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The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
JULY 16, 2025
REGULAR MEETING
6:30 P.M. IN THE LeROY J. JACKSON COUNCIL CHAMBER
AT 3031 TORRANCE BLVD.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Katsonis

2. FLAG SALUTE: Commissioner Turner

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, July 10, 2025.

4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: February 5, 2025

7. ADMINISTRATIVE MATTERS

7A. Planning Commission Elections

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of DIV24-00002: JACOB GLAZE (HAGER PACIFIC ACQUISITIONS)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Division of Lot to allow a Lot Line Adjustment between two properties located in the Heavy Manufacturing District (M-2) Zone at 19840 Pioneer Avenue and 19200 Hawthorne Boulevard. This project is Categorically Exempt from California Environmental Quality Act per Guidelines Section 15305 – Minor Alterations. (Res. No. 24-057)

8B. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00010: MC TORRANCE LLC

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit to allow and restore operation of a hotel use, on property located in the General Commercial (C-2) Zone at 4111 Pacific Coast Highway. This project is Categorically Exempt from California Environmental Quality Act per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-041)

8C. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00004: CLUB PILATES (NORTH TORRANCE PLAZA, LLC)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit to allow the operation of a fitness center, on property located in the General Commercial District (C-2) Zone at 4940 190TH Street. This project is Categorically Exempt from California Environmental Quality Act per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-043)

8D. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00007, DIV25-00002: KELLY HAMM (KANAMALA NAGA K AND DAVAY NITEE)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit to allow the construction of three residential units, in conjunction with a Division of Lot for condominium purposes, on property located in the Limited Multiple Family Residential District (R-3) Zone at 25534 January Drive. This project is Categorically Exempt from California Environmental Quality Act per Guidelines Section 15303 – New Construction and 15315 – Minor Land Divisions. (Res. Nos. 25-044, 25-045)

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, August 6, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber.

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At 10:30 p.m., Commissioner Obejas moved to adjourn the meeting to Wednesday, February 19, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chambers.

**MINUTES OF A REGULAR MEETING OF THE
TORRANCE PLANNING COMMISSION AGEND**

1. CALL MEETING TO ORDER

The Torrance Planning Commission convened in a regular session at 6:31 p.m. on Wednesday, February 5, 2025, in the LeRoy J. Jackson Council Chambers 3031 Torrance Boulevard Torrance, CA 90503

ROLL CALL

Present: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis.

Absent: None.

Also Present: Planning Manager Leo Oorts, Planning Assistant Dominique Allen, Planning Assistant Austin Lujan, Planning Assistant Lee Garcia, Planning Associate Yolanda Gomez, Planning Associate Kevin Joe, Planning Manager Oscar Martinez, Plans Examiner Uykheang Keo, Associate Engineer Anthony Maatubang, Assistant Engineer Zach Fisher, Senior Fire Prevention Specialist Chris Rhodes, Deputy City Attorney Jennifer Guerrero, and Community Development Director Michelle Ramirez.

2. FLAG SALUTE

Commissioner Anunson led the Pledge of Allegiance.

3. REPORT OF THE COMMUNITY DEVELOPMENT STAFF ON THE POSTING OF THE AGENDA

Planning Manager Oorts stated that the agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City's Website on Friday, January 31, 2025.

4. ANNOUNCEMENT OF WITHDRAWN, DEFERRED, AND/OR SUPPLEMENTAL ITEMS

Planning Manager Oorts reported (1) Supplemental Item for Item 8C.

5. ORAL COMMUNICATIONS

A member of the public spoke.

6. CONSENT CALENDAR

6A. APPROVAL OF MINUTES: JULY 24, 2024, AUGUST 7, 2024, AND AUGUST 21, 2024.

MOTION: Commissioner Anunson moved to approve the July 24, 2024, August 7, 2024, and August 21, 2024, minutes. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

7. ADMINISTRATIVE MATTERS

7A. COMMUNITY DEVELOPMENT – CONSIDER APPROVAL OF EXT25-00001: RAR2 – DEL AMO CROSSING, LLC

Recommendation of the Community Development Director that Planning Commission consider approval of a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for the development of a new 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the southwest portion of the Del Amo Financial Center site. This project is covered by the commonsense exemption per CEQA Guidelines Section 15061(b)(3). (Res. No. 25-009)

Planning Assistant Garcia presented Item 7A.

MOTION: Commissioner Yeh moved to consider the time extension of Division of Lot (DIV22-00001) and approve Time Extension EXT25-00001. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

RESOLUTION: Planning Assistant Garcia read the title of Resolution Number 25-009, a Resolution of the Planning Commission of the City of Torrance, California, approving a Time Extension for a previously approved Division of Lot (DIV22-00001) to merge two parcels into one for a 200-unit apartment complex and parking structure, on property located in the H-DA1 Zone at the northeast corner of Carson Street and Del Amo Circle Drive.

MOTION: Commissioner Borgialli moved to adopt Resolution Number 25-009. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

8. HEARINGS

8A. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF MOD24-00008, DVP24-00003: MCDONALD’S USA LLC

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Modification of a previously approved Conditional Use Permit (CUP84-49) in conjunction with a Development Permit to allow the demolition of an existing drive through restaurant and the construction of a new drive through restaurant, on property located in the H-PR Zone at 19009 Hawthorne Boulevard. This project is Categorically Exempt from CEQA per Guidelines Section 15302 – Replacement or Reconstruction. (Res. Nos. 25-002, 25-003)

Planning Assistant Allen presented Item 8A.

Carlos Madrigal, Construction Manager with McDonald’s, spoke on the project.

Mr. Madrigal stated the project consisted of remodeling the restaurant to be more modern and improve traffic circulation. Mr. Madrigal stated that Conditions had been reviewed and that there was an inquiry on Condition 16.

No members of the public spoke.

Commissioner Riggs disclosed that he visited the location.

Commissioner Yeh inquired on ADA and EV parking, requesting clarifications. Community Development Director Ramirez replied that an EV space can count as an ADA space.

Chair Kartsonis disclosed that he visited the location and will base decisions on evidence presented and personal observations.

Chair Kartsonis inquired if the applicant agreed to Conditions 23 and 30. Mr. Madrigal confirmed.

Chair Kartsonis inquired if there were noise complaints reported. Planning Manager Oorts replied that staff researched code enforcement complaints and that there were none found.

Chair Kartsonis inquired on Condition 16. Planning Manager Oorts provided clarifications, stating that the proposed spike strips would deter drivers from entering the northwest point. Mr. Madrigal stated that he understood the reasoning for Condition 16 but expressed concerns on potential lawsuits and safety issues. Mr. Madrigal requested that he and his team work with staff to find a different solution.

Community Development Director Ramirez stated that Condition 16 is proposed for safety and prevention of queuing and idling in the alley. Community Development Director Ramirez noted that it is within the Commission's discretion to reword the Condition to have the applicant work with staff to the Community Development Director's satisfaction.

MOTION: Commissioner Borgialli moved to close the public hearing. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

MOTION: Commissioner Obejas moved to approve MOD24-00008 and DVP24-00003 with the modifications for Condition 16 where the wording "spike strip" is taken out and replaced with "traffic control measures". Commissioner Riggs seconded the motion; a roll call vote reflected 7-0 approval.

RESOLUTION: Planning Assistant Allen read the title of Resolution Number 25-002, a Resolution of the Planning Commission of the City of Torrance, California, approving a Modification of a previously approved Conditional Use Permit (CUP84-49) as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code, in conjunction with a Development Permit to allow the demolition of existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard.

RESOLUTION: Planning Assistant Allen read the title of Resolution Number 25-003, a Resolution of the Planning Commission of the City of Torrance, California, approving a Development Permit as provided for in Division 9, Chapter 2, Article 36 of the Torrance Municipal Code, in conjunction with a Modification of a previously approved Conditional Use Permit (CUP84-49) to allow the demolition of existing restaurant building with drive through lane and the construction of a new restaurant building with drive through lane, on property located in the H-PR Zone at 19009 Hawthorne Boulevard.

MOTION: Commissioner Obejas moved to adopt Resolution Numbers 25-002 and 25-003. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

8B. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF PRE24-00013: ROBERT RIBLETT (AMY THOMSON)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Precise Plan of Development to allow two-story additions to an existing two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via la Selva. This project is Categorically Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-007).

Planning Assistant Lujan presented Item 8B.

Robert Riblett spoke on the project, a one-level house over an underground garage. Mr. Riblett noted that the residence is a two-story building per Planning Code.

Mr. Riblett stated that the project consisted of a small addition at the entryway under an existing roof (300 square feet), addition of decks, and replacement of doors and windows.

Mr. Riblett noted that the neighbor at the rear of the home requested that the trees be trimmed, to which the applicant obliged. There were no further objections from neighbors.

No members of the public spoke.

Chair Kartsonis disclosed that he visited the site and will base decisions on evidence presented and personal observations.

MOTION: Commissioner Obejas moved to close the public hearing. Commissioner Borgialli seconded the motion; a roll call vote reflected 7-0 approval.

MOTION: Commissioner Obejas moved to approve PRE24-00013. Commissioner Yeh seconded the motion; a roll call vote reflected 7-0 approval.

RESOLUTION: Planning Assistant Lujan read the title of Resolution Number 25-007, a Resolution of the Planning Commission of the City of Torrance, California, approving a Precise Plan of Development as provided for in Division 9, Chapter 1, Article 41 of the Torrance Municipal Code to allow two-story additions to an existing two-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 432 Via la Selva.

