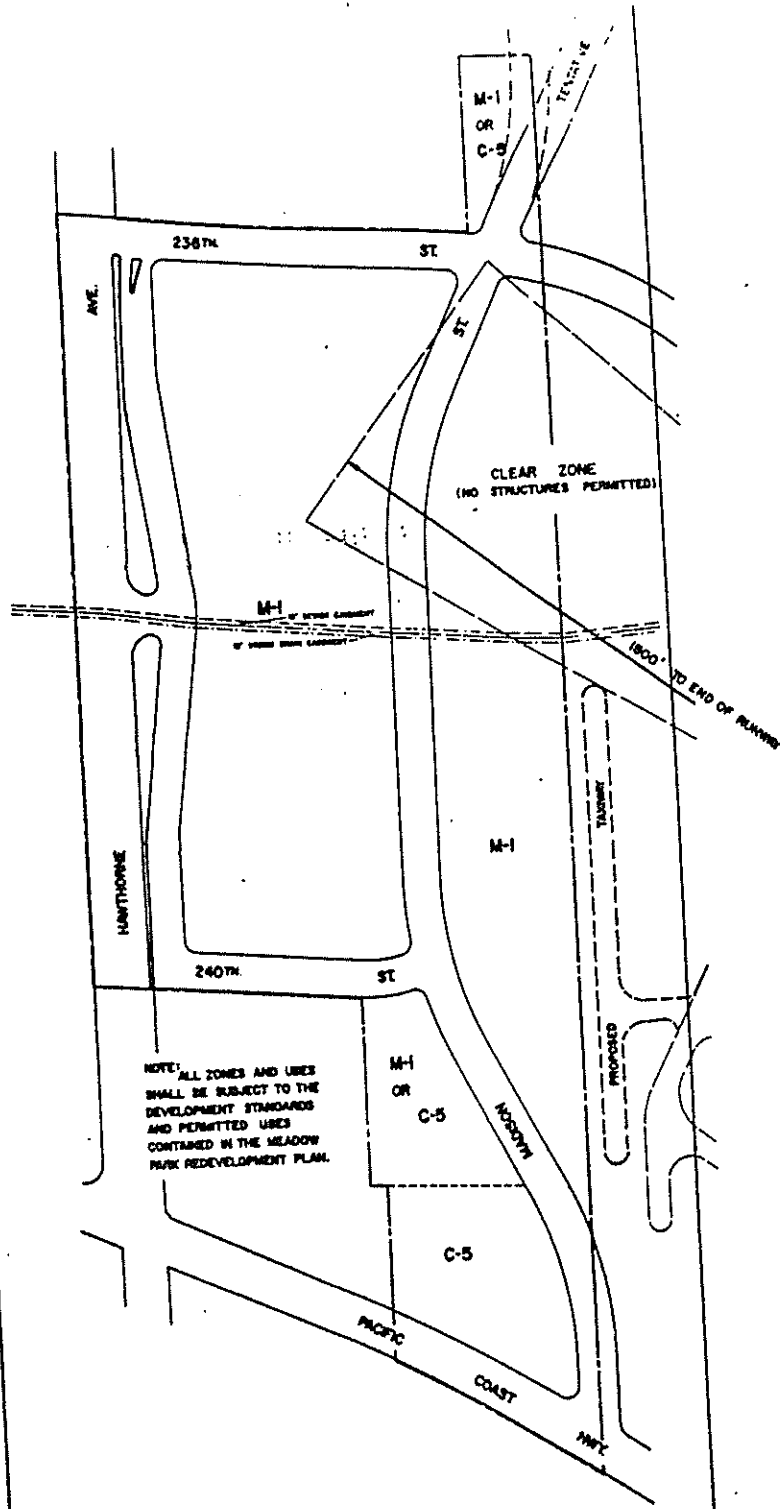


# LEGEND

- 23760-23868 Hawthorne Blvd
- Notification Area



**ITEM 8D**  
ATTACHMENT 4  
BOUNDARY MAP (EXHIBIT A)



<p><b>LEGEND</b></p> <p>C-5 CONDITIONAL COMMERCIAL DISTRICT</p> <p>M-1 LIGHT MANUFACTURING DISTRICT</p> <p>--- SEWER EASEMENT</p> <p>--- STORM DRAIN EASEMENT</p>	<p>REUSE MAP AND STREET DESIGN</p>	
	<p>MEADOW PARK REDEVELOPMENT PROJECT</p> <p>California R-93</p> <p>REDEVELOPMENT AGENCY OF THE CITY OF TORRANCE</p> <p>TORRANCE, LOS ANGELES COUNTY, CALIFORNIA</p>	
<p>PROJECT NO. _____</p> <p>DATE _____</p> <p>BY _____</p>	<p>SCALE</p> <p>1" = _____'</p>	<p>Case No.</p> <p><b>R 213</b></p>

**ITEM 8D**  
**ATTACHMENT 3**  
**CODE REQUIREMENT**

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### **BUILDING AND SAFETY**

1. Comply with 2022 CBC, CMC, CEC, CPC, AND CGBC.
2. Comply with Tier Green Code Requirements.
3. Provide automatic sprinklers. Separate permit is required through Torrance Fire Division.
4. Provide CASp report with full compliance prior to final inspection.(Special Condition).

### **ENGINEERING**

10. That on-site drainage shall be collected within the lot and drained through the curb to the public street on Hawthorne Blvd. service road and/or Madison St. (City Code Sec. 81.2.52).
11. Prior to issuance of building permits, submit to the Permits and Records Division of the Community Development Department a site plan showing the proposed location and size of all water services (domestic, fire and recycled) for the project.
12. Public water facilities needed to serve this site, including as applicable, mains and appurtenances shall be constructed at the cost of applicant/owner per Torrance Municipal Water (TMW) plans and specifications. TMWD shall make final determination/approval for location, type, and size of all water facilities.
13. Replace portions of grinded, lifted, and cracked sidewalk along the property frontage on Hawthorne Blvd. service road and Madison St. per City of Torrance standards.
14. Provide evidence of reciprocal cross access easement for ingress, egress, shared drive aisle, and fire lane with adjacent properties.
15. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Permits and Records Division, for any work in the public right-of-way on Hawthorne Blvd. and Madison St. (City Code Sec. 74.6.2).

### **ENVIRONMENTAL**

12. Double-line stripe all parking spaces per Torrance code (93.4.6)
13. Screen all roof equipment from public view per Torrance code (92.30.2).
14. Screen all loading docks per Torrance code (92.30.3).
15. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.

### **GRADING**

16. The applicant shall apply for a grading permit from Building and Safety Division. Grading permit shall be accompanied by two sets of plans and specifications and supporting data consisting of, but not limited to, a geotechnical report. TMC 81.2.49(J103) and TMC 82.2.50 (J104.3).

17. The applicant shall submit a precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. TMC 81.2.49 (J103) and TMC 81.2.50(J104)
18. The applicant shall submit a detailed geotechnical report prepared by a Geotechnical Engineer/Engineering Geologist. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The reports should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements. TMC 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7 if applicable.
19. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface, in conformance with California Building Code; and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and TMC 81.2.51 (J107.6)
20. Retaining wall proposed to accommodate the cuts and fills shall be obtained through a separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
21. All undocumented fill shall be removed, until competent native soils are reached, and recompacted from property line to property line. TMC 81.2.50 (J104.5)
22. Cover sheet of construction document shall include area (acres) of disturbed soil; disturbed soil of 1 acre or more requires the owner to file a Notice of Intent with the Division of Water Quality of State Water Resources Control Board and prepare a SWPPP per TMC 410.1.070, if applicable.
23. Per TMC 410.1.070 the owner/owner's agent shall submit an erosion control plan to Building and Safety for review and approval from Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
24. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
25. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
26. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
27. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion-susceptible slopes.

28. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per TMC 81.2.51(J107.6)
29. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per 81.2.52

**PLANNING**

30. Parking stall sizes shall be a minimum of 8 feet wide by 19 feet deep, for office and industrial buildings. A maximum of 2 feet of the stall depth may be into a landscape planter area.

**ITEM 8D**  
ATTACHMENT 5  
PROJECT PLANS

# LEDO - ATRIUM BUSINESS CENTER REDEVELOPMENT

23860 HAWTHORNE BLVD  
TORRANCE, CA 90505



PROJECT LEDO - ATRIUM BUSINESS CENTER REDEVELOPMENT  
FIRST PLANNING SUBMITTAL TORRANCE, CA



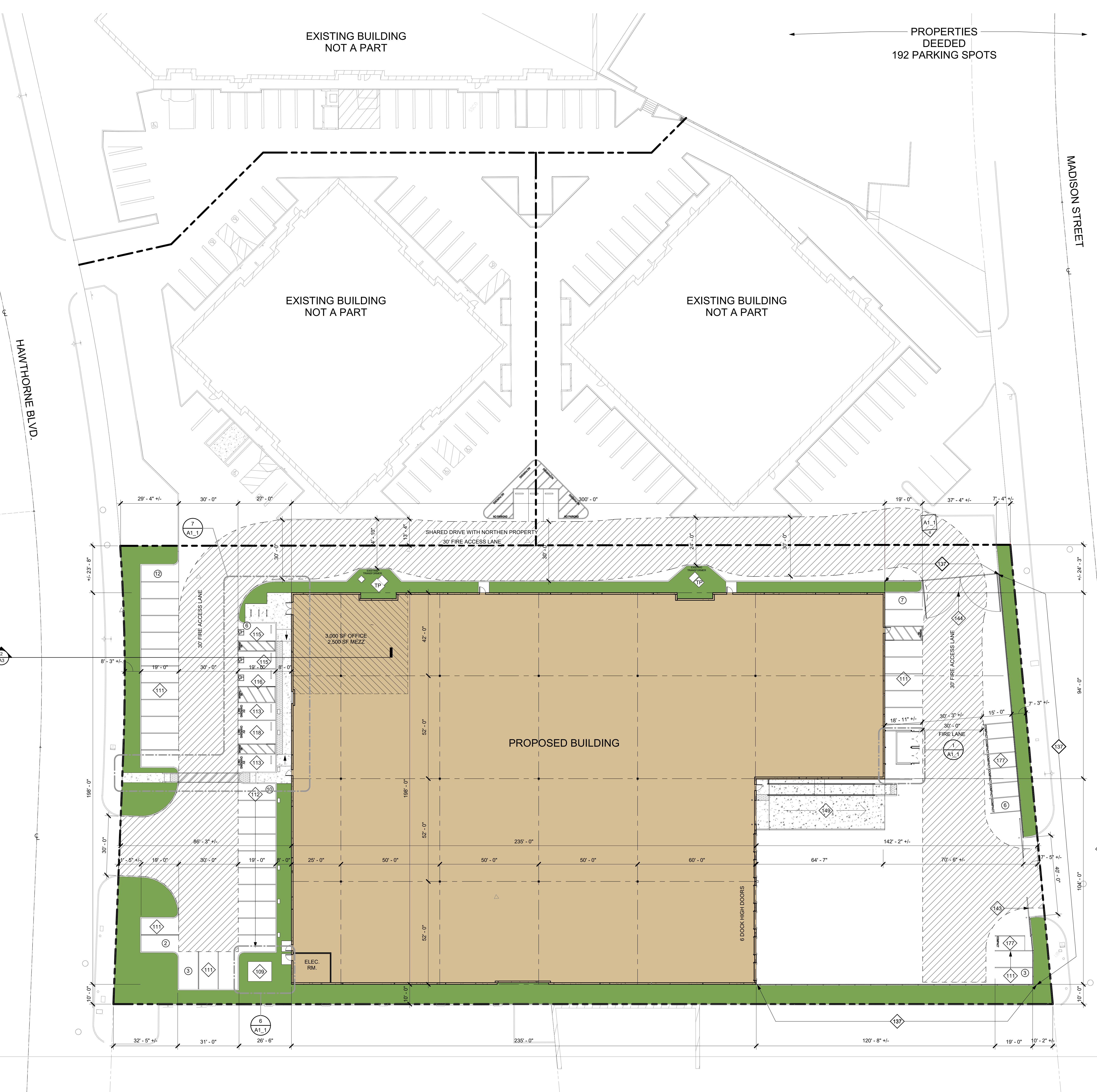
HERDMAN  
ARCHITECTURE + DESIGN  
A23-2038  
09.16.2024

TITLE SHEET

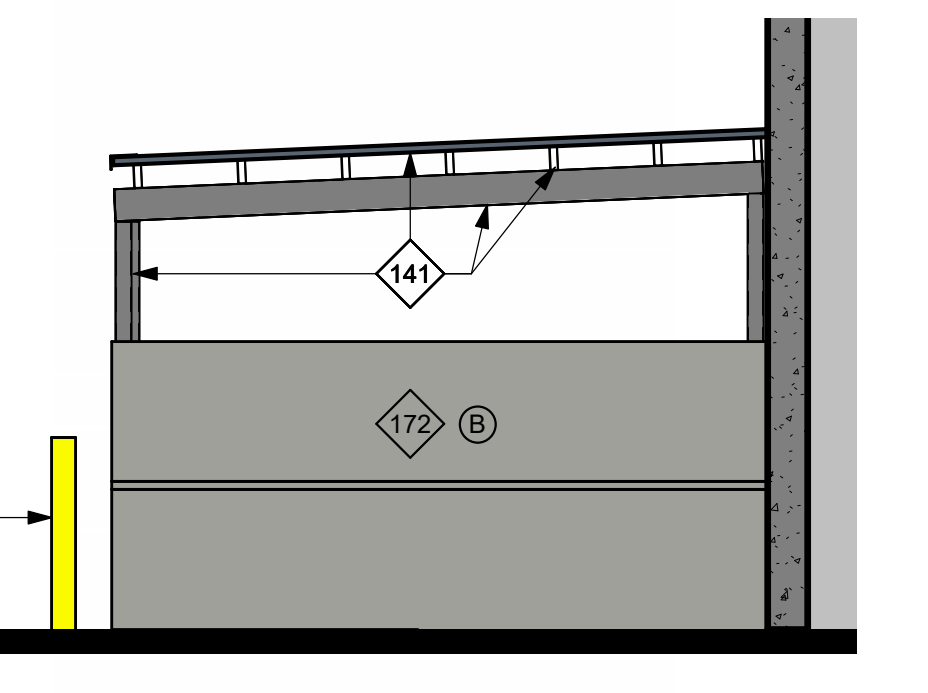
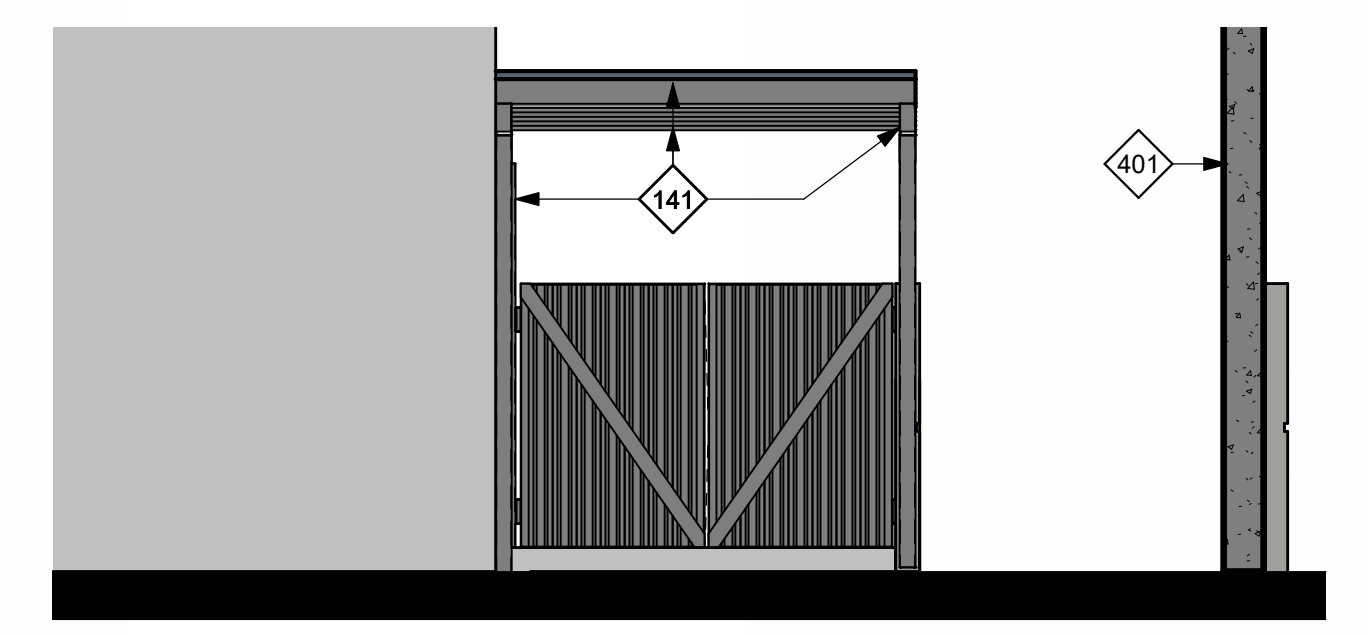
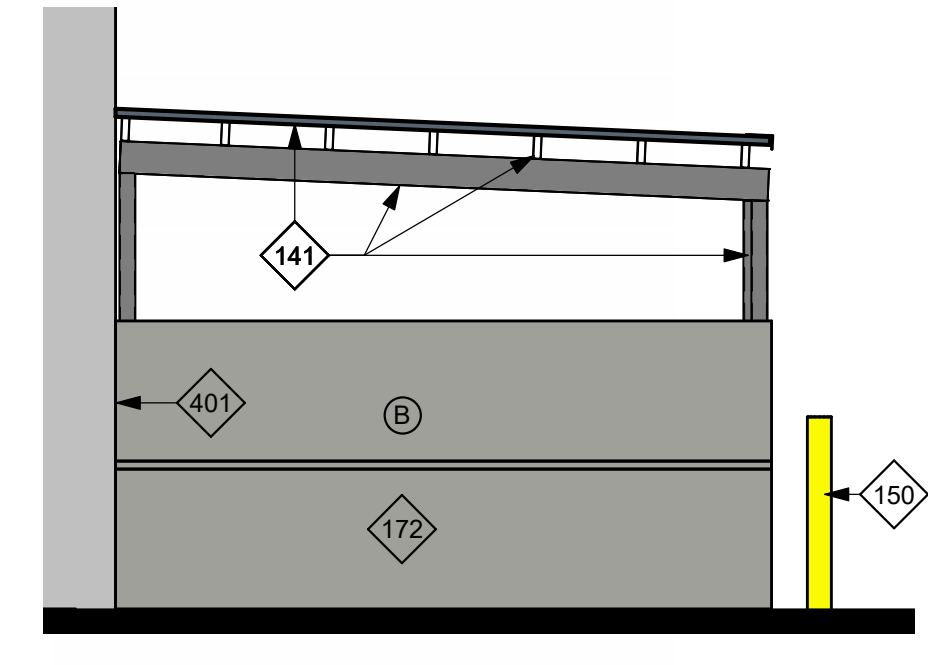
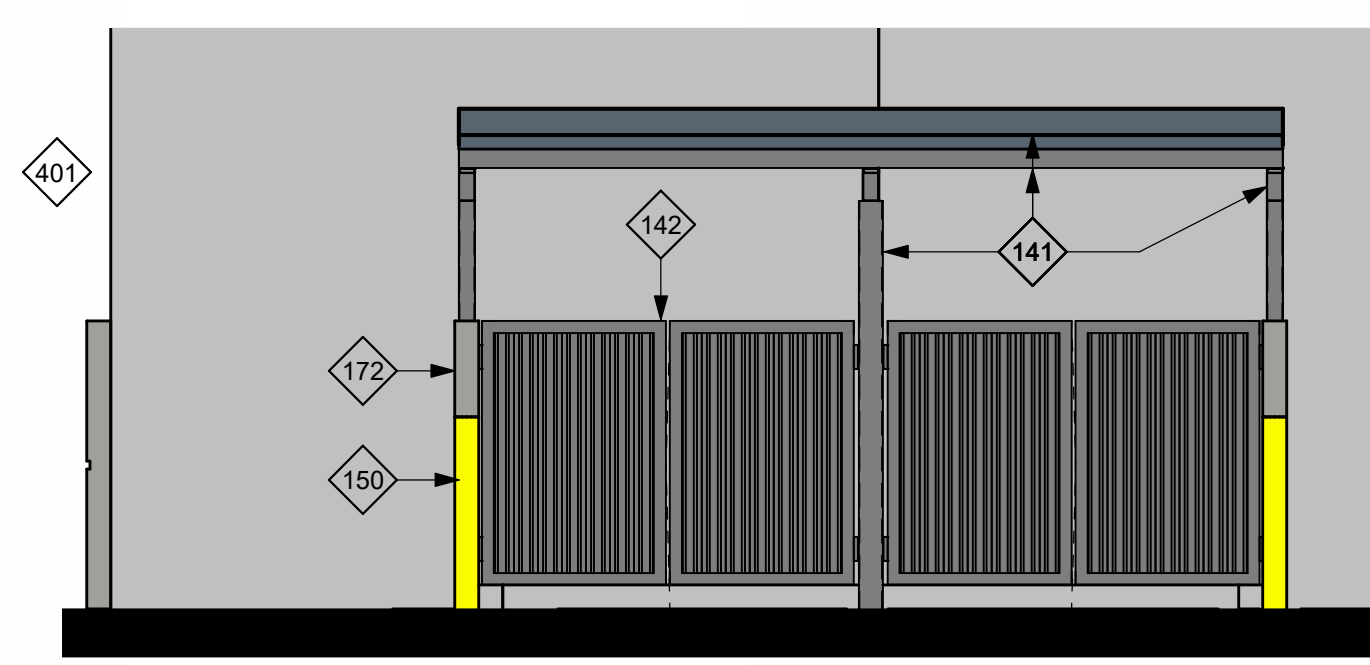
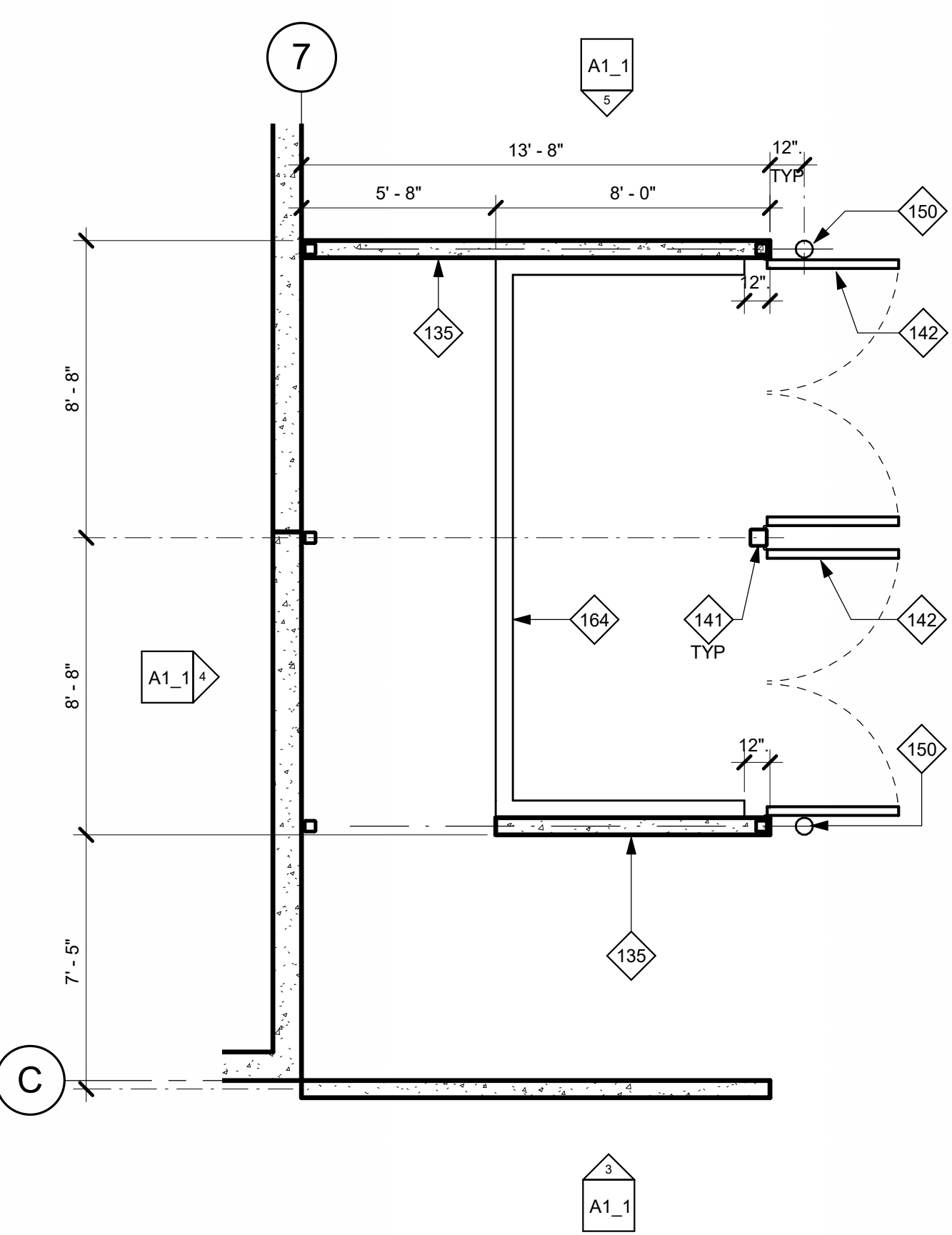
A0