MOTION: Commissioner Borgialli moved to adopt Resolution Number 25-007. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

8C. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF PRE24-00014: LOERA DESIGNS (DONALD A. JR. AND RANDI YOUNG)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider approval of a Precise Plan of Development to allow one-story additions and remodeling to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 634 Via Los Miradores. This project is Categorical Exempt from CEQA per Guidelines Section 15301 – Existing Facilities. (Res. Nos. 25-008)

Commissioner Anunson disclosed that he lives close to the project, and due to potential financial effects, recused himself at 7:31 p.m.

Commissioner Borgialli disclosed that he knows the Young family but has not seen them in approximately 10 years; Commissioner Borgialli stated that due to this, he can be fair and impartial in making decisions based on the facts provided.

Commissioner Obejas disclosed that he knows the Young family, and after speaking with the City Attorney for guidance, will recuse himself to avoid any conflicts. Commissioner Obejas recused himself at 7:31 p.m.

RECESS: 7:31 p.m.

RECONVENED: 7:39 p.m.

ROLL CALL: A roll call reflected the return of the Commission with Commissioners Anunson and Obejas recused.

Planning Manager Oorts noted that a member of the public provided a document for the Commission's consideration.

Planning Associate Gomez presented Item 8C.

Allen Loera with Loera Designs spoke on the project, an existing home with an unpermitted attic. Mr. Loera stated that the project consists of getting rid of the loft, squaring off the gables, adding a trellis in the rear, and providing a foundation for the garage that matches the rest of the residence.

Nathaniel Chadbourn stated that he's directly below the project. He stated that he supports his neighbor's right to remodel, but expressed concerns on view, light, air, and hillside integrity.

Jeff Amberg stated that he lives directly above the project. Mr. Amberg stated that the Hillside Overlay guidelines used to be strict, and that staff noted that impacts would be insignificant. Mr. Amberg expressed concerns on loss of views.

Charles Atkinson stated that he lives behind the project and expressed concerns on loss of ocean and city views. He requested that the trellis be removed as it impacts his views.

Kurt Anton expressed concerns of loss of ocean and city views. He requested that the trellis be removed and that the side of the house be adjusted so that his ocean and city views are not impacted.

Elizabeth Spatz stated that she visited the property and met with neighbors. She stated that the concerns regarding loss of views were not insignificant and deserve to be discussed and requested that the Item be continued to a later date to allow residents to devise a plan that works for all.

Hailey Amberg stated expressed concerns on loss of views.

Planning Manager Oorts clarified that during the review, the applicant is proposing to maintain portions of the existing residence that were constructed by the previous owners without a permit. Staff reviewed the plan and ensured that the proposed plans meet current development standards in the R-1 Zone. So long as the proposed residence including areas constructed without a permit comply with current standards, this gives the applicant the opportunity to bring all areas up to Code.

Planning Manager Oorts clarified that the unpermitted attic additions did not increase or change the ridgeline of the existing residence. Planning Associate Gomez confirmed, stating that the existing ridgelines across the center of the highest point has existed since 1954; the front lower areas are unpermitted at less than 14'.

Nathaniel Chadbourn stated that the applicant is moving the entire westside of the house and moving the property 5' closer to his property. He expressed concerns on privacy due to the proposed wraparound deck and the first-floor windows being higher and larger.

RECESS: 8:48 p.m.

RETURN: 8:54 p.m.

ROLL CALL: A roll call reflected the return of the Commission with Commissioners Anunson and Obejas recused.

Chair Kartsonis requested clarification.

Planning Manager Oorts stated the two proposed revisions, the first lowering the topmost ridgeline approximately three feet along the east portion to a maximum height of 14'; and removing the pergola. He stated staff could amend the resolution by revising the conditions of approval.

Chair Kartsonis stated the applicant is seeking a decision tonight by offering these concessions. He stated the east side would be lowered to 14' and questioned if the west side ridgeline would be extended out to the full height.

Mr. Loera stated that the west side is shown higher than 14' on the elevation, it will be kept lower than 14'.

In response to Chair Kartsonis query if they would be keeping both the east and west side below 14', Mr. Loera stated yes.

Planning Manager Oorts stated staff would continue to recommend approval with the noted concessions.

Mr. Loera agreed with Chair Kartsonis' clarification that the applicant is seeking a decision at this meeting with the concessions stated that no part of the project is above 14' and the pergola will be removed.

MOTION: Commissioner Borgialli moved to close the public hearing. Commissioner Turner seconded the motion; a roll call vote reflected 5-0 approval (Commissioners Anunson and Obejas recused).

Chair Kartsonis requested that the revised Conditions be read before a motion was made. Planning Associated Gomez read the revised Conditions:

- Condition 3 – maximum height of the additions at the highest point of roof shall not exceed a height of 14'.
- Condition 4 – the final height of the structure shall be certified by a licensed surveyor / engineer prior to request of framing and shall not exceed a height of the highest ridge.
- Condition 6 – pergola to be removed from the project.

MOTION: Commissioner Turner moved to approve PRE24-00014 based on revisions from the Planning Commission with amendments as referenced by staff (Conditions 3, 4, and 6). Commissioner Borgialli seconded the motion; a roll call vote reflected 5-0 approval (Commissioners Anunson and Riggs recused).

RESOLUTION: Planning Assistant Allen read the title of Resolution Number 25-008, a Resolution of the Planning Commission of the City of Torrance, California, approving a Precise Plan of Development as provided for in Division 9, Chapter 1, Article 41 of the Torrance Municipal Code to allow one-story additions and remodeling to an existing one-story single family residence on property located in the Hillside Overlay in the R-1 Zone at 634 Via Los Miradores.

MOTION: Commissioner Turner moved to adopt Resolution Number 25-008 with revisions to Conditions 3, 4 and 6 to the satisfaction of the Community Development Director. Commissioner Borgialli seconded the motion; a roll call vote reflected 5-0 approval (Commissioners Anunson and Obejas recused).

RECESS: 9:31 p.m.

RECONVENED: 9:36 p.m.

Commissioners Anunson and Obejas returned to the Commission at 9:36 p.m.

ROLL CALL: A roll call reflected the return of the entire Commission.

8D. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF LUS24-00005: CITY OF TORRANCE (TARGET DENSITY)

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of proposed amendments to the Torrance Municipal

Code pertaining to Target Density for all zoning districts which allow residential or mixed-use development. This project is exempt from CEQA pursuant to CEQA Guidelines Section 15162 – Subsequent EIRs and Negative Declarations (a)(3).

Planning Associate Joe presented Item 8D.

Planning Associate Joe stated that Item 8D and 8E are components of the Housing Element that was adopted in 2022; the Ordinance will add a new section, Target Residential Density, to the Torrance Municipal Code. The target density will help the City provide adequate sites to accommodate the Regional Housing Needs Allocation (“RHNA”).

Commissioner Borgialli inquired if there would be another Negative Declaration for review. Planning Associate Joe replied that there would not be another Negative Declaration review as there are no circumstances that are changing that would create environmental impacts to warrant a new finding / a new Negative Declaration.

Community Development Director clarified that the City has to show the land available to be able to produce the housing units and show efforts of implementing all programs outlined in Housing Element to make housing easier to develop with the City. The City is trying to reach the RHNA numbers and staff is working diligently towards the goal.

Elizabeth Spatz stated the RHNA numbers were ridiculous. She inquired on the 50% capacity to allow the project to go forward. Planning Manager Martinez replied that he was unaware of any 50% target but is aware of the upcoming 2026-2027 RHNA cycle that staff is currently preparing for.

MOTION: Commissioner Turner moved to close the public hearing. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

MOTION: Commissioner Turner moved to recommend Land Use Study LUS24-00005 be modified to eliminate the downtown mixed-use and amend the Torrance Municipal Code as directed in the report. Commissioner Borgialli seconded the motion; a roll call vote reflected 7-0 approval.

8E. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF LUS24-00006: CITY OF TORRANCE (RELIGIOUS INSTITUTION HOUSING OVERLAY ZONE)

Recommendation of the Community Development Director that Planning Commission conduct a workshop to introduce proposed amendments to the Torrance Municipal Code pertaining to Religious Institution Housing Overlay Zone. This item is exempt from the California Environmental Quality Act pursuant to CEQA Guidelines 15162 – Subsequent EIRs and Negative Declarations (a)(3).

Chair Kartsonis disclosed that he lives greater than 500’ but less than 1000’ from one of the properties listed in the Item, and after discussions with the City Attorney’s office, a determination was made that there would be no conflict of interest.

Planning Associate Joe presented Item 8E, stating that the Religious Institution Housing Overlay Zone is a program within the Housing Element update adopted in 2022 to help provide adequate sites to fulfill the City’s RHNA obligation. The draft Ordinance is being presented to allow the Commission time to review prior to discussing the matter on Wednesday, February 19, 2025.

Planning Associate Joe stated that the Overlay would allow housing uses with a maximum density of 31 dwelling per acre. Development under the Religious Institution Housing Overlay is voluntary and underlying zoning will still apply.

No members of the public spoke.

MOTION: Commissioner Borgialli moved to close the public hearing. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

9. **RESOLUTIONS** - None.