9/16/2024 10:22:03 AM

<b>DEVELOPER/OWNER</b> LCG ATRIUM, LLC 11759 SAN VICENTE BLVD., SUITE 100 LOS ANGELES, CA 90046 CONTACT: RYAN MARTIN PHONE: 303-419-6780 EMAIL: RMARTIN@LEDCCG.COM	<b>KEYNOTES</b> 109 (N) TRANSFORMER LOCATION. PROVIDE SCREENING. 111 TYP DOUBLE STRIPING, STANDARD PARKING STALL, 8'-6" WIDE x 19'-0" DEEP 112 EV (ELECTRIC VEHICLE) CAPABLE PARKING STALL. PROVIDE FOR FUTURE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE. 113 EVCS (ELECTRIC VEHICLE CHARGING STATION). PROVIDE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE. 115 STANDARD ACCESSIBLE PARKING STALL, 9'-0" WIDE x DEPTH OF STANDARD STALL. 116 VAN ACCESSIBLE PARKING STALL, 12'-0" WIDE x DEPTH OF STANDARD STALL. 118 VAN ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION), 12'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT. 137 TUBE STEEL FENCE. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. 143 PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 144 PAINTED STEEL SWINGING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 149 CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S). PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. 177 TYP DOUBLE STRIPING, COMPACT PARKING STALL, 7'-6" WIDE x 15'-0" DEEP
<b>APPLICANT'S REPRESENTATIVE/ARCHITECT</b> HERDMAN ARCHITECTURE & DESIGN, INC. 3800 E COAST HIGHWAY, SUITE 6 CORONA DEL MAR, CA 92625 CONTACT: BRIDGET HERDMAN PHONE: 714-399-2800 EMAIL: PROJECTADMIN@HERDMAN-AD.COM	
<b>SCOPE OF WORK</b> CONSTRUCT NEW ONE STORY + MEZZANINE CONCRETE TILT-UP WAREHOUSE/DISTRIBUTION FACILITY WITH ELECTRICAL AND PLUMBING SERVICES, EXTERIOR LIGHTING, LANDSCAPING & IRRIGATION, TRASH ENCLOSURES, CONCRETE SCREEN WALLS, AND SLIDING SWINGING METAL GATES, FIRE SPRINKLER AND GRADING PLANS TO BE A SEPARATE SUBMITTAL AND PERMIT	
<b>LEGAL DESCRIPTION &amp; ZONING</b> LEGAL DESCRIPTION: SEE CIVIL DRAWINGS ASSESSOR'S PARCEL NO: 7378-011-041 and 7378-011-050	
<b>PROJECT INFORMATION &amp; AREA ANALYSIS</b>	<b>LOT AREA</b>
<b>BUILDING ADDRESS:</b> 23860 Hawthorne Blvd., Torrance CA <b>CONSTRUCTION TYPE:</b> III <b>OCCUPANCY:</b> B / S-1 <b>FIRE SPRINKLER:</b> YES (ESFR NFPA 72, NFPA 13 & NFPA 24) <b>MAX HEIGHT:</b> 45'	<b>NET</b> SQUARE FOOTAGE: 106827 SF ACRES: 2.45
<b>ZONING:</b> MRP <b>GENERAL PLAN:</b> HBSC (MP) <b>FEMA FLOOD ZONE:</b> NO FLOOD ZONE	<b>FLOOR AREA RATIO</b> BUILDING AREA   SITE AREA   FAR ALLOWABLE   FAR PROVIDED 56722 SF   102827 SF   60%   55.2%
<b>BUILDING SETBACKS:</b> FRONT SETBACK: 8' SIDE SETBACK: 10' REAR SETBACK: 10'	<b>BUILDING AREA SUMMARY</b> NAME: AREA GROUND FLOOR: WAREHOUSE: 51222 SF OFFICE: 54222 SF MEZZANINE: OFFICE: 2500 SF TOTAL: 2500 SF
<b>ALLOWABLE AREA:</b> UNLIMITED AREA PER CBC 507 OR 70,000 SF PER TABLE 506.2	<b>LANDSCAPE AREA SUMMARY</b> % LANDSCAPING REQUIRED   AREA LANDSCAPING PROVIDED   % LANDSCAPING PROVIDED 0%   13454 SF   13.1%
<b>SHEET INDEX</b> A0 TITLE SHEET A1 SITE PLAN A1.1 ENLARGED PARTIAL SITE PLANS A1.2 EXISTING PARKING EXHIBIT A1.3 PROPOSED PARKING EXHIBIT A2 GROUND LEVEL FLOOR PLANS A3 ROOF PLAN A4 EXTERIOR ELEVATIONS A5 COLOR BOARD 1 LOT LINE ADJUSTMENT EXHIBIT	<b>TOTAL PARKING REQUIRED</b> BUILDING USE   BUILDING AREA   PARKING RATIO 1X   REQ. PARKING OFFICE: 3000 SF   250   12 OFFICE: 2500 SF   250   10 WAREHOUSE: 51222 SF   1500   35 TOTAL: 56722 SF   57
	<b>REQUIRED PARKING BREAKDOWN</b> SPACE TYPE   SPACES REQUIRED STANDARD STALLS: 41 STANDARD ACCESSIBLE STALLS: 2 VAN ACCESSIBLE STALLS: 1 EV CAPABLE STALL (w/ EVSE): 10 EVCS (EV CAPABLE STALL w/ EVSE): 2 VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE): 1 TOTAL: 57
	<b>PARKING PROVIDED</b> SPACE TYPE   SPACES PROVIDED COMPACT STALLS: 7 STANDARD STALLS: 26 STANDARD ACCESSIBLE STALLS: 2 VAN ACCESSIBLE STALLS: 1 EV CAPABLE STALL (w/ EVSE): 10 EVCS (EV CAPABLE STALL w/ EVSE): 2 VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE): 1 SUBTOTAL: 49 OFFSITE STALLS: 65 TOTAL: 114
	<b>SHORT TERM BIKE PARKING</b> SPACES REQUIRED   SPACES PROVIDED 6   6
	<b>SITE LEGEND</b> LANDSCAPE AREA CONCRETE PAVING WHEN OCCURS @ PARKING AREAS, DRIVE AISLES, & OR TRUCK COURT. SEE CIVIL DRAWINGS FOR PAVING SECTIONS FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY THE FIRE AUTHORITY. SEE 3/AD1.1 STREET LIGHT INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6 PROPERTY LINE
<b>VICINITY MAP</b> SKYPARK DR HAWTHORNE BLVD MADISON ST W 240 ST PROJECT LOCATION NORTH	
<b>SITE PLAN GENERAL NOTES</b> 1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. 3. U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. 4. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. 5. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. 6. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11A02.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'0" MIN. 7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH 8" WIDE CONCRETE CURB U.O.N. 8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/AD1.1 9. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD1.1 10. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. 11. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6/AD1.2 12. PROVIDE A HOSE BIB NEAR THE MAIN BUILDING ENTRANCE. SEE PLAN FOR LOCATION. 13. ALL SIGNS (NEW, MODIFIED OR REVISED) MUST BE APPROVED BY THE ENVIRONMENTAL DIVISION WITH APPEAL RIGHTS TO THE PLANNING COMMISSION, OR COMPLY WITH THE PREVIOUSLY APPROVED SIGN PROGRAM. 14. THE PROHIBITED SIGNS FOR THIS USE INCLUDES: A-FRAME OR FREE STANDING SIGNS; BOW OR FLAG BANNERS; AIR ASSISTED SIGNS; SIGNS ATTACHED TO LIGHT OR UTILITY POLES; TREES OR VEHICLES; PERSONS HOLDING SIGNS; AND TEMPORARY SIGNAGE MOUNTED ON THE ROOF OF THE BUILDING. 15. NON-GLARE SECURITY LIGHTING SHALL BE INSTALLED FOR THE PARKING LOT. 16. VIDEO SURVEILLANCE OF PARKING LOT, BUILDING ENTRY POINTS AND DRIVE THRU (IF APPLICABLE)	



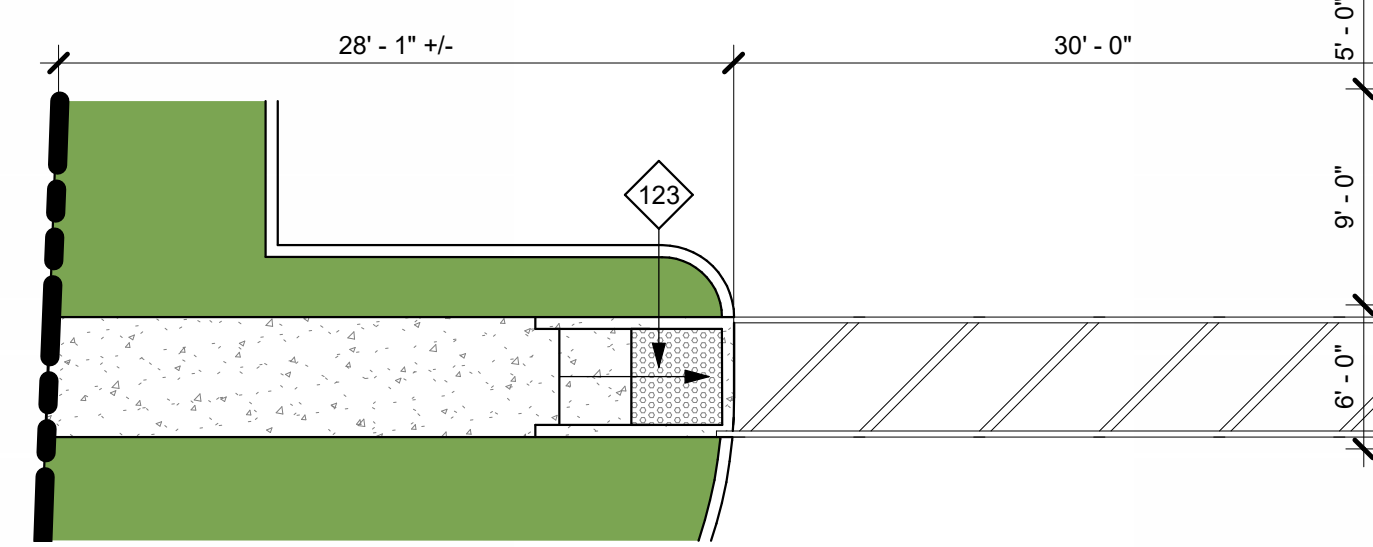
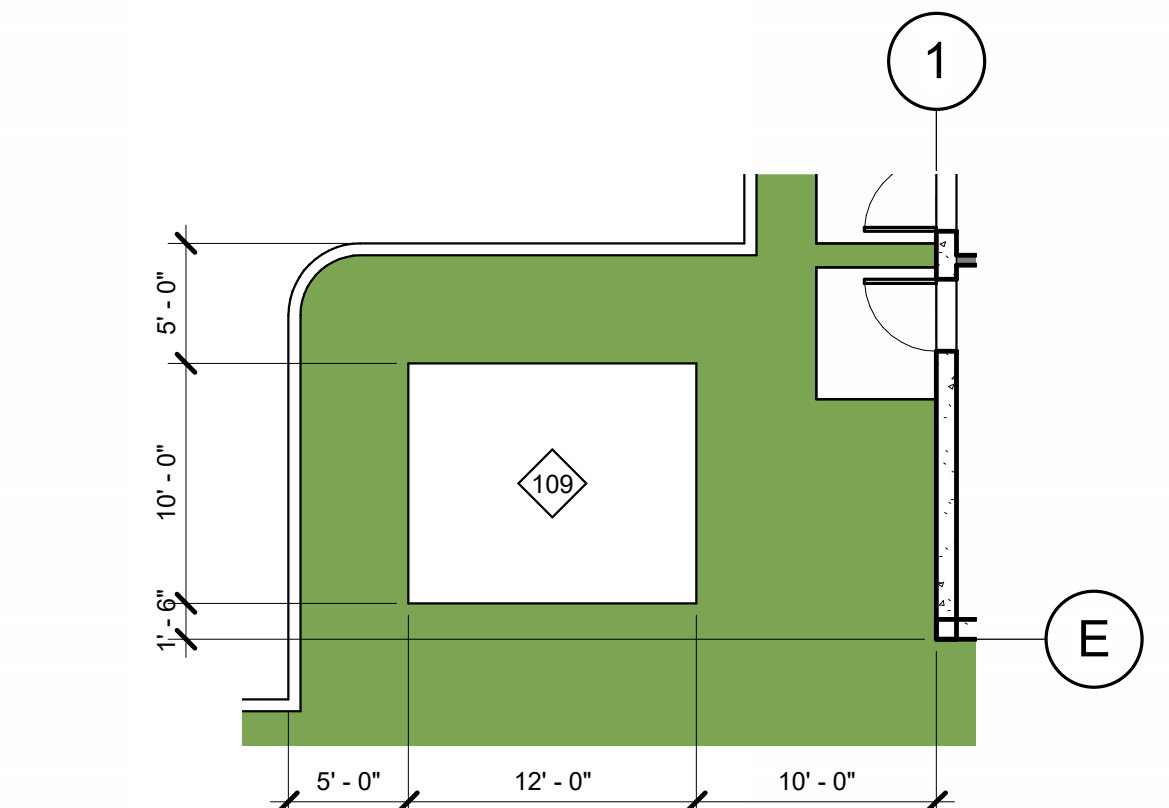
1 PROPOSED SITE PLAN  
1" = 20'-0"



1 TRASH ENCLOSURE PLAN  
1/4" = 1'-0"

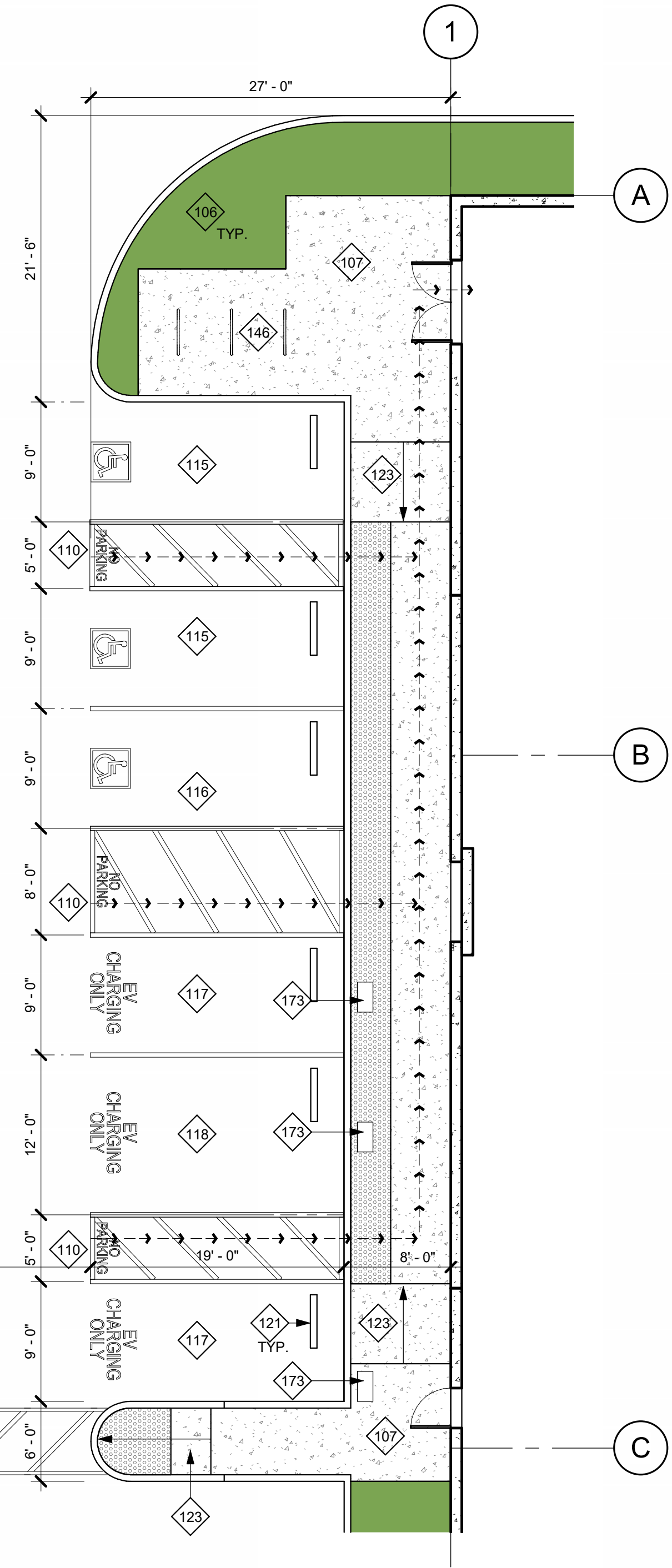
4 TRASH ENCLOSURE ELEVATION EAST  
1/4" = 1'-0"

5 TRASH ENCLOSURE ELEVATION SOUTH  
1/4" = 1'-0"



6 ENLARGED SITE TRANSFORMER  
1/8" = 1'-0"

7 ENLARGED SITE PLAN NORTH WEST CORNER  
1/8" = 1'-0"



KEYNOTES	
106	@ SHADING, PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS.
107	(N) SIDEWALK
109	(N) TRANSFORMER LOCATION. PROVIDE SCREENING.
110	ACCESS AISLE FOR ACCESSIBLE PARKING STALL. 5'-0" WIDE
115	STANDARD ACCESSIBLE PARKING STALL. 9'-0" WIDE x DEPTH OF STANDARD STALL.
116	VAN ACCESSIBLE PARKING STALL. 12'-0" WIDE x DEPTH OF STANDARD STALL.
117	STANDARD ACCESSIBLE EVCS (ELECTRICAL VEHICLE CHARGING STATION). 9'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
118	VAN ACCESSIBLE EVCS (ELECTRICAL VEHICLE CHARGING STATION). 12'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
121	PRECAST CONCRETE WHEEL STOP.
123	CURB RAMP. 8.33% MAX SLOPE w/ 2% MAX CROSS SLOPE.
135	CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
137	TUBE STEEL FENCE. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE.
141	PAINTED STEEL ROOF COVERING. HSS COLUMNS, HSS BEAMS, AND METAL DECK ROOFING.
142	PAINTED STEEL TRASH ENCLOSURE GATES. ALIGN TOP OF GATES WITH TOP OF ADJACENT ENCLOSURE WALL.
143	PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
144	PAINTED STEEL SWINGING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
146	2 POSITION BIKE RACK.
150	STEEL PIPE BOLLARD PROTECTION POST.
164	6" x 6" CONCRETE CURB.
172	CONCRETE TILT-UP TRASH ENCLOSURE WALL. MIN HEIGHT 6'-0" ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
173	LOCATION OF FUTURE MEDIUM AND HEAVY DUTY ZEV CHARGING CABINETS AND CHARGING DISPENSERS.
401	PAINTED CONCRETE TILT-UP WALL PANEL.

SITE LEGEND	
	LANDSCAPE AREA
	CONCRETE PAVING WHEN OCCURS @ PARKING AREAS, DRIVE AISLES, & OR TRUCK COURT. SEE CIVIL DRAWINGS FOR PAVING SECTIONS.
	FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY THE FIRE AUTHORITY. SEE 3/A/D1.1
	STREET LIGHT
	INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6
	PROPERTY LINE

SITE PLAN GENERAL NOTES

- THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
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- U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH.
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- REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.
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  - SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%, CROSS SLOPES DO NOT EXCEED 2%.
  - THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN.
  - CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11/A/D 2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
  - THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'0" MIN.
- ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N.
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- PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/A/D1.1
- ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN.
- WHERE OCCURS. GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6/A/D1.2
- PROVIDE A HOSE BIB NEAR THE MAIN BUILDING ENTRANCE. SEE PLAN FOR LOCATION.
- ALL SIGNS (NEW, MODIFIED OR REVISED) MUST BE APPROVED BY THE ENVIRONMENTAL DIVISION WITH APPEAL RIGHTS TO THE PLANNING COMMISSION, OR COMPLY WITH THE PREVIOUSLY APPROVED SIGN PROGRAM.
- THE PROHIBITED SIGNS FOR THIS USE INCLUDES: A-FRAME OR FREE STANDING SIGNS; BOW OR FLAG BANNERS; AIR ASSISTED SIGNS; SIGNS ATTACHED TO LIGHT OR UTILITY POLES, TREES OR VEHICLES; PERSONS HOLDING SIGNS; AND TEMPORARY SIGNAGE MOUNTED ON THE ROOF OF THE BUILDING.
- NON-GLARE SECURITY LIGHTING SHALL BE INSTALLED FOR THE PARKING LOT.
- VIDEO SURVEILLANCE OF PARKING LOT, BUILDING ENTRY POINTS AND DRIVE THRU (IF APPLICABLE).

EXTERIOR COLOR SCHEDULE

	(A) WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE
	(B) LIGHT GRAY EXTERIOR PAINT COLOR: SW 7655 STAMPED CONCRETE
	(C) MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7067 CITYSCAPE
	(D) EXTERIOR PAINT COLOR: SW 6990 CAVIAR
	(E) CLEAR ANODIZED METAL BROW / CANOPY

PAINT COLOR FOR EXPOSED STEEL BROW & CANOPY FRAMING, WALL BEHIND OPEN TRELLIS (KEY NOTE 228, OR 429) WHEN OCCURS & TRASH ENCLOSURE METAL ROOF, ROOF BEAMS, & SUPPORT COLUMNS.

(G) MATCH STOREFRONT FRAMING.

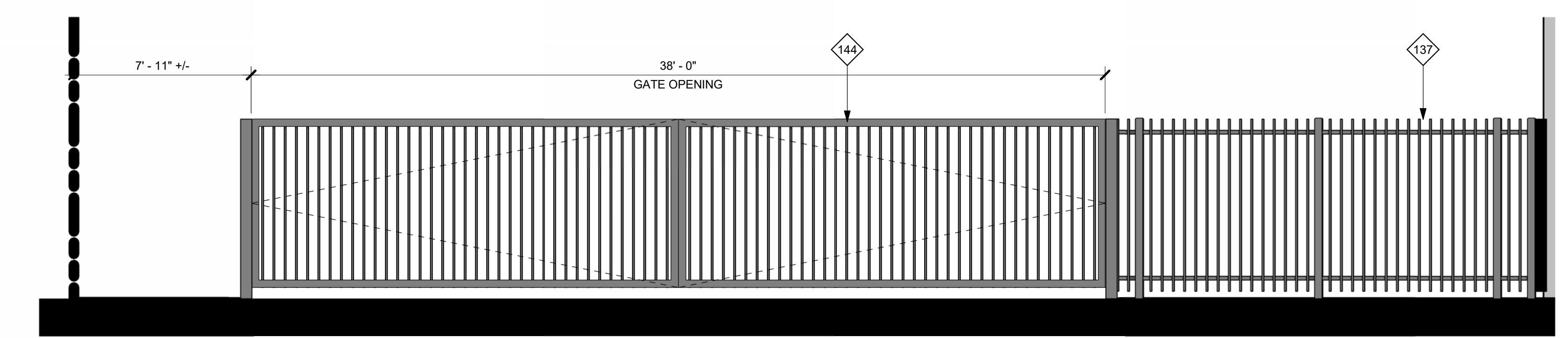
(I) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED

EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: MEDIUM PERFORMANCE GREEN REFLECTED GLAZING.

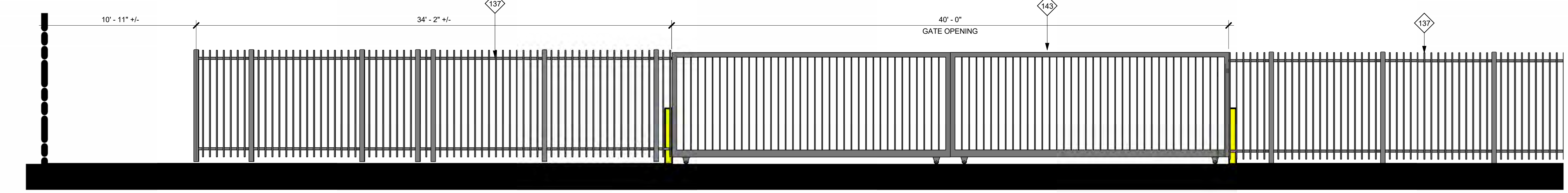
EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

**NOTES:**

- ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING.
- ALL INTERIOR AND EXTERIOR FABRICATED STEEL SHALL BE SHOP PRIMED WITH A GRAY. RUST INHIBITIVE PRIMER PRIOR TO DELIVERY TO THE JOB SITE. ANY AND ALL DAMAGE TO THE PRIMER COAT SHALL BE TOUCHED UP PRIOR TO ADDITIONAL FINAL COLOR PAINTING OR COMPLETION OF THE PROJECT.
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
- U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE WHITE EXTERIOR PAINT COLOR SW6995. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
- POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
- PAINT EXTERIOR WALLS W/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/A/D4.1
- PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
- @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
- PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL. WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2/A/D4.1
- U.O.N. PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
- ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE.



8 NORTH EAST GATE ELEVATION  
1/4" = 1'-0"

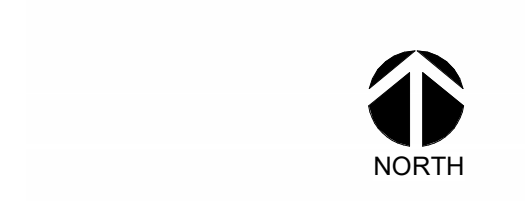


9 EAST GATE ELEVATION  
1/4" = 1'-0"



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ENLARGED  
SITE PLANS



A1\_1



TOTAL: 14,400 SF  
 OFFICE: 2,000 SF  
 WAREHOUSE: 12,400 SF  
 PARKING REQUIRED  
 WAREHOUSE @ 1/1,500 SF 17 STALLS  
 OFFICE @ 1/250 SF 9  
 8  
 SITE AREA 0.78 AC  
 BUILDING AREA 14,400 SF  
 FAR 0.423  
 PARKING PROVIDED 25 STALLS

APN 7378-011-040  
 SITE AREA 1.59 AC  
 BUILDING AREA 38,400  
 FAR 0.554  
 PARKING REQUIRED 103 STALLS  
 PARKING PROVIDED 55 STALLS

TOTAL: 24,000 SF  
 OFFICE: 21,000 SF  
 WAREHOUSE: 3,000 SF  
 PARKING REQUIRED  
 WAREHOUSE @ 1/1,500 SF 86 STALLS  
 OFFICE @ 1/250 SF 2  
 84

TOTAL: 24,000 SF  
 WAREHOUSE: 2,000 SF  
 OFFICE: 22,000 SF  
 PARKING REQUIRED  
 WAREHOUSE @ 1/1,500 SF 90 STALLS  
 OFFICE @ 1/250 SF 2  
 88  
 APN 7378-011-051  
 SITE AREA 1.10 AC  
 BUILDING AREA 24,000 SF  
 FAR 0.500  
 PARKING REQUIRED 90 STALLS  
 PARKING PROVIDED 49 STALLS

TOTAL: 24,000 SF  
 WAREHOUSE: 9,500 SF  
 OFFICE: 14,500 SF  
 PARKING REQUIRED  
 WAREHOUSE @ 1/1,500 SF 65 STALLS  
 OFFICE @ 1/250 SF 7  
 58  
 APN 7378-011-041  
 SITE AREA 1.10 AC  
 BUILDING AREA 24,000 SF  
 FAR 0.500  
 PARKING REQUIRED 65 STALLS  
 PARKING PROVIDED 63 STALLS

TOTAL: 24,000 SF  
 WAREHOUSE: 9,000 SF  
 OFFICE: 15,000 SF  
 PARKING REQUIRED  
 WAREHOUSE @ 1/1,500 SF 66 STALLS  
 OFFICE @ 1/250 SF 6  
 60  
 APN 7378-011-041  
 SITE AREA 1.35 AC  
 BUILDING AREA 24,000 SF  
 FAR 0.408  
 PARKING REQUIRED 66 STALLS  
 PARKING PROVIDED 91 STALLS

ADDITIONAL 227  
 PARKING SPACES  
 ALLOCATED TO SITE  
 VIA TWO OFFSITE  
 PARKING AREAS

TOTAL PARKING STALLS PROVIDED:	485 STALLS
ON SITE PARKING	258
NORTHWEST PARCEL	55
NORTHEAST PARCEL	49
SOUTHWEST PARCEL	63
SOUTHEAST PARCEL	91
OFF SITE PARKING	227
TOTAL PARKING STALLS REQUIRED:	324 STALLS