10. **COMMISSION ORAL COMMUNICATIONS**

Chair Kartsonis stated that he will not be attending the Wednesday, March 5, 2025, meeting.

Planning Associate Joe announced that the City has begun the process of updating the General Land Use Element and Safety Element to better support housing goals and become more resilient to future hazards. Interested members of the public can learn more and provide input at a community workshop held on Thursday, February 20, 2025, at 6:30 p.m. at the Katy Geissert Library Meeting Room and on Tuesday, February 25, 2025, at the City information booth at the Torrance Farmers' Market at Wilson Park. Additional input and information can be found on the Community Development Department Land Use Element and Safety Element webpage or individuals can contact staff at (310) 618-5990 or cddinfo@torranceca.gov.

11. **ADJOURNMENT**

MOTION: At 10:30 p.m., Commissioner Obejas moved to adjourn the meeting to Wednesday, February 19, 2025, at 6:30 p.m. in the Council Chambers. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

AGENDA ITEM NO. 7A

DATE: July 16, 2025
TO: Planning Commission
FROM: Robert Garcia, Planning Manager
SUBJECT: Appointment of Chair and Vice Chair

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission appoint a Commissioner to serve as Chair and a Commissioner to serve as Vice Chair for a one-year term covering Fiscal Year (FY) 2025-26.

DISCUSSION

In accordance with Torrance Municipal Code Section 13.1.5, at the first meeting of every fiscal year, the Planning Commission is required to appoint a member to serve as Chair for a one-year term until their successor is appointed, and in practice the Planning Commission also appoints a member to serve as Vice Chair for a one-year term until their successor is appointed. For FY 2024-25, Commissioner Kartsonis was appointed to serve as Chair and Commissioner Yeh was appointed to serve as Vice Chair by the Planning Commission.

In past practice, the Planning Commission has nominated members with the longest tenure and that have not served in these positions; however, there are no established rules governing who may be nominated and there are no term limits. Staff notes that Commissioner Anunson and Commissioner Kartsonis have both served as Chair and Vice Chair, and Commissioner Yeh has served as Vice Chair in past years.

Provided below are the Commissioner appointment dates sorted by last name in alphabetical order.

Commissioner	First Appointed	Current Term
Greg Anunson	06/11/2019	07/01/2023 – 06/30/2027
Dominic Borgialli	07/02/2024	07/01/2025 – 06/30/2029
David Kartsonis (Chair)	11/17/2020	07/01/2025 – 06/30/2029
Mario Obejas	07/02/2024	07/01/2024 – 06/30/2028
Ron Riggs	08/09/2022	07/01/2023 – 06/30/2027
Megan Turner	01/23/2024	07/01/2024 – 06/30/2028
Tony Yeh (Vice Chair)	06/14/2022	07/01/2022 – 06/30/2026

AGENDA ITEM NO. 8A

DATE: July 16, 2025

TO: Planning Commission

FROM: Natalie Niemeyer, Planning Associate

SUBJECT: 19840 Pioneer Avenue
19200 Hawthorne Boulevard
Division of Lot (DIV24-00002)

Consideration of DIV24-00002 to allow a Lot Line Adjustment between two properties located in the Heavy Manufacturing Zone at 19840 Pioneer Avenue (APN 7352-019-060) and 19200 Hawthorne Boulevard (APN 7352-001-029).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 24-057 for approval of DIV24-00002 to allow a Lot Line Adjustment between two properties located in the Heavy Manufacturing Zone at 19840 Pioneer Avenue and 19200 Hawthorne Boulevard, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations).

EXECUTIVE SUMMARY

The project applicant, Jacob Glaze (Hager Pacific Acquisitions LLC and SOS Storage-Torrance, LLC), requests approval by the Planning Commission to allow a Lot Line Adjustment between two properties located in the Heavy Manufacturing (M-2) Zone at 19840 Pioneer Avenue and 19200 Hawthorne Boulevard.

The development standards of the M-2 Zone, and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Division of Lot (DIV) to allow a Lot Line Adjustment.

Staff has thoroughly reviewed the project and determined the project is consistent with the Industrial Business Park (I-BP) land use designation and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

General Plan Land Use Designation

The properties have a General Plan land use designation of Industrial Business Park (I-BP), which allows a maximum Floor Area Ratio of 0.6. The designation allows business park development with single or multiple tenants that incorporate industrial, office, and compatible commercial uses. Light industrial activities are limited to the interiors of structures. The proposed Lot Line Adjustment between two lots is consistent with the I-BP designation.

Zoning Designation and Adjacent Land Uses

The subject properties are designated as M-2 Zone (Attachment 2). The surrounding parcels in the immediate area share the same zoning designation, other than those along Hawthorne Boulevard,

which are designated as Hawthorne Boulevard Corridor Specific Plan, Promenade Sub-district (H-PR).

NORTH: M-2 Industrial, Sump, Railroad
SOUTH: M-2 Industrial, Hotel
EAST: M-2 Sump, Vacant, Railroad
WEST: M-2 Industrial

Project Area

The subject Lot Line Adjustment is located at the north end of the Pioneer Avenue cul de sac, north of Challenger Street. 19200 Hawthorne Boulevard, referenced as Lot 1 in the Lot Line Adjustment Exhibit (Attachment 5), is located at the northwest end of the Pioneer Avenue cul de sac, and extends across to Hawthorne Boulevard. 19840 Pioneer Avenue, referenced as Lot 2, encompasses the entire east side of that section of Pioneer Avenue, as well as north of the cul de sac.

19200 Hawthorne Boulevard is developed with heavy manufacturing/industrial operations and 19840 Pioneer Avenue is developed as self-storage. The project area is surrounded mostly by other industrial uses, including the properties to the west, southwest, north, and northeast. Other uses include a hotel to the south, a sump to the north, and vacant land to the east (across Prairie Avenue).

Lot Line Adjustment

The subject request proposes to alter the existing boundary line between the subject properties. The existing boundary line runs north to south. The proposed Lot Line Adjustment will shift the north end of the boundary westerly approximately 41', then jog southerly for approximately 48', then slants southeasterly for approximately 92', thus shifting the south end of the existing boundary easterly approximately 61' along a curve.

The irregularly shaped Lot Line Adjustment is intended to accommodate a future driveway and access from Pioneer Avenue into 19200 Hawthorne Boulevard, while keeping the parcels relatively the same size. 19200 Hawthorne Boulevard is currently approximately 28.46 acres and 19840 Pioneer Avenue is approximately 4.18 acres. With the Lot Line Adjustment, the resulting lot size for 19200 Hawthorne Boulevard is approximately 28.23 acres and 4.24 acres for 19840 Pioneer Avenue. This results in a 0.8% size difference for 19200 Hawthorne and a 1.4% size difference for 19840 Pioneer Avenue. The M-2 Zone does not have a minimum lot area requirement.

Site Improvements

The subject request does not include physical modifications or improvements. The previously mentioned future driveway is not part of the project and will be reviewed at such time it is brought forth to the City.

Environmental Determination

Minor lot line adjustments not resulting in the creation of any new parcel are Categorical Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15305 (Minor Alterations).

CONCLUSION

The DIV24-00002 request is consistent with the subdivision regulations of the TMC. In the judgment of staff, the proposed Lot Line Adjustment is consistent with existing improvements and will remain compatible with the prevailing land use pattern of the surrounding area. The project area will not be significantly impacted by the proposed parcel boundary adjustment, nor does the project affect existing uses or intensity of uses. Based on the findings of this report and set forth in the attached Resolution, staff recommends approval of the request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 4). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 3, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with TMC, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 24-057
2. Location and Zoning Map
3. Project Justification from Applicant
4. Code Requirements
5. Map Exhibits

STAFF CONTACT

Natalie Niemeyer, Planning Associate
NNiemeyer@TorranceCA.gov

ITEM 8A
ATTACHMENT 1
RESOLUTION 24-057

PLANNING COMMISSION RESOLUTION NO. 24-057

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A LOT LINE ADJUSTMENT BETWEEN TWO PROPERTIES LOCATED IN THE HEAVY MANUFACTURING ZONE AT 19840 PIONEER AVENUE AND 19200 HAWTHORNE BOULEVARD.

DIV24-00002: JACOB GLAZE (HAGER PACIFIC ACQUISITIONS LLC AND SOS STORAGE-TORRANCE, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 16th, 2025, to consider an application for a Division of Lot (DIV24-00002) filed by Jacob Glaze (Hager Pacific Acquisitions LLC and SOS Storage-Torrance, LLC) to allow a Lot Line Adjustment between two properties located in the Heavy Manufacturing Zone at 19840 Pioneer Avenue (7352-019-060) and 19200 Hawthorne Boulevard (7352-001-029); and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code (TMC); and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties for DIV24-00002 are located at 19840 Pioneer Avenue and 19200 Hawthorne Boulevard;
- b) That the properties are identified as APNs 7352-019-060 and 7352-001-029;
- c) That the Lot Line Adjustment is consistent with the Heavy Manufacturing (M-2) Zone and Industrial Business Park (I-BP) General Plan designation;
- d) That the resulting parcels are physically suitable for the existing uses as the Lot Line Adjustment does not change the existing zoning or land use designation, nor affect the existing uses or intensity of uses. Furthermore, the resulting parcels will remain consistent with the development pattern of the area;
- e) That the Lot Line Adjustment will not interfere with the orderly development of the City and will be compatible with the prevailing land use pattern as the resulting parcels will remain relatively the same size. Additionally, the M-2 Zone does not have a minimum lot size requirement;
- f) That the Lot Line Adjustment will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as the project has been determined to be Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15305;
- g) That the Lot Line Adjustment is consistent with the City's Zoning because the existing and current uses are allowed within the M-2 Zone and will not change as part of the request;

- h) That DIV24-00002 will not cause serious public health problems as the Lot Line Adjustment, as conditioned, will not produce any or all of the following results:
- Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.
- i) That the Lot Line Adjustment will not conflict with any public access or easements.