1 EXISTING PARKING EXHIBIT  
 1" = 30'-0"



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 A23-2038  
 09.16.2024

EXISTING  
 PARKING  
 EXHIBIT



A1\_2



SINGLE STORY BLDG: 14,500 SF  
 OFFICE: 2,000 SF  
 WAREHOUSE: 12,500 SF

PARKING REQUIRED	17 STALLS
WAREHOUSE @ 1/1,500 SF	9
OFFICE @ 1/250 SF	8

SITE AREA 0.78 AC  
 BUILDING AREA 14,500 SF  
 FAR 0.427

PARKING PROVIDED 25 STALLS

← ADDITIONAL 227 PARKING SPACES ALLOCATED TO SITE VIA TWO OFFSITE PARKING AREAS →

TWO STORY BLDG: 24,000 SF  
 FIRST FLOOR: 14,000 SF WAREHOUSE  
 SECOND FLOOR: 10,000 SF OFFICE

PARKING REQUIRED	50 STALLS
WAREHOUSE @ 1/1,500 SF	10
OFFICE @ 1/250 SF	40

SITE AREA 0.95 AC  
 BUILDING AREA 24,000 SF  
 FAR 0.580

PARKING PROVIDED 31 STALLS

TWO STORY BLDG: 24,000 SF  
 FIRST FLOOR: 14,000 SF WAREHOUSE  
 SECOND FLOOR: 10,000 SF OFFICE

PARKING REQUIRED	50 STALLS
WAREHOUSE @ 1/1,500 SF	10
OFFICE @ 1/250 SF	40

SITE AREA 2.42 AC  
 BUILDING AREA 24,000 SF  
 FAR 0.228

PARKING PROVIDED 37 STALLS

TOTAL PARKING STALLS PROVIDED:	358 STALLS
ON SITE PARKING	131
NORTH PARCEL	25
MIDDLE-WEST PARCEL	31
MIDDLE-EAST PARCEL	37
SOUTH PARCEL	38
OFF SITE PARKING	227

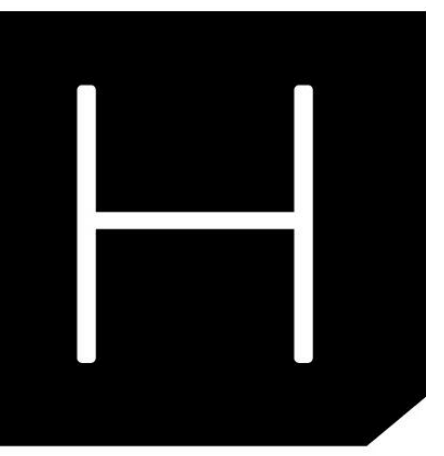
ONE STORY BLDG: 56,878 SF  
 FIRST FLOOR: 51,378 SF WAREHOUSE  
 3,000 SF OFFICE  
 MEZZANINE: 2,500 SF OFFICE

PARKING REQUIRED	57 STALLS
WAREHOUSE @ 1/1,500 SF	35
OFFICE @ 1/250 SF	22

PARKING PROVIDED 38 STALLS

TOTAL PARKING STALLS REQUIRED: 174 STALLS

① PROPOSED PARKING EXHIBIT  
 1" = 30'-0"



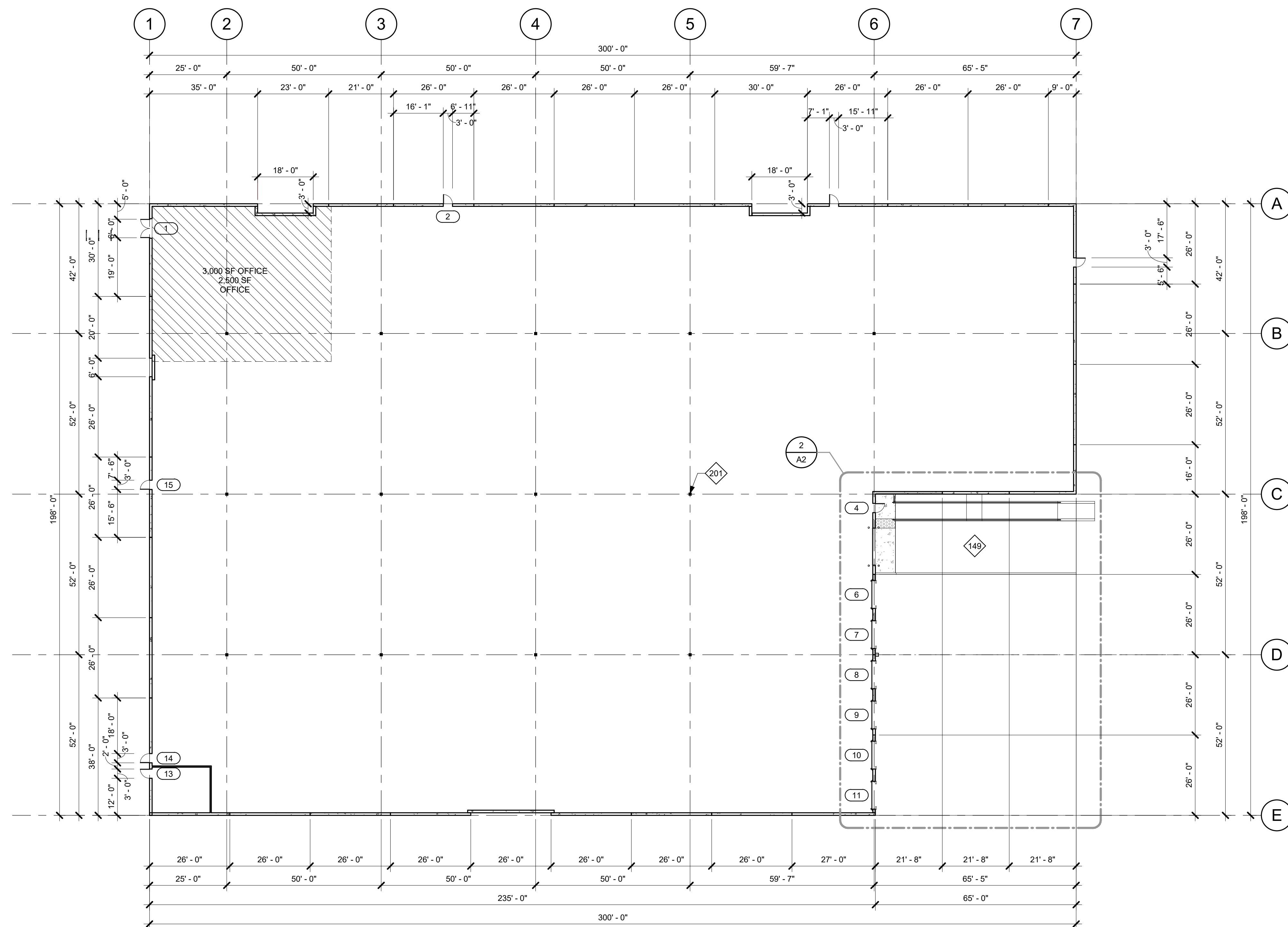
HERDMAN  
 ARCHITECTURE + DESIGN

A23-2038  
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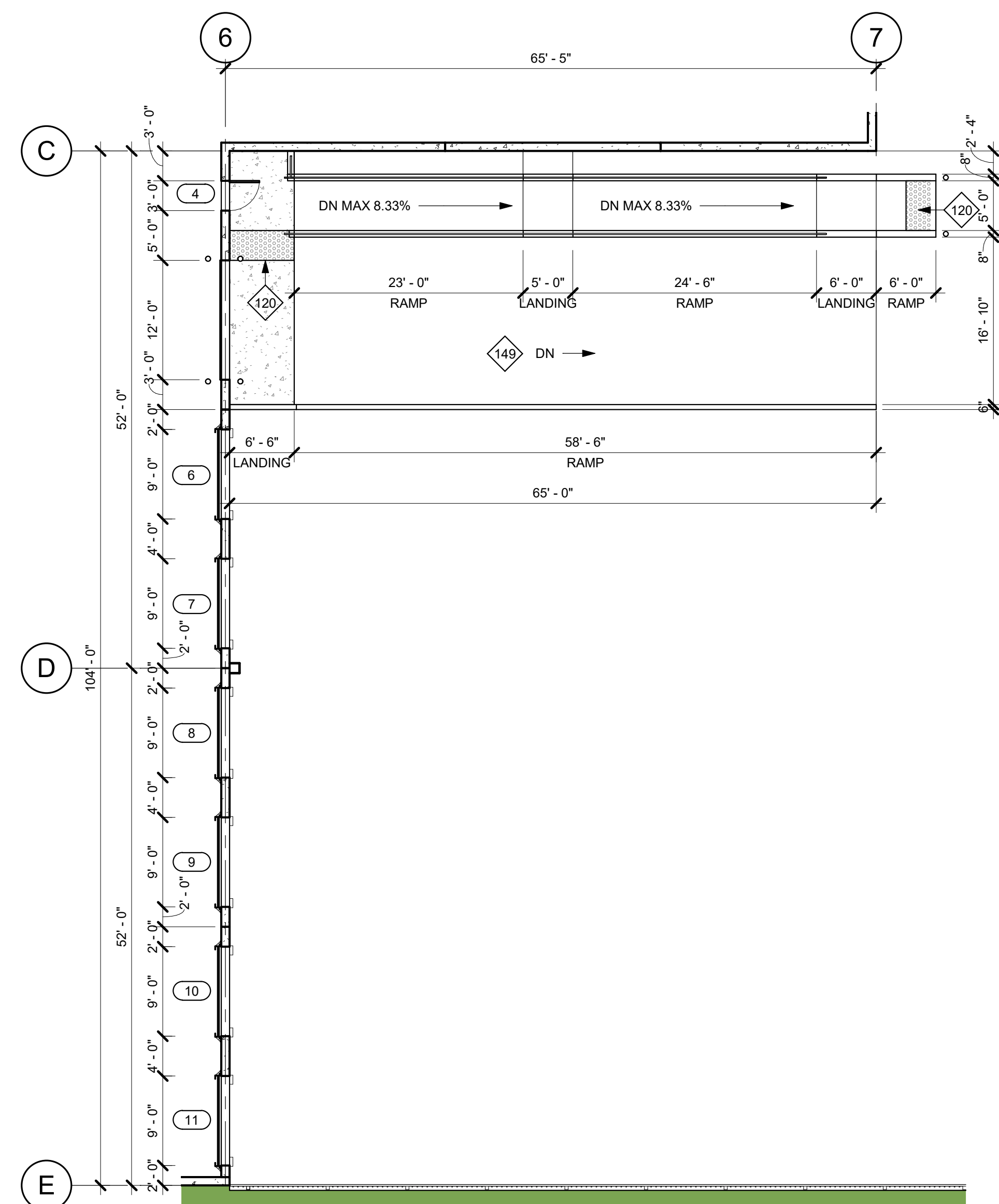
PROPOSED  
 PARKING  
 EXHIBIT



A1\_3



1 PROPOSED BUILDING FLOOR PLAN  
1" = 20'-0"



2 ENLARGED TRUCK COURT PLAN  
1" = 10'-0"

KEYNOTES

- 120 TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
- 149 CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDES. PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE.
- 201 STRUCTURAL BUILDING COLUMN.

FLOOR PLAN LEGEND

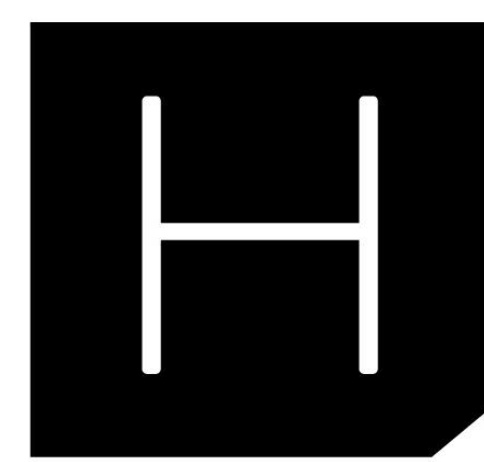
- EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
- METAL STUD NON BEARING PARTITION WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION
- WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
- STRUCTURAL BUILDING COLUMNS
- PROVIDE VAPOR BARRIER UNDER PROPOSED AND OR FUTURE OFFICE AREA FLOOR SLAB. EXTEND MIN 40'-0" BEYOND 1:1 AREA OR AS DIMENSIONED ON THE FLOOR PLAN. SEE 4/A1.0
- FIRE SPRINKLER RISER. SEE FIRE PROTECTION PLANS AND 7/ADS.0
- DOOR TAG. SEE SHEET A8.0 FOR DOOR SCHEDULE
- WINDOW TAG. SEE SHEET A8.0 FOR WINDOW SCHEDULE
- STOREFRONT TAG. SEE SHEETS A8.0.1 & A8.0.2 FOR STOREFRONT SCHEDULE
- WALL TAG

FLOOR SLAB GENERAL NOTES

1. THE FLOOR SLAB THICKNESS TO BE 'X'. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
2. THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 2.1.
3. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS.
4. SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND OVERHEAD DOORS. SEE 5, 7, & 10/A4.1
5. CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION.
6. BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN.
7. TRENCH SOIL COMPACTION TO BE 80% MIN.
8. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
9. THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.
10. ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING.
11. SEE 6/A2.1 FOR SLAB PATCHING DETAIL.
12. PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR STRIPS AT ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR STRIPS AT DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS.
13. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR -
14. ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED.
15. CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE FLOOR SLAB.

FLOOR PLAN GENERAL NOTES

1. WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI.
2. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE DEPARTMENT INSPECTOR.
3. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS A03.3 & A02.4
4. U.O.N. ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
5. PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS.
6. SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
7. PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/ADS.0 FOR ADDITIONAL INFORMATION.
8. FOR REQUIRED LANDINGS @ ALL INTERIOR & EXTERIOR DOORS. SEE 11/A0.2.1.
9. NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES. PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.
10. U.O.N @ INTERIOR PARTITIONS. FINISHED HINGE SIDE OF JAMB TO BE 0" FROM FINISHED SURFACE OF INTERSECTING WALL.



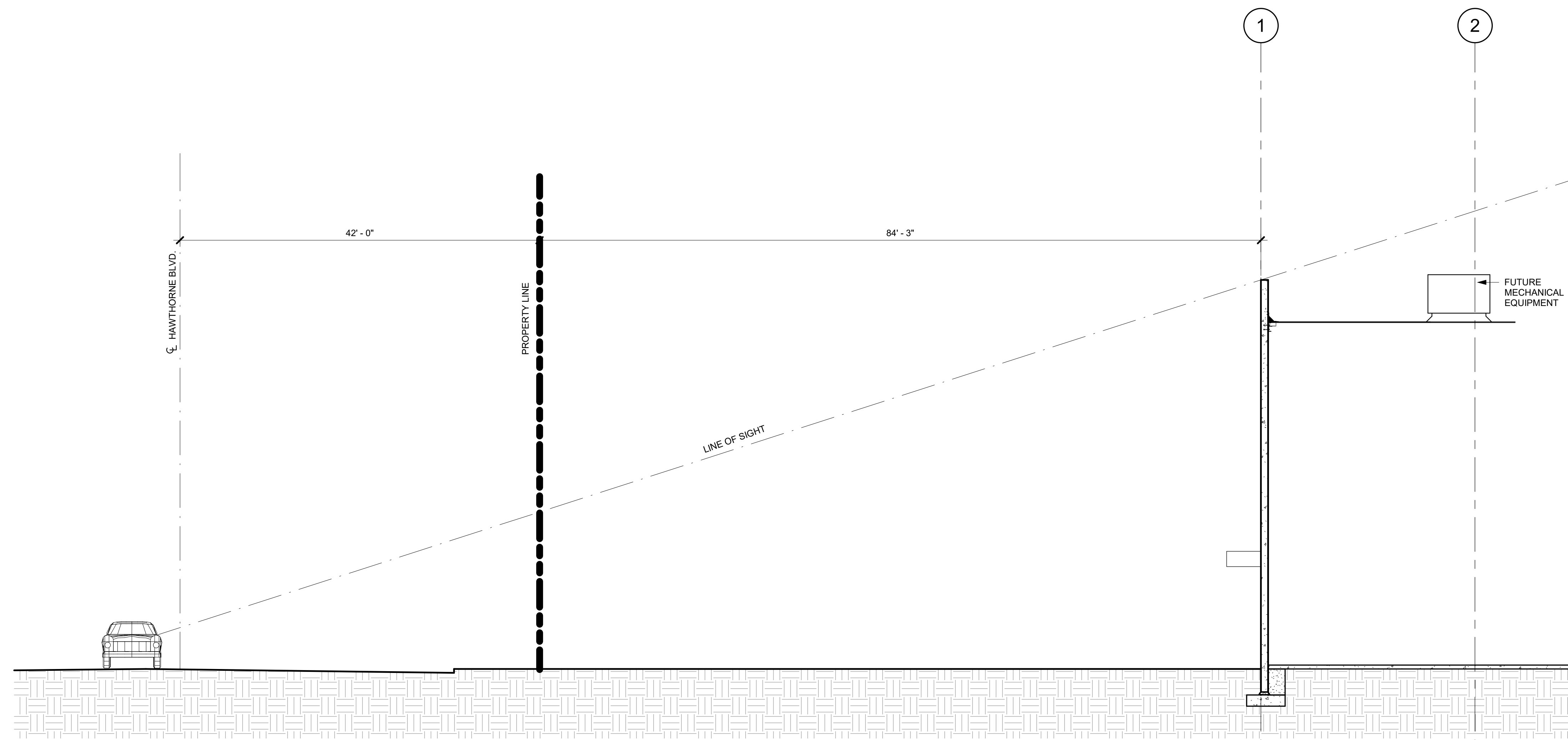
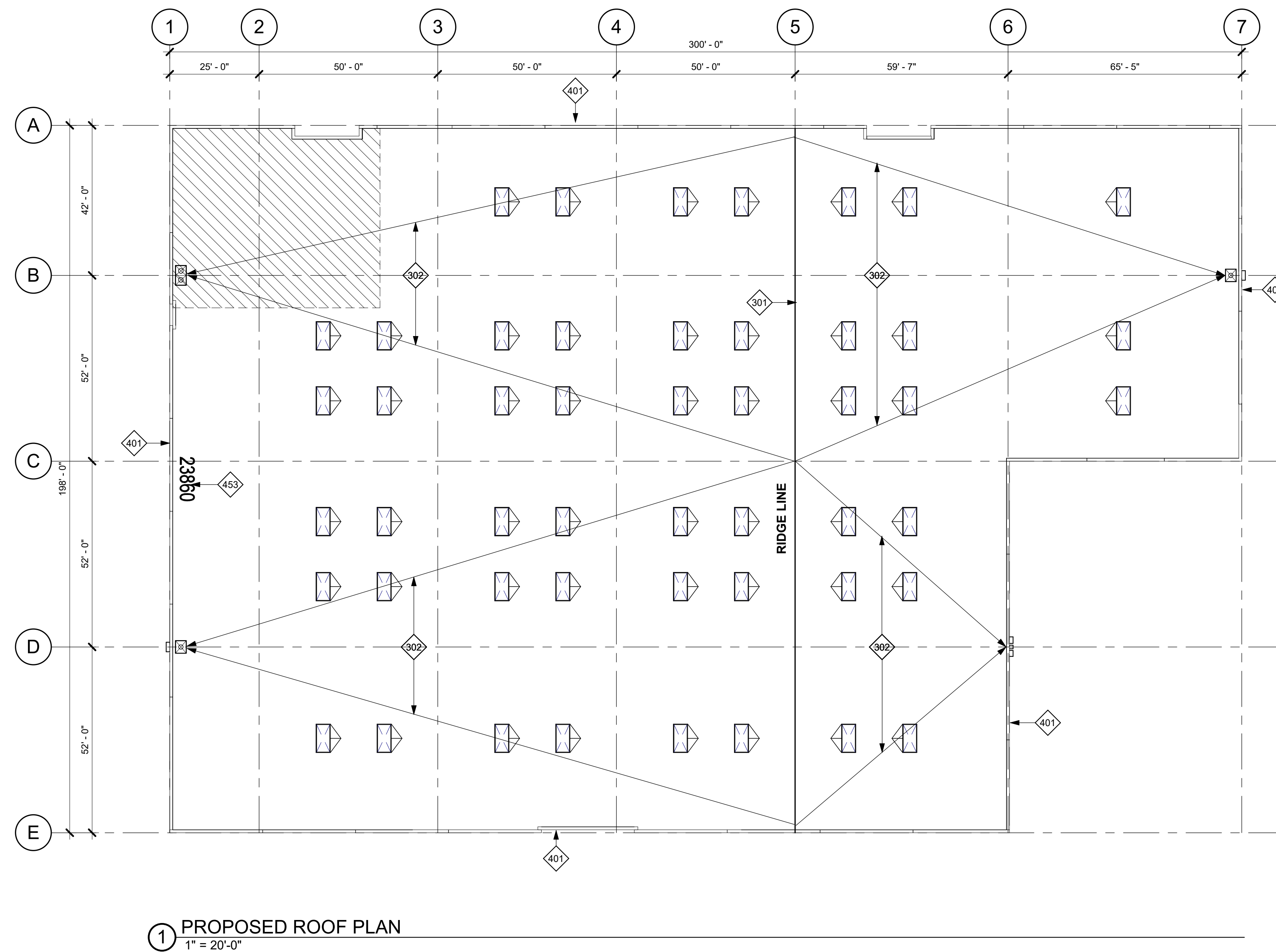
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GROUND  
LEVEL FLOOR  
PLANS



A2



**KEYNOTES**

- 301 LINE OF RIDGE / ROOF HIGH POINT.
- 302 SLOPE ROOF MINIMUM 1/4"FOOT
- 401 PAINTED CONCRETE TILT-UP WALL PANEL.
- 453 PAINT 4'-0" TALL ADDRESS NUMERALS ON ROOFTOP FOR AERIAL IDENTIFICATION.

**ROOF PLAN GENERAL NOTES**

1. GENERAL CONTRACTOR TO PROVIDE A 4-PLY BUILT-UP ASPHALT ROOF BY MALARKY (CCR-0333), GAF (UL ER 1308-02), JOHNS MANVILLE (UL ER 10167-03), OR AN EQUAL APPROVED BY THE OWNER. ROOF TO HAVE A UL CLASS "A" FIRE RATING. ASPHALT TO BE "TRUMBAL" ASPHALT OR AN APPROVED EQUAL. PROVIDE A 15 YEAR NO DOLLAR LIMIT WARRANTY. SEE DETAIL 1/AD3.0 FOR TYPICAL ROOFING CROSS SECTION.
2. FOR TYPICAL PARAPET DETAILS, SEE 2 & 3/AD3.0 FOR TYPICAL ROOF TOP PIPE SUPPORT DETAIL, SEE 4/AD3.1 FOR PRE-FAB EQUIPMENT CURB DETAIL, SEE 5/AD3.0 FOR EQUIPMENT PLATFORM DETAIL, SEE 6/AD3.0 FOR TYPICAL ROOF PENETRATION DETAILS, SEE 10, 11, & 12/AD3.0
3. ROOFING DETAILS SHOWN ON THESE PLANS ARE MINIMUM STANDARDS. ROOFING DETAILS PROVIDED BY THE BUILT UP ROOFING MANUFACTURER SHALL TAKE PRECEDENCE IF THEY REQUIRE MORE THAN THE ROOF PLAN GENERAL REQUIREMENTS ON THESE PLANS.
4. GENERAL CONTRACTOR SHALL CONFIRM THE ROOF ELEVATIONS SHOWN ON THE ARCHITECTURAL ROOF PLAN WITH THE STRUCTURAL DRAWINGS.
5. GENERAL CONTRACTOR SHALL VERIFY THERE IS POSITIVE ROOF DRAINAGE AT ALL AREAS OF THE ROOF PRIOR TO INSTALLING RIGID INSULATION OR BUILT UP ROOFING.
6. GENERAL CONTRACTOR TO PROVIDE CRICKETING ON THE HIGH SIDE OF ALL SKYLIGHTS, SMOKE HATCHES, ROOF HATCHES, AND MECHANICAL EQUIPMENT. SEE 9/AD3.0
7. GENERAL CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS.
8. ALL MECHANICAL EQUIPMENT CONDENSATE DRAIN LINES TO BE RUN BELOW THE ROOF.
9. GENERAL CONTRACTOR TO PROVIDE WALKING PADS FROM THE ROOF HATCH TO ALL OFFICE AREA ROOF TOP MECHANICAL EQUIPMENT. THE WALKING PADS SHALL BE A PRODUCT APPROVED BY THE MANUFACTURER OF THE ROOFING SYSTEM.
10. ALL EXPOSED WOOD CURBS TO BE PRESSURE TREATED DOUGLAS FIR.
11. ALL ROOF TOP EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. COORDINATE LOCATION AND INSTALLATION WITH THE FIRE PROTECTION PLANS.
12. GENERAL CONTRACTOR TO PROVIDE FULL TIME INSPECTION FOR OSB MOISTURE CONTENT AND GAP BETWEEN PANELS BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO COMMENCING ANY BUILT-UP ROOFING WORK.
13. GENERAL CONTRACTOR TO PROVIDE FOR CONTINUOUS ROOFING INSPECTION BY AN IRC ROOFING CONSULTANT OR AN EQUAL APPROVED BY THE OWNER.
14. WHEN REQUIRED BY TITLE 24 (SEE MECHANICAL DRAWINGS) THE ROOFING GAP SHEET OVER ALL CONDITIONED SPACES SHALL HAVE A MINIMUM 3-YEAR AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.65, AND AN SRI EQUAL TO OR GREATER THAN 75 (COOL ROOF).
15. ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED BY "SIMPSON" OR EQUAL.
16. PROVIDE A ROOF TOP HOSE BIB NEAR THE OFFICE AND OR FUTURE OFFICE AREA. SEE PLAN FOR LOCATION.
17. PROVIDE WHITE 5/8" SHRIM MEMBRANE OVER THE ENTIRE WAREHOUSE CEILING. SEE 4/AD3.2 CONFIRM REQUIREMENT WITH THE OWNER PRIOR TO ORDERING MATERIAL.
18. REGARDING ROOF DRAINAGE - ROOF AND OVERFLOW DRAIN SIZES PER PLUMBING PLANS. OVERFLOW SCUPPER AND EXTERIOR DOWNSPOUT SIZES PER ARCHITECTURAL PLANS UNLESS PLUMBING PLANS CALL OUT FOR LARGER SIZES.
19. THE PROHIBITED SIGNS FOR THIS USE INCLUDES: A-FRAME OR FREE STANDING SIGNS; BOW OR FLAG BANNERS; AIR ASSISTED SIGNS; SIGNS ATTACHED TO LIGHT OR UTILITY POLES, TREES OR VEHICLES; PERSONS HOLDING SIGNS; AND TEMPORARY SIGNAGE MOUNTED ON THE ROOF OF THE BUILDING.