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** DIV24-00002, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that DIV24-00002 filed by Jacob Glaze (Hager Pacific Acquisitions LLC and SOS Storage-Torrance, LLC) to allow a Lot Line Adjustment between two properties located in the M-2 Zone at 19840 Pioneer Avenue and 19200 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the Lot Line Adjustment of the subject properties shall be subject to all conditions imposed in DIV24-00002; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this Division of Lot or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)”
3. That if DIV24-00002 is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1; and

4. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of July 2025.

ATTEST:

Secretary, Torrance Planning Commission

Chairman, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, ROBERT GARCIA Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of July 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

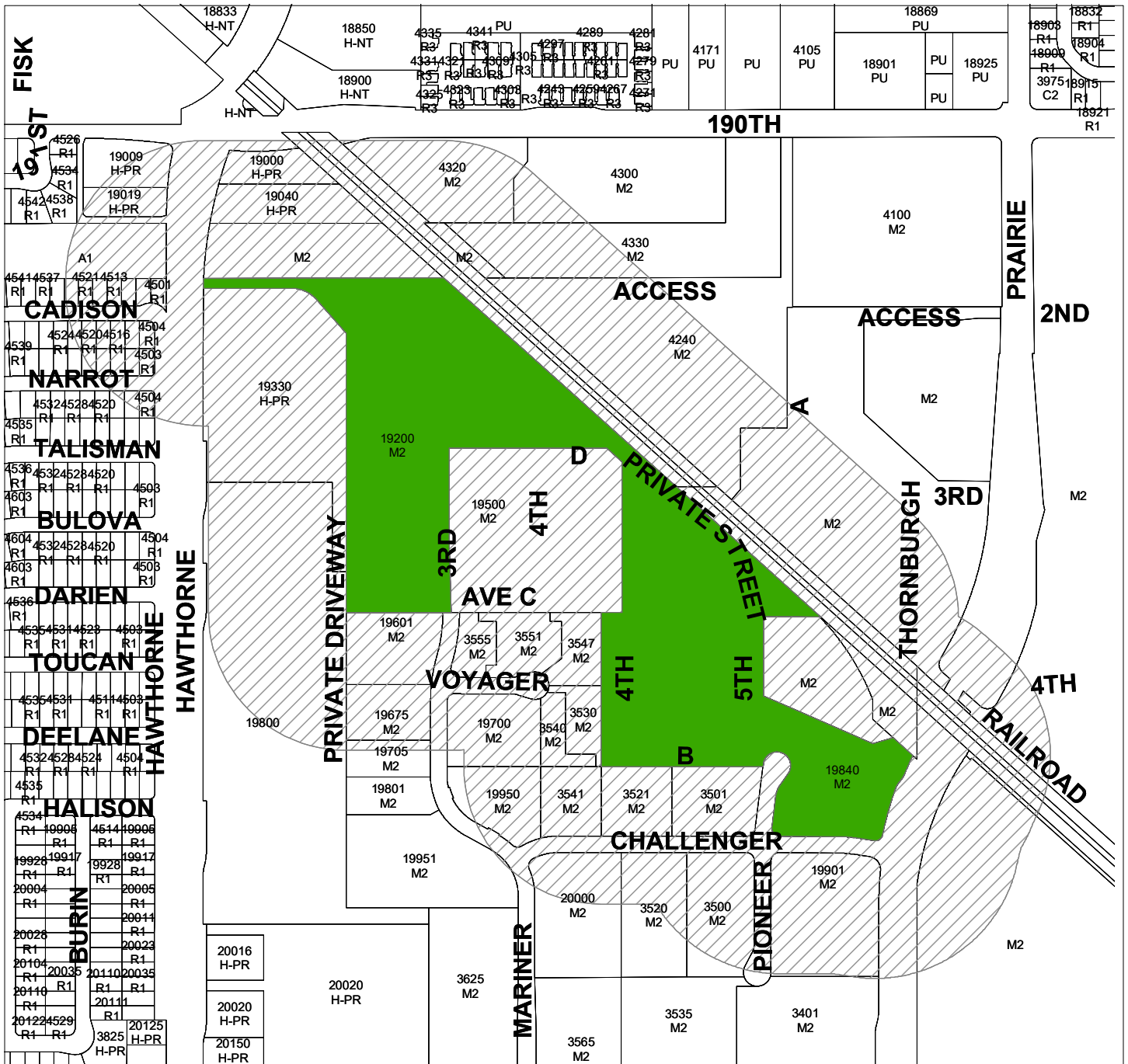
ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A
ATTACHMENT 2

LOCATION AND ZONING MAP



LOCATION AND ZONING MAP

DIV24-00002
 19840 Pioneer Ave
 19200 Hawthorne Blvd



LEGEND

- Subject Parcels
- Notification Area



ITEM 8A
ATTACHMENT 3

PROJECT JUSTIFICATION FROM APPLICANT

19840 Pioneer Application – Lot Line Adjustment Findings

APPLICANT: Jacob Glaze (Kimley-Horn)

PURPOSE OF APPLICATION: Request for approval of a Lot Line Adjustment (LLA)

LOCATION: 19200 Pioneer Avenue (APN: 7352-001-029) and 19840 Pioneer Avenue (APN: 7352-019-060)

GENERAL PLAN DESIGNATION: I-BP (Industrial - Business Park)

ZONING: M2 - Heavy Industrial

ADJACENT ZONING AND LAND USE:

DIRECITON:	GENERAL PLAN LAND USE	ZONING
North	General Commercial Public/ Quasi-Public/ OS Light Industrial	M2 - Heavy Industrial H-PR M2 - Heavy Industrial
South	Business Park	M2- Heavy Industrial
East	Light Industrial	M2- Heavy Industrial
West	General Commercial	M2- Heavy Industrial

COMPLIANCE WITH GENERAL PLAN: The subject property has a General Plan Land Use designation of Industrial Business Park (I-BP), which provides for the development of multiple uses including industrial with an intensity of up to 0.6 Floor Area Ratio (FAR). Development is characteristics generally by a mixture of industrial and supporting uses.

The proposed Lot Line Adjustment will facilitate alter the boundary between two (2) parcels, and reconfigure the shapes of parcels, which is consistent with the General Plan intensity and under the maximum FAR and development standards with no lot area requirements.

EXISTING IMPROVEMENTS AND/OR NATURAL FEATURES: The subject property is currently developed with industrial uses including manufacturing and self-storage operations.

ENVIRONMENTAL FINDINGS: Minor lot line adjustments not resulting in the creation of any new parcel are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Class 5, Section 15305.

BACKGROUND AND ANALYSIS:

The subject property is located in an M-2 zone in northwest Torrance located at 19200 Pioneer Avenue (APN: 7352-001-029) and 19840 Pioneer Avenue (APN: 7352-019-060) as depicted in **Figure 1, Site Location**. Currently, parcel 7352-001-029, is approximately 28.46 acres and developed with industrial operations while parcel 7352-019-060 is approximately 4.18 acres and developed as self-storage.



Figure 1. Site Location

The Applicant is requesting the completion of a Lot Line Adjustment between parcels 7352-001-029 and 7352-019-060 to allow for contiguous development of proposed projects as described in Figure 2, Lot 1 LLA Exhibit and Figure 3, Lot 2 LLA Exhibit.

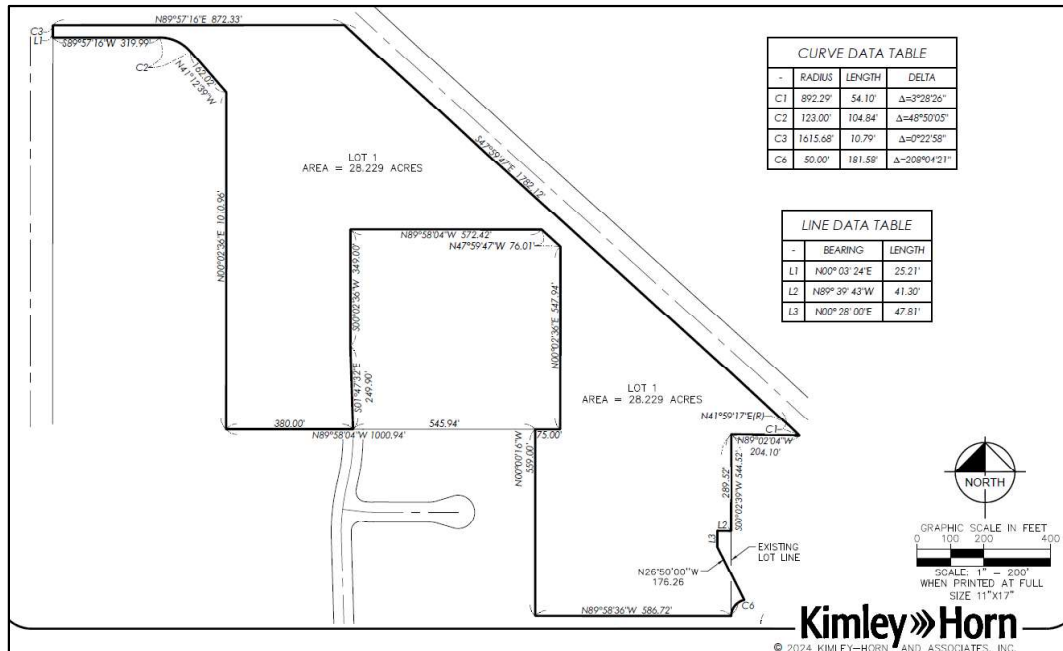


Figure 2. Lot 1 LLA Exhibit

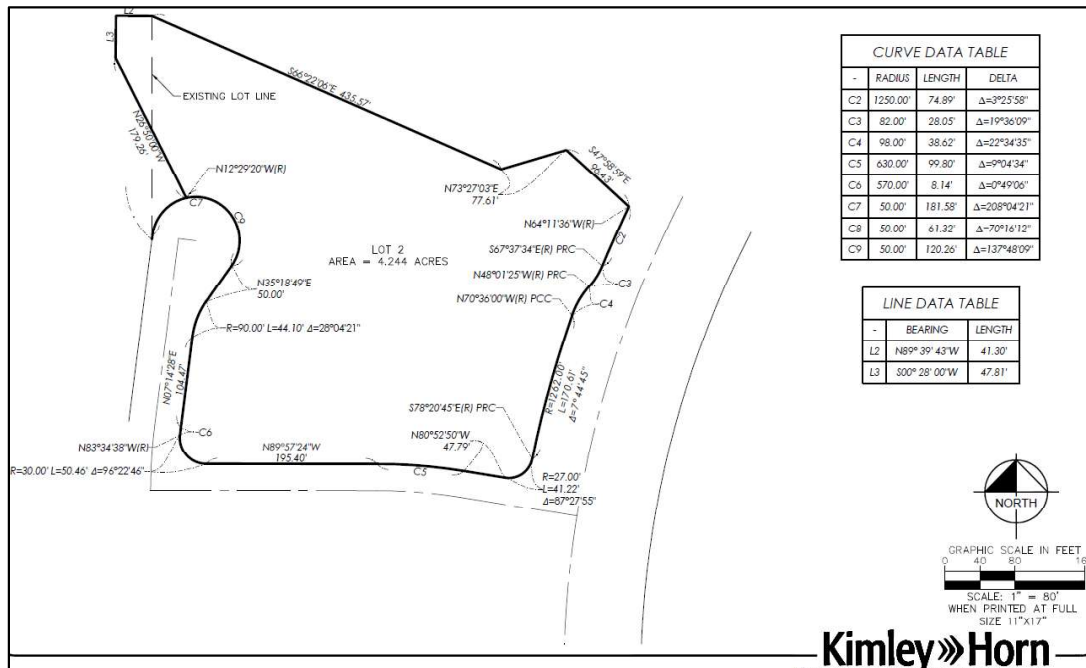


Figure 3. Lot 2 LLA Exhibit

The required findings are supported for the reasons set forth below.

Required Findings:

A legislative body of a city or county shall approve/deny approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:

1. That the proposed map is consistent with applicable general and specific plans as specified in Section 65451. That the design or improvement of the proposed subdivision is consistent with applicable general and specific plans.

The properties for the Division of Lots through a Lot Line Adjustment as described as 19200 Pioneer Avenue and 19840 Pioneer Avenue 7352-019-060, and identified as assessor's parcel numbers: 7352-001-029 and 7352-019-060.

Furthermore, the Lot Line Adjustment helps address I-BP goals of maximize compatibility with neighboring uses by creating connectivity between the lots, and creating more succinct access.

The Lot Line Adjustment is consistent with the City's Zoning because the existing and current uses are allowed within the M-2 Zone and will not change as part of the request.

2. That the site is physically suitable for the type of development.

Based on the action for the Lot Line Adjustment, the lots meet the minimum lot size governed by TMC 91.31.3, which denotes no minimum lot area requirements.

3. That the site is physically suitable for the proposed intensity of development.

Both of the abovementioned parcels have the same General Plan Land Use Designation and Zoning of Industrial Business Park (I-BP) and Heavy Industrial (M-2) with a maximum density of 0.6 Floor Area Ratio (FAR). The resulting parcels are physically suitable for the existing uses and intensity as the parcels are consistent with the development pattern in the area and zoning.

4. That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Additionally, the action is Categorical Exempted by the Guidelines for Implementation of the California Environmental Quality Act; Article 19, Class 5, Section 15305.

Class 5 includes only minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes in land use or density, including but not limited to:

- (a) Minor lot line adjustments, side yard, and set back variances not resulting in the creation of any new parcel;
- (b) Issuance of minor encroachment permits;
- (c) Reversion to acreage in accordance with the Subdivision Map Act.

5. That the design of the subdivision or type of improvements is not likely/is likely to cause serious public health problems.

The Division of Lot will not cause serious public health problems as the Lot Line Adjustment, as conditioned, will not produce any or all of the following results:

- Damage or nuisance from noise, smoke, odor, dust or vibration,
- Hazard from explosion, contamination or fire,
- Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

6. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

Easements will be maintained and created for Pioneer Avenue to ensure appropriate ingress and egress based on the Lot Line Adjustment as separate site improvement plans are concurrently being processed for Pioneer Avenue at 19500 Mariner Avenue. Based on the driveway additions, the Lot Line Adjustment will not conflict with any public access, which will be maintained.

Conclusion

Based on the foregoing, the Applicant believes there is sufficient justification for a determination by the Planning Commission that the Lot Line Adjustment of the subject parcels in the manner proposed is consistent with the Zoning code and General Plan.

ITEM 8A
ATTACHMENT 4
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

ENGINEERING

1. Provide evidence of reciprocal cross access easement for ingress and egress between the adjacent properties.
2. Provide recorded easement(s) for existing City storm drain crossing the two lots. The recorded easement(s) shall reference adjusted lot line if necessary.