**ROOF PLAN LEGEND**

- OFFICE AREA BELOW
- SOLAR READY ROOF AREA. SEE "SOLAR READY ROOF NOTES", THIS SHEET FOR ADDITIONAL INFORMATION.
- CURB MOUNTED SKYLIGHT. "SKYLIGHT/SMOKE HATCH NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.
- CURB MOUNTED SMOKE HATCH. "SKYLIGHT/SMOKE HATCH NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.
- BILCO TYPE S 30"x36" ALUMINUM FRAME SELF FLASHING ROOF HATCH W/ "BIL GUARD" 2.0 SAFETY RAILINGS SYSTEM & "LADDER UP" SAFETY POST OR =. SEE 7 & 8/AD3.0 FOR TYPICAL DETAILS.
- INTERIOR ROOF DRAIN IN ROOF SUMP W/ EXTERIOR OVERFLOW SCUPPER. SEE 14/AD3.0
- INTERIOR ROOF AND OVERFLOW DRAINS IN ROOF SUMP. SEE 13/AD3.0
- EXTERIOR DOWNSPOUT w/ (2) OVERFLOW SCUPPERS. SEE 17/AD3.0 & 3/AD3.1
- EXTERIOR DOWNSPOUT w/ (1) OVERFLOW SCUPPER. SEE 18/AD3.0 & 3/AD3.1

NOTE: SOME ITEMS SHOWN IN THE LEGEND MAY NOT BE IN THE PROJECT SCOPE

**TOTAL OPENINGS REQ. BY OWNER, SKYLIGHTS + SMOKE HATCHES**

TOTAL ROOF AREA	AREA REQ. FOR OPENINGS	TOTAL AREA OF OPENINGS	NUMBER OF 4x8 UNITS REQ.
51666 SF	3%	1550 SF	49

**TOTAL SKYLIGHTS PROVIDED**

SKYLIGHTS	49
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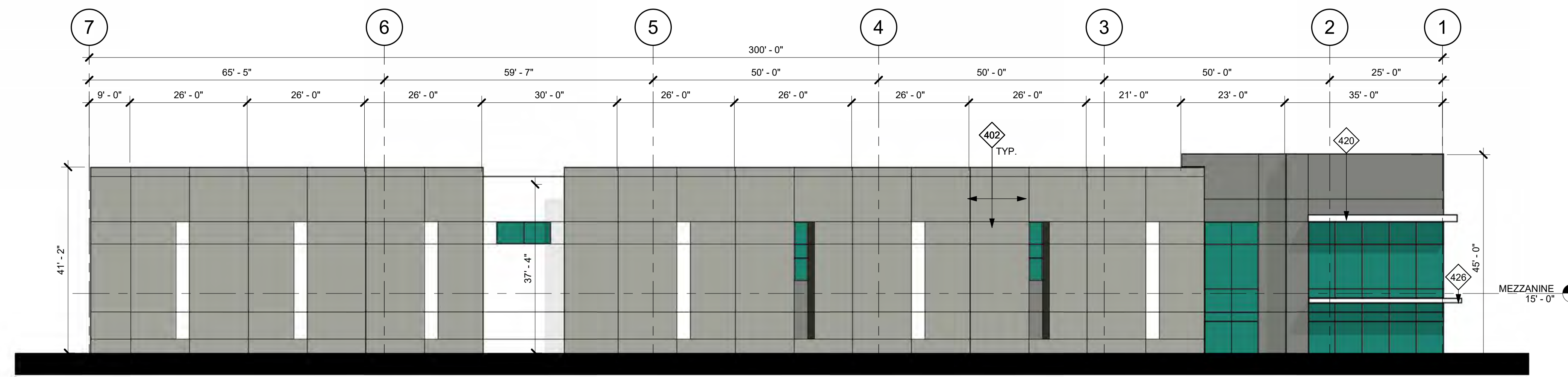


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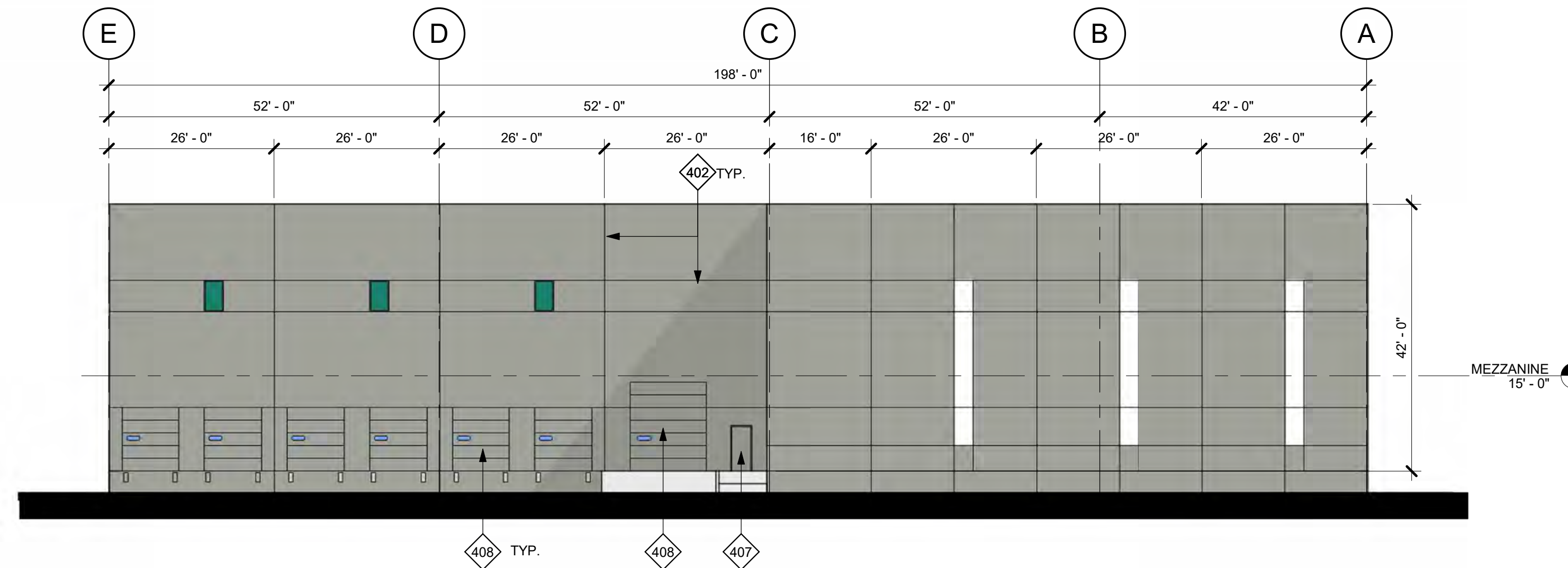
ROOF PLAN



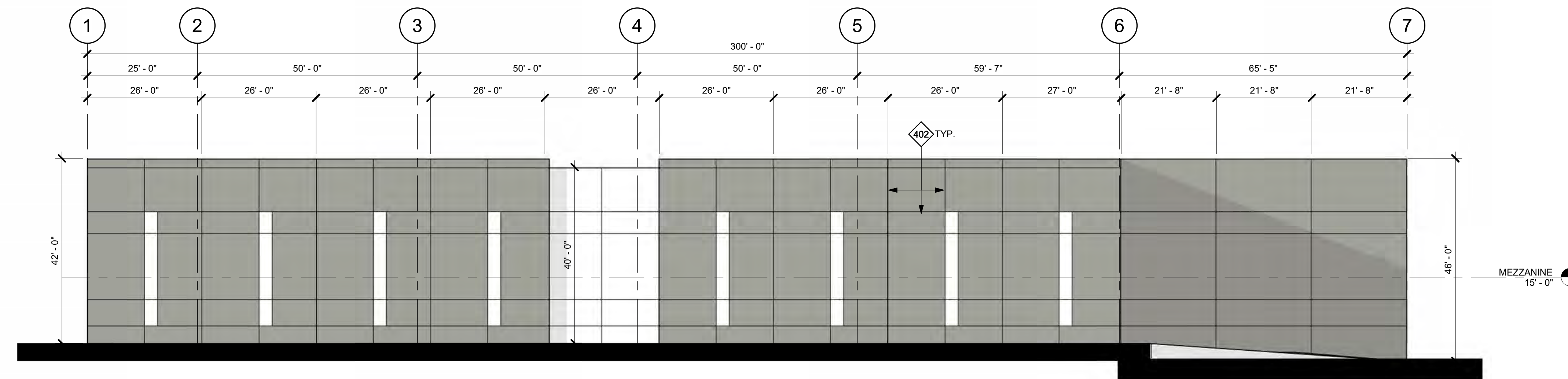
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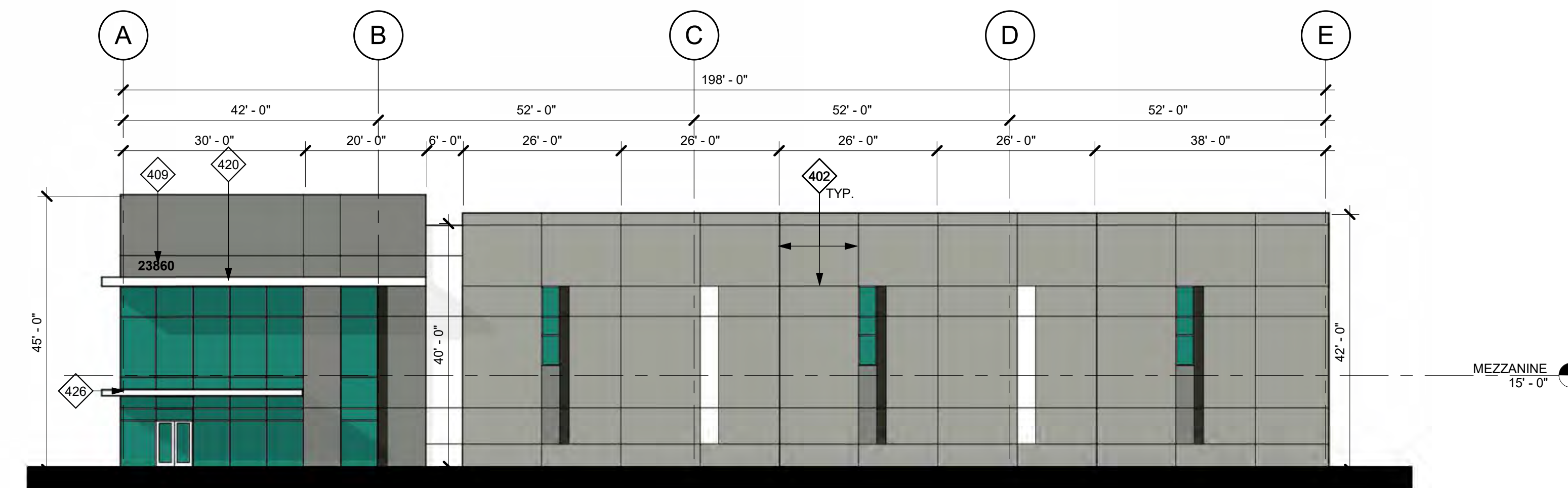
1 PROPOSED NORTH ELEVATION  
1/16" = 1'-0"



3 PROPOSED EAST ELEVATION  
1/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/16" = 1'-0"



4 PROPOSED WEST ELEVATION  
1/16" = 1'-0"

KEYNOTES

- 402 WALL REVEAL
- 407 PAINTED HOLLOW METAL PEDESTRIAN DOOR
- 408 STEEL SECTIONAL OVERHEAD DOOR
- 409 BUILDING ADDRESS NUMERALS PER FIRE DEPARTMENT AND/OR PLANNING DEPARTMENT REQUIREMENTS.
- 420 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM PANELS, NOMINAL 1/2" THKNS, MAX 24" PROJECTION FROM BUILDING.
- 426 DECORATIVE SOLID CANOPY w/ CONCEALED GUTTER WRAPPED IN ALUMINUM PANELS, MAX 48" PROJECTION FROM BUILDING.

GLAZING LEGEND & NOTES

- STOREFRONT FRAMING:**  
U.O.N @ VISION SYSTEM, MIN 2"x4-1/2" OFFSET SYSTEM, U.O.N @ SPANDREL SYSTEM, 2"x1 3/4" OFFSET SYSTEM, STOREFRONT SYSTEM TO BE DESIGN BUILT BY THE GENERAL CONTRACTOR. DESIGN SHALL COMPLY WITH ALL RELEVANT CODE & WIND LOADING REQUIREMENTS.
- VISION SYSTEM GLAZING:**  
FOR EXTERIOR VISION GLAZING USE 1" INSULATED GLASS CONSISTING OF AN OUTER LAYER OF 1/4" VISTACOL AND AN INNER LAYER OF 1/4" SOLARBAN 60. FOR INTERIOR GLAZING USE 1/2" CLEAR GLASS.
- SPANDREL SYSTEM GLAZING:**  
FOR EXTERIOR SPANDREL GLAZING USE 1/4" VISTACOL, BACK PAINTING OF GLASS NOT REQUIRED.

- NOTES:**
1. FOR GLASS AND MULLION COLORS, SEE EXTERIOR COLORS, LEGEND & NOTES, THIS SHEET.
  2. PROVIDE TEMPERED GLASS @ THE FOLLOWING:  
A. ALL SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS  
B. ALL GLAZING WITHIN 18" OF AN ADJACENT WALKING SURFACE  
C. ALL GLAZING WITH 24" OF ANY PORTION OF A DOOR.
  3. @ SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS, PROVIDE 1" DIA. VENTILATION HOLES IN THE CONCRETE A MAX OF 5'-0" O.C. CONTRACTOR TO PROVIDE A SMOOTH FINISH ON THE GLASS FACING CONCRETE SURFACES AND TO PAINT THEM AND ALL STOREFRONT FRAMES AND CLIPS BEHIND THE GLASS BLACK.
  4. @ SPANDREL SYSTEM GLAZING NOT IN FRONT OF A CONCRETE WALL PANEL, PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH.