ITEM 8A
ATTACHMENT 5

MAP EXHIBITS

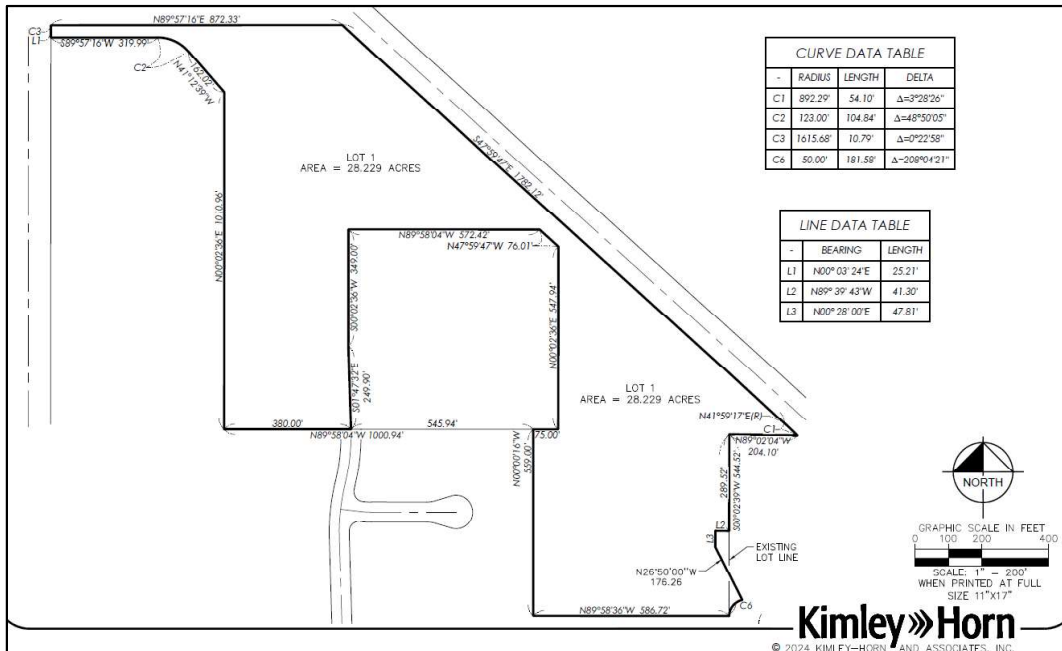


Figure 2. Lot 1 LLA Exhibit

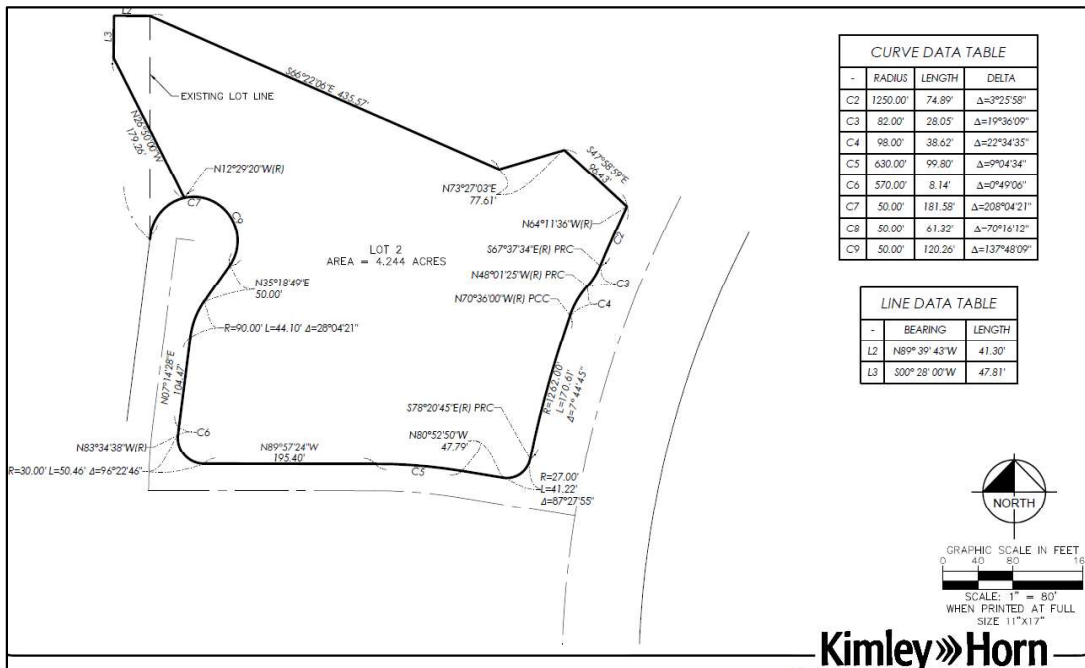


Figure 3. Lot 2 LLA Exhibit

AGENDA ITEM NO. 8B

DATE: July 16, 2025

TO: Planning Commission

FROM: Luis E. Velazquez, Planning Associate

SUBJECT: 4111 Pacific Coast Highway
Conditional Use Permit (CUP25-00010)

Consideration of Conditional Use Permit (CUP25-00010) to allow and restore operation of a hotel use, on property located in the General Commercial District (C-2) Zone at 4111 Pacific Coast Highway (APN 7529-019-003).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 25-041 for CUP25-00010 to allow and restore operation of a hotel, on property located in the C-2 Zone , and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, MC Torrance LLC, requests approval by the Planning Commission to allow and restore operation of a hotel, on property located in the C-2 Zone at 4111 Pacific Coast Highway.

The development standards of the C-2 Zone, and the CUP section of the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- CUP to allow the operation and reconversion of a hotel.

Staff has reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

General Plan Land Use Designation

The project site has a General Plan land use designation of C-GEN, which is intended as an area for wide range of commercial, retail and service uses as well as mixed-use commercial and residential development.

The proposed hotel use is conditionally permitted and is consistent with the C-GEN land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as C-2 Zone and bounded by parcels that share the same zoning designation. The adjacent land uses consist of multi-family residential development to the north, a church to the south, and commercial centers to both the east and west.

NORTH:	C-2	General Commercial District	Multi-family residential
SOUTH:	C-2	General Commercial District	Church
EAST:	C-2	General Commercial District	Commercial Center
WEST:	C-2	General Commercial District	Commercial Center

Project Site

The subject property is an irregularly shaped, flat parcel located at the northeast corner of Pacific Coast Highway and Ladeene Avenue. The lot has approximately 190 feet of frontage along Pacific Coast Highway, 350 feet along Ladeene Avenue, and a total area of 72,578 square feet. The site is currently developed with a former hotel complex that includes a two to five-story 92-room hotel, a 5,405 square foot restaurant, a swimming pool, and 102 parking spaces. The site as developed allocated 56 parking spaces to the hotel and 46 parking spaces to the restaurant. Access to the parking lot is provided via one driveway along Pacific Coast Highway and two driveways along Ladeene Avenue. Additionally, a wireless telecommunications facility is mounted on the roof of the five-story tower.

The hotel and restaurant were originally constructed in 1962, prior to requirements for Conditional Use Permits or Planning Commission approval. Over the years there have been multiple entitlements related to the restaurant. In 2022, the site received approval for the conversion of the hotel into a 111-unit senior apartment complex, with 11 units designated for Very Low-Income households; however, the previous owner did not take any action or obtain permits to initiate the conversion, and the entitlements subsequently expired. As of July 2024, the property changed ownership. The new owner is now seeking to restore the site to hotel use, returning it to its original function. Because the original hotel use did not have any formal entitlements, staff has determined that the most appropriate course of action is to obtain a Conditional Use Permit to formally recognize and entitle the use moving forward.

Staff conducted a site visit on May 6, 2025, and noted that while the building, parking, and landscaping are in generally fair condition, several areas would benefit from maintenance. The parking lot striping is faded in some sections, and some parking wheel stops are missing or damaged. Vegetation along Ladeene Avenue is overgrown, encroaching onto the sidewalk and partially obstructing street signage. Trash and debris were also observed along the property perimeter and within landscaped areas. Additionally, a section of the perimeter fence is leaning and encroaches into the public sidewalk, creating a potential obstruction. Staff has included conditions of approval to ensure these issues are addressed.

Business Operation

The proposed hotel will operate as a Staybridge Suites, a franchise under the Intercontinental Hotel Group. The hotel is open 24 hours a day, seven days a week. It will undergo a phased renovation across four buildings on site, with upgrades to guest rooms, public areas, and building exteriors, all in accordance with franchise requirements and applicable City regulations. The project will be completed in two phases. Phase I includes renovation of the guest rooms and is scheduled for completion by December 2025 to allow the hotel to remain operational and maintain

projected revenues. Phase II consists of public areas, back of house spaces, and exterior elevations, and is expected to be completed by March 2026.

Hotel staffing during daytime hours will consist of approximately seven employees, including three room attendants, two front desk clerks, one part-time maintenance person, and one hotel manager. During overnight hours, staffing will be reduced to one front desk clerk.

Site security includes exterior cameras positioned at building entrances, the pool area, patios, and the parking lot. No on-site security personnel are anticipated. Deliveries are minimal and primarily consist of small sundry items delivered by vans under 24 feet in length. All laundry facilities are on-site, eliminating the need for linen delivery and pickup services. No designated loading area is required due to the limited and brief nature of delivery activities. An operational statement has been included as an attachment. (Attachment 3)

Conditional Use Permit Guidelines

Hotels and motels are conditionally permitted in the General Commercial District (C-2), Solely Commercial District (C-3), and Conditional Commercial District(C-5) zones and are subject to applicable ordinances, development standards, and any additional conditions as determined by the approval authority. In evaluating such applications, considerations include minimum lot frontage and setback, parking demand, and brand affiliation. The subject site meets the minimum 100-foot frontage and 20-foot setback requirements with approximately 190 feet along Pacific Coast Highway. A submitted parking analysis (Attachment 4) demonstrates sufficient on-site parking, with peak use at 52% occupancy. As previously mentioned, the proposed operation will be affiliated with Staybridge Suites, a nationally recognized hotel brand.

Site Plan and Parking

The applicant is not proposing any modifications to the existing site layout beyond general site maintenance, including landscaping improvements and restriping of the parking lot. The proposed renovation includes an increase in the number of hotel rooms from 92 to 95 and a reduction of one parking space to accommodate an EV accessible stall, resulting in a total of 101 on-site parking spaces. Staff notes that the project is not expanding the building footprint and will utilize existing floor area.

To evaluate parking demand, the applicant submitted a parking analysis (Attachment 4) that included empirical parking counts conducted on Tuesday, March 4, 2025 (weekday), and Saturday, March 8, 2025 (weekend). The highest observed demand occurred on Saturday evening, with 53 of the 101 available spaces occupied, reflecting a 52 percent utilization rate. Based on this data, a parking demand rate of 0.58 spaces per room was calculated. Applied to the proposed 95 room configuration, this rate results in a projected demand of approximately 55 spaces for the hotel use.

According to previous development records, 56 parking spaces were originally allocated for hotel use, and 46 for the on-site restaurant. With the removal of one space for the EV stall, 55 spaces remain available for hotel operations. This aligns with the observed parking demand and provides a reasonable basis for evaluating the adequacy of on-site parking. Additionally, staff confirms that there are no active Code Enforcement cases related to parking on the property.

According to TMC Section 93.2.15, the base parking requirement for hotels is up to 1.25 spaces per room, with the approval authority authorized to reduce the base rate based on project-specific factors such as size, range of services, and location. The applicant's parking analysis

demonstrates a parking demand rate of approximately 0.58 spaces per room. Given that the building footprint is not expanding and the hotel use remains unchanged, staff supports the proposed parking rate.

Units and Floor Plans

The hotel will undergo a full building renovation and rebranding into a Staybridge Suites. The site comprises four distinct buildings:

- **Building A**, located at the southern end of the site, is a single-story, wood-frame structure that operates as a stand-alone establishment, including a small lobby and porte-cochere.
- **Building B** is a two-story wood-frame building that houses 39 guest suites.
- **Building C** is a five-story concrete and block structure. Guest suites occupy floors two through five, while the first floor contains support uses such as a gym, lounge, and back-of-house operations. This building includes 32 guest suites.
- **Building D** is a three-story wood-frame building that contains 24 guest suites.

In total, the renovated hotel will consist of 95 guest suites, with a mix of one-bedroom, king, double-queen, and accessible units distributed across the four buildings. Renovations will comply with the InterContinental Hotel Group's franchise improvement plan as well as all applicable regulations. As noted in the operational statement, to maintain operational continuity, the applicant proposes a phased plan check process prioritizing guest room upgrades (Phase I), followed by public areas, back of house facilities, and exterior elevations (Phase II).

Environmental Determination

The operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible, or no expansion of use is Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

CONCLUSION

In the judgment of staff, the proposed request to allow and restore operation of a hotel use, as conditioned, is compatible with the existing and surrounding uses. The request aligns with the C-GEN land use designation, which allows a wide range of commercial, retail and service uses as well as mixed-use commercial and residential developments. Furthermore, the request complies with the development standards of the C-2 Zone. Given the site's location, scale of services, and the availability of dedicated parking spaces, staff finds this reduced parking demand rate appropriate and consistent with the Code's allowance for site specific adjustments. The parking spaces allocated to the hotel use adequately meet the operational needs without causing adverse parking impacts.

As such, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al. that are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the TMC, a notice for a public hearing was made no less than 10 calendar days before the Planning Commission meeting. This notice was also posted at the project site and mailed on June 5, 2025, to all registered property owners located within a 500' radius of the exterior boundaries of the project site. Additionally, a notice was published in the local newspaper (The Daily Breeze) and posted on the City of Torrance Planning Commission webpage.

RIGHT OF APPEAL

In accordance with TMC Section 95.1.7, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at [\(310\) 618-2870](tel:3106182870) or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at [\(310\) 618-5990](tel:3106185990).

ATTACHMENTS

1. Resolution No. 25-041
2. Location and Zoning Map
3. Operational Statement
4. Parking Analysis
5. Code Requirements
6. Project Plans

STAFF CONTACT

Luis E. Velazquez, Planning Associate
LVelazquez@TorranceCA.gov

ITEM 8B
ATTACHMENT 1
RESOLUTION NO. 25-041

PLANNING COMMISSION RESOLUTION NO. 25-041

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT (CUP25-00010) AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE (TMC) TO ALLOW AND RESTORE THE OPERATION OF A HOTEL, ON PROPERTY LOCATED IN THE GENERAL COMMERCIAL DISTRICT (C-2) ZONE AT 4111 PACIFIC COAST HIGHWAY.

CUP25-00010: MC-TORRANCE LLC

WHEREAS the Planning Commission of the City of Torrance conducted a public hearing on July 16, 2025, to consider an application filed by MC-Torrance LLC for CUP25-00010 to allow and restore the operation of a hotel, on property located in the C-2 Zone at 4111 Pacific Coast Highway; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code (TMC); and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 4111 Pacific Coast Highway (APN 7529-019-003);
- b) That the property is described as "MEADOW PARK TRACT LOT COM AT INTER- SECTION OF NE LINE OF PACIFIC COAST HWY PER HDM58-4 TO 6 WITH E LINE OF W 1/2 OF LOT 8 TH N ON SD E LINE 357.91 FT TH S 89°47'24" E 182.77 FT TH N 91.36 FT TH W 309.39 FT TH S ON E LINE OF LADEENE AVE AND SE ON SD NE LINE TO BEG PART OF LOT 8" as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the operation, permitting, leasing, licensing or minor alteration of an existing private structure involving negligible or no expansion of use is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed hotel operation, as conditioned, is conditionally permitted in the C-2 Zone and the project complies with all of the applicable provisions of the TMC as conditioned.
- e) That the proposed hotel operation, as conditioned, will not impair the integrity and character of the C-2 Zone because the proposed hotel is compatible with surrounding uses;
- f) That the subject site is physically suitable for a hotel operation, as conditioned, because it is being reconverted to its original hotel use;
- g) That the proposed hotel operation, as conditioned, will be compatible with existing and proposed future land uses within the C-2 Zone and the general area as the site historically operated as a hotel and remains consistent with nearby commercial activities;

- h) That the proposed hotel operation, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Commercial (C-GEN) land use designation if the General Plan;
- i) That the proposed hotel operation, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the proposed hotel operation is compatible with the existing uses and the planned future uses of the surrounding property;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed hotel operation, as conditioned, is not detrimental to public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed hotel operation, as conditioned, because the hotel shall maintain all existing pedestrian walkways and vehicular access points;
- l) That the location, size, design, and operating characteristics of the proposed hotel operation, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the C-2 Zone and is consistent with the C-GEN land use designation;
- m) That the proposed hotel operation, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

WHEREAS, the Planning Commission by the following roll call votes **APPROVED** CUP25-00010, subject to conditions:

AYES: COMMISSIONER:
 NOES: COMMISSIONER:
 ABSENT: COMMISSIONER:
 ABSTAIN: COMMISSIONER:

NOW, THEREFORE, BE IT RESOLVED that application filed by MC-Torrance LLC for approval of CUP25-00010 to allow and restore a hotel operation, on property located in the C-2 Zone at 4111 Pacific Coast Highway, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property shall be subject to all conditions imposed in CUP25-00010 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if CUP25-00010 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this CUP25-00010 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)
4. That the applicant shall obtain a building permit(s), to be processed in accordance with the TMC and standard procedures for review and approval, prior to the commencement of any demolitions, conversions, rehabilitation, remodeling, or other construction relating to the restoration, and ultimate use of the property for the project subject to this CUP; (Planning)
5. That all official construction plans for this project shall show pertinent CUP25-00010 conditions of approval; (Planning)
6. That color and material samples shall be submitted to the Planning Division for approval prior to any modifications of the exterior paint color, awnings or building finishes; (Planning)
7. That the applicant shall provide a site plan identifying parking space reserved for hotel guests, restaurant guests and employees. The site plan shall depict all parking stalls including size and width, drive aisle widths, pedestrian pathway locations and widths, driveway locations and width, and wheel stops; (Planning/Environmental)
8. That all existing and proposed mechanical, ventilation, ground, and roof-mounted equipment installed on the exterior of the building shall be screened from public view with materials compatible in color and texture with the building and shall be installed and located in a manner to minimize odor and noise to surrounding uses, to the satisfaction of the Community Development Director; (Planning)
9. That the applicant shall restripe all faded parking lot markings, including stall lines and any required ADA markings, to ensure clear and visible delineation of parking spaces prior to Final Inspection. All missing or damaged wheel stops shall be replaced or repaired to meet applicable standards; (Planning)
10. That should parking, traffic, or circulation issues arise, the project shall be reevaluated, and that the applicants shall continue to work with staff on securing a resolution, to the satisfaction of the Community Development Director; (Planning)
11. That a Landscape Plan Review application and landscape and irrigation plans, including onsite and offsite areas such as public right-of-way parkway, shall be submitted to the Community Development Department for approval prior to the issuance of any Building Permits and shall be implemented prior to occupancy. The plan shall utilize drought resistant/xeriscape plant materials and shall provide state-of-the art water saving irrigation system and/or drip irrigation for larger shrubs and trees. The landscape plan shall incorporate landscape elements of different heights, color, and textures in order to provide an attractive

and water efficient design. The proposed landscape layout shall include landscape elements of high quality and embrace a cohesive landscape design theme throughout the project. The project shall comply with the current State Water Efficient Landscape Ordinance. Landscaping shall be maintained to the satisfaction of the Planning Manager; (Planning)

12. That the site shall be maintained in a clean and orderly condition at all times. A regular maintenance schedule shall be implemented to prevent accumulation of litter; (Planning)
13. That the applicant shall repair or realign the perimeter fence where it is leaning or encroaching into the public right-of-way, including the sidewalk. The fence shall be relocated to be entirely within the private property boundary and maintained in an upright, structurally sound condition; (Planning)
14. That no outdoor or exterior telephones, vending machines, kiosks, storage containers, publication racks, collection and/or donation bins, storage of recreational vehicles, oversized vehicles, trailers, inoperable vehicles, etc. shall be permitted on-site or in the parking lot; (Planning)
15. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental)
16. That the applicant shall provide nine inch (minimum) contrasting address numerals for non-residential uses; (Environmental)
17. That the applicant shall install on-site bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of the Environmental Division; (Environmental)
18. That the applicant shall install rooftop numbers in order to assist law enforcement and other emergency personnel locate the property. The numbers should be four feet high and two feet wide, spaced one foot apart, be parallel to the street and be a non-reflective color that contrasts the color of the roof; (Environmental)
19. That all trash shall be kept in an enclosure that is bounded on three sides by a decorative wall, decorative trellis and solid doors and shall be constructed of materials and of a design, color and texture which is architecturally compatible with the buildings and structures on the property; (Environmental)
20. That the trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion to meet current NPDES requirements; (Environmental)
21. That the applicant shall provide bins/containers within trash enclosure for the storage and retrieval of trash and recyclable materials; (Environmental)
22. That the existing driveway on Pacific Coast Highway shall be reconstructed as commercial radius type driveways, a minimum of 30 feet wide, with depressed back of walk and wheelchair ramps per City of Torrance standards; (Engineering)
23. That all connections for water service shall be made to the stub outs provided (unless stub outs are undersized). If existing stub outs are not used, they shall be abandoned at the main; (Water)
24. That all proposed and/or existing water meters larger than two inches, double check detector assemblies and reduced pressure backflow assemblies shall be located above ground on private property near the public right-of-way, shall be screened from public view with approved plant material, and shall be constructed per City of Torrance standards. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to BUILDING PERMIT ISSUANCE. Landscape screening shall provide

access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Water)