EXTERIOR WALL COLOR LEGEND & NOTES

- (A) WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE
  - (B) LIGHT GRAY EXTERIOR PAINT COLOR: SW 7655 STAMPED CONCRETE
  - (C) MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7067 CITYSCAPE
  - (D) EXTERIOR PAINT COLOR: SW 6990 CAVIAR
  - (E) CLEAR ANODIZED METAL BROW / CANOPY
- PAINT COLOR FOR EXPOSED STEEL BROW & CANOPY FRAMING, WALL BEHIND OPEN TRELLIS (KEY NOTE 426, OR 426B) WHEN OCCURS & TRASH ENCLOSURE METAL ROOF, ROOF BEAMS, & SUPPORT COLUMNS.
- (H) MATCH STOREFRONT FRAMING.
  - (I) EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED
- EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: MEDIUM PERFORMANCE GREEN REFLECTED GLAZING.
- EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

NOTES:

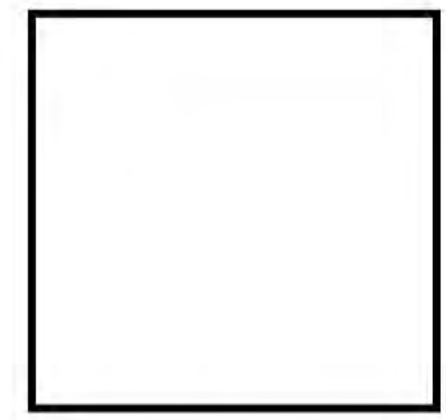
1. ALL IMPERFECTIONS ON THE SURFACE OF THE CONCRETE WALL PANELS SHALL BE PATCHED / SACKED / SANDED SMOOTH PRIOR TO PAINTING
2. ALL INTERIOR AND EXTERIOR FABRICATED STEEL SHALL BE SHOP PRIMED WITH A GRAY, RUST INHIBITIVE PRIMER PRIOR TO DELIVERY TO THE JOB SITE. ANY AND ALL DAMAGE TO THE PRIMER COAT SHALL BE TOUCHED UP PRIOR TO ADDITIONAL FINAL COLOR PAINTING OR COMPLETION OF THE PROJECT
3. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
4. U.O.N, EXTERIOR SIDE OF TRUCK DOORS TO BE WHITE EXTERIOR PAINT COLOR SW6995, INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
5. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
6. PAINT EXTERIOR WALLS w/ 1 - COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
7. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/ADA.1.
8. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
9. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
10. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2/ADA.1.
11. U.O.N, PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
12. ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE



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EXTERIOR  
ELEVATIONS

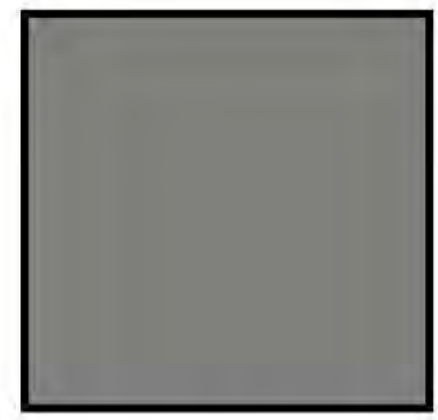
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A. EXTERIOR PAINT  
SW 6995 SUPERWHITE



B. EXTERIOR PAINT  
SW 7655  
STAMPED CONCRETE



C. EXTERIOR PAINT  
SW 7067  
CITYSCAPE



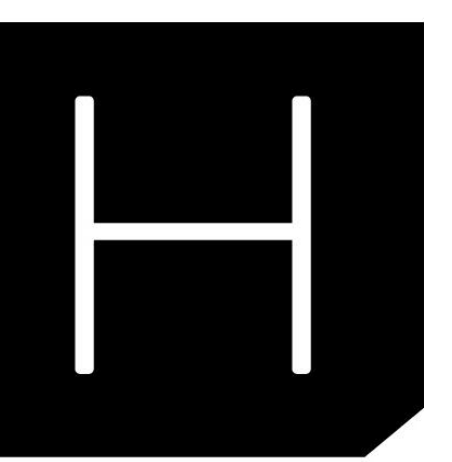
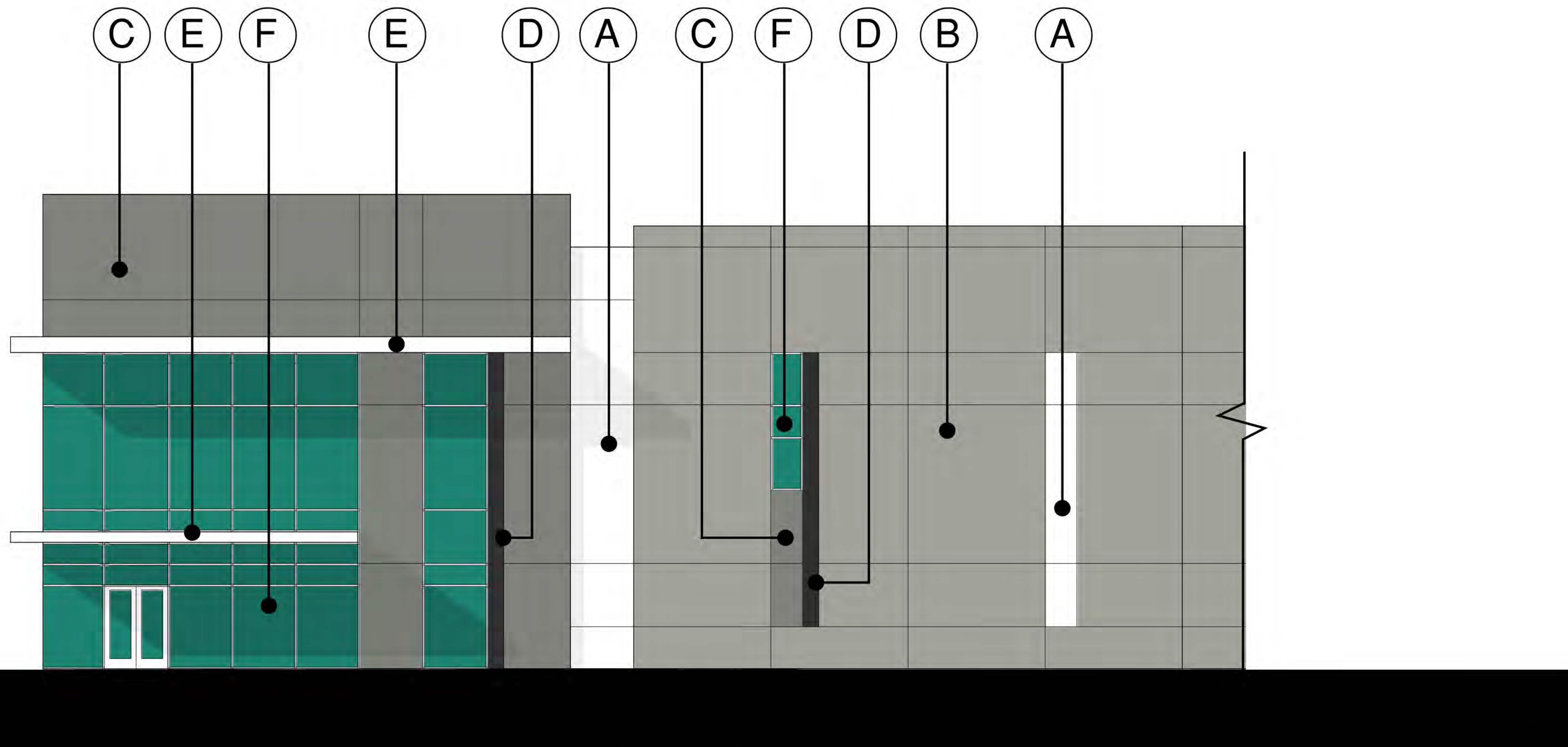
D. EXTERIOR PAINT  
SW 6990  
CAVIAR

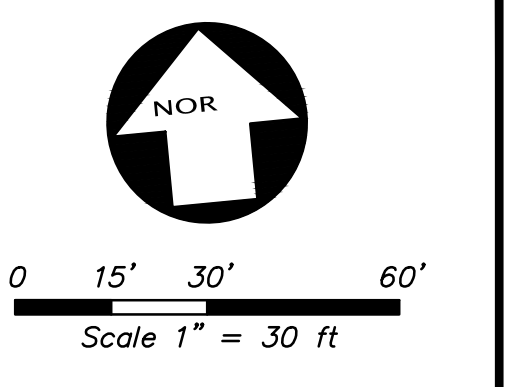


E. CLEAR ANODIZED  
METAL EYE BROW/CANOPY

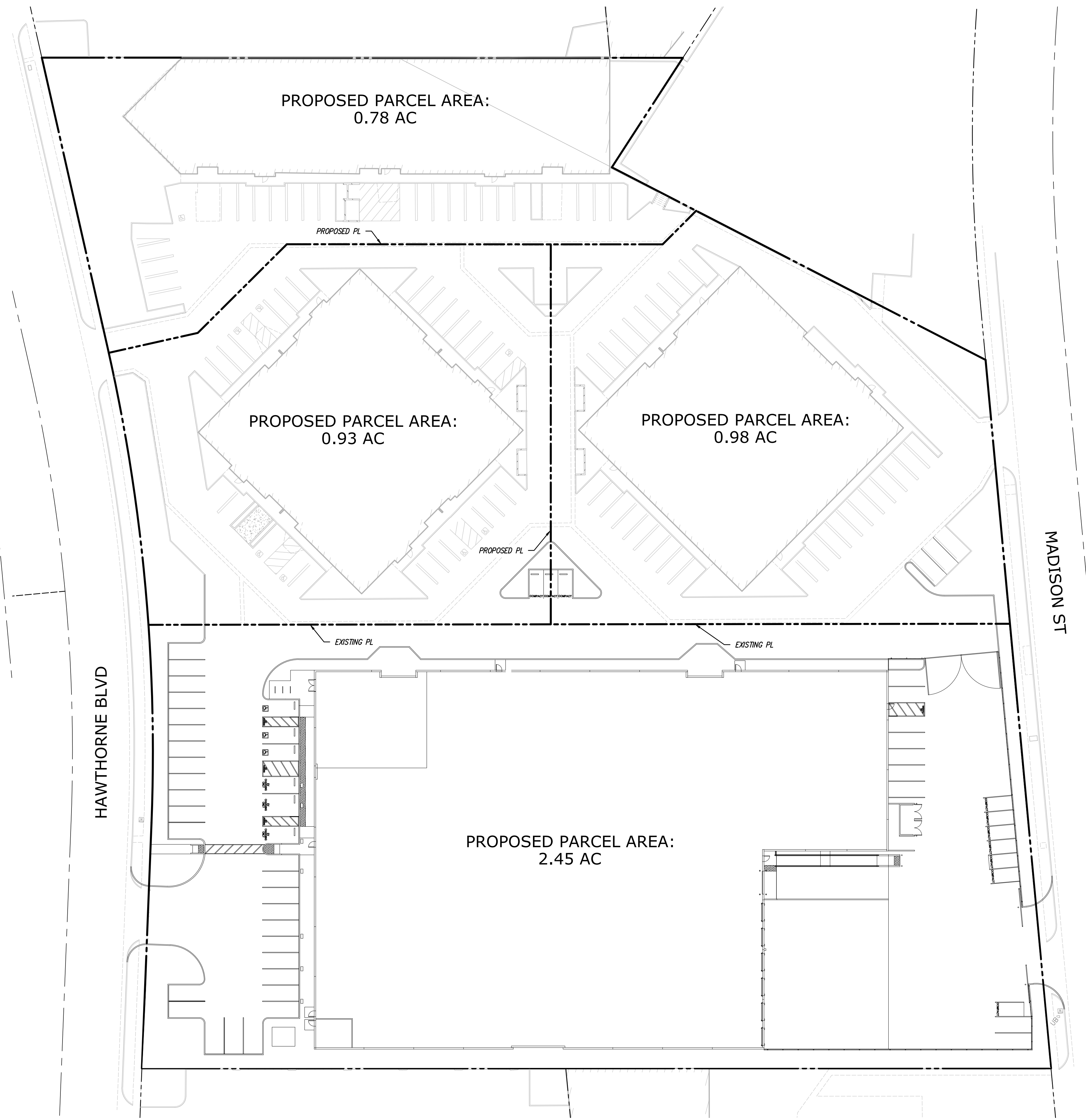


F. STOREFRONT  
MEDIUM PERFORMANCE  
GREEN REFLECTED GLAZING  
CLEAR ANODIZED ALUMINUM MULLION





EXISTING PROPERTY LINES



PROPOSED PROPERTY LINES

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DATE	SEPT 16, 2024
SCALE	AS SHOWN
DESIGNER	AAP
DRAWN BY	AAP
JOB NO.	A23170-1
SHEET	1
OF	1 SHEETS

BY	NO	REVISION
BY	NO	REVISION

8955 Research Drive Irvine, CA 92618 Phone: (949) 506-0202 www.kierwright.com	

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 23860 HAWTHORNE BOULEVARD  
 FOR  
 LCG ATRIUM, LLC.  
 CALIFORNIA  
 TORRANCE