25. That the existing fire hydrant at the corner of Pacific Coast Highway and Ladeene Avenue shall be upgraded to 3-port fire hydrant with break off check valve; (Water)
26. That the applicant shall install a Knox Box or other Fire Department-approved key access system to provide emergency personnel access to all secured common area doors and any vehicle access gates on the property; (Police)
27. That the applicant shall ensure that address numbers and building identifiers are prominently displayed and clearly visible from the public right-of-way and internal drive aisles to facilitate emergency response; (Police)
28. That the applicant shall post a directory identifying room numbers and unit locations adjacent to all elevator lobbies and stairwell entrances on each floor, in a manner that is clearly visible to emergency responders; (Police)
29. That the applicant shall install a video security system and make recorded footage available to the Police Department upon request by the Chief of Police or designee. The video security system is recommended to be Open Network Video Interface Forum (ONVIF) compatible to ensure compatibility with law enforcement technology; (Police)
30. That the applicant shall remove all existing palm trees along the Ladeene Avenue frontage and install 24-inch box size *Olea europaea* 'Majestic Beauty' (single trunk) trees, prior to final inspection, spaced as directed by the City. All parkway areas shall be equipped with a permanent irrigation system and maintained with vegetation not exceeding 18 inches in height, exclusive of trees. Tree locations shall be flagged on site for inspection and approval by Public Works – Streetscapes prior to planting; (Public Works/Streetscape)
31. That within 30 days of the final public hearing the "Public Notice" sign and stake shall be returned to the Community Development Department; and (Planning)
32. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning commission shall be met.

Introduced, approved and adopted this 16th day of July 2025.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of July 2025, by the following roll call vote:

- AYES: COMMISSIONERS:
- NOES: COMMISSIONERS:
- ABSENT: COMMISSIONERS:
- ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B
ATTACHMENT 2

LOCATION AND ZONING MAP





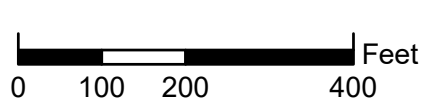
LOCATION AND ZONING MAP

CUP25-00010
4111 Pacific Coast Highway



LEGEND

-  Notification Area
-  4111 Pacific Coast Highway



ITEM 8B
ATTACHMENT 3

OPERATIONAL STATEMENT

Operational Statement

Torrance Staybridge Hotel

June 26, 2025

Project Description:

Torrance Staybridge Suites Hotel is being submitted by Kelsea Stiles of Robert F. Tuttle Architects, Inc. on behalf of Mid-Continent Hospitality, and pertains to 1.66 acres of property located at 4111 Pacific Coast Highway. The site APN is: 7529-019-003 and is zoned as C-2 with a existing hotel building. We are requesting a Conditional Use Permit to re-establish hotel.

The proposed development will consist of the following:

An existing hotel built about 1960 and added to about 1970 is being converted to a Staybridge suites hotel. There are four building designations for this remodel. The southern most building, building A, is a 1-story wood frame structure that encompasses an operationally stand-alone establishment. There is a porte-cochere and a small hotel lobby across the drive. The remaining three buildings are an independent and operational hotel. Building B consists of a 2-story wood frame structure containing only guest suites. Building C is a 5-story concrete and block structure that will have guest rooms on floors 2 through 5, with the first floor given to back of house operations, a gym and a lounge area. Building D is a 3-story wood frame structure containing only guest suites. See site plan for clarification.

There is a franchise property improvement plan give to the property owner by Intercontinental Hotel Group, the owner of the Staybridge Suites brand names, to which all improvements must adhere. Improvements will also adhere to applicable requirements of all authorities having jurisdiction.

This project is scheduled to be completed by 3/2026 and to meet that date we propose a phased plan check submission approach. Phase 1 will be the guest rooms to ensure the hotel can remain in operation for scheduled budget revenues to be completed Dec 2025. Phase 2 will be public areas, back of house, and exterior elevations to be completed March 2026. Phased submissions will help the hotel remain in operation, allow the work to begin sooner and allow sufficient time for the city plan review process.

Each guestroom includes a bathroom with a shower and vanity area as well as a desk, a built-in refrigerator, and a microwave. Each room has a flat screen television, clothes closet and a variety of king size and queen size beds.

STAYBRIDGE SUITES HOTEL:

Hours and days of operation

The hours of operation are 24 hours a day, 7 days a week.

Parking

Self-parking in open lot 24/7. No trespassing allowed. Any City Code violations will be reported by Hotel management.

Number of employees

The total number of employees for daytime shifts will be approximately (7) seven. During the day, the typical shift will consist of (3) three room attendants, (2) two front desk clerks, (1) one part time maintenance person, and (1) one hotel manager from 9 a.m. till 4 p.m. After working hours, the number of employees reduces to (1) one front desk clerk. From 6 p.m. to about 7 a.m., there is only (1) one employee in the hotel.

Total number of parking spaces provided

Here is a brief explanation of how the parking for the hotel works:

1. Typically, guests begin arriving during the late afternoon, and continue arriving until approximately midnight, when the last guest of the day arrives. Between 7-9PM, the parking lot is at the maximum.
2. At midnight there is only one employee on site, thus requiring only one parking space for employee parking.
3. When the hotel is at maximum capacity, there is always one of the following conditions present; first, some of the guests occupying more than one room arrived in one car (family); second, some of the guests arrived at the hotel via cab and/or taxi service; third, some of the guests are business travelers who have business associates in the area who provided transportation.
4. At around 5:00 a.m., the first guests begin to leave the hotel, and this continues until check-out time, at 11:00 a.m., when most of the guests have left for the day. Thus, during the middle of the day there are typically a great number of open parking spaces which is when the restaurant is open. Restaurant hours are 11am-11pm. Additional employee or restaurant parking is not required.

Site Security & Maintenance

Exterior cameras mounted at building entrances, pool area, patio area, and parking lot. Fire alarm as required by NFPA 13. No security guards anticipated.

Deliveries and loading area

A hotel of this size does not require a designated loading and delivery area. The deliveries made primarily consist of small sundry items for the hotel market. These deliveries are typically made daily by a small van, no larger than 24' in length. Because the quantities are

small, the time required to load and unload the delivery typically requires less than 10 to 15 minutes.

All of our laundry facilities are on site, so no deliveries are necessary to bring in fresh linens and take out soiled linen, as is sometimes the case.

That concludes this summary,

Respectfully,
Bob Tuttle

ITEM 8B
ATTACHMENT 4
PARKING ANALYSIS

June 30, 2025

Ms. Kelsea Stiles

Robert F. Tuttle Architects, Inc.
33533 Pebble Brook Circle
Temecula, CA 92592

Subject: Torrance Staybridge Parking Study (JN 0341-0005)

Dear Ms. Stiles:

Trames Solutions Inc. is pleased to submit this parking study for the Torrance Staybridge development. It is our understanding that the project consists of renovating an existing hotel to provide a total of 95 rooms. The site is located at 4111 Pacific Coast Highway in the City of Torrance.

INTRODUCTION

The Torrance Staybridge is an existing hotel with 92 rooms and 102 parking spaces. The proposed renovation will provide a total of 95 rooms and 101 parking spaces. Attachment A provides the layout of the overall site.

The following scope of work represents the services conducted to determine the current parking demands.

1. Conducted parking counts between 8:00 AM to 10:00 PM on a weekday and a Saturday.
2. Identified the maximum number of occupied parking spaces based on the empirical counts.

PARKING SURVEY

A parking count was conducted on Tuesday (March 4, 2025) and Saturday (March 8, 2025) between the hours of 8:00 AM – 10:00 PM. Attachment B contains the empirical parking survey for the weekday and weekend time periods.

The highest demand on the weekday occurred at the following times for each zone:

Tuesday (3/4/25)

Capacity 101 Spaces - 31 spaces at 8:00 & 9:00 PM (31% Occupancy)

Saturday (3/8/25)

Capacity 101 Spaces - 53 spaces at 7:00 & 8:00 PM (52% Occupancy)

The weekend had the highest demand of 53 occupied parking spaces occurring at 7:00 and 8:00 PM for an overall utilization rate of 52% (53 occupied stalls/101 total on site stalls). By correlating the observed peak parking demand (53 spaces) with the existing number of rooms (92 rooms), a 0.58 space per room rate can be determined.

CONCLUSIONS

In order to determine the actual parking demands, empirical parking counts were collected during the peak timeframe on a weekday and weekend. The counts indicate the highest demand occurred on a weekend with 53 out of the total 101 parking spaces were occupied (52% utilization rate). This results in an excess supply of 48 spaces. By correlating the number of rooms with the parking demand, a 0.58 parking space per room was determined for the existing site.

The size of the existing restaurant will not change. The City records show that a total of 46 parking spaces were previously required for the restaurant. Therefore, since a total of 101 parking spaces will be provided for both the hotel and restaurant, the net number of

parking spaces for just the hotel would be 55 spaces (55 hotel spaces = 101 total spaces – 46 restaurant spaces). The proposed 95 room remodel would require 55 parking spaces based on the 0.58 empirically derived parking rate. This results in neither a surplus nor a deficiency of parking spaces.

If there are any questions regarding the analysis, please do not hesitate to call me at (949) 244-2436.

Respectfully submitted,
Trames Solutions Inc.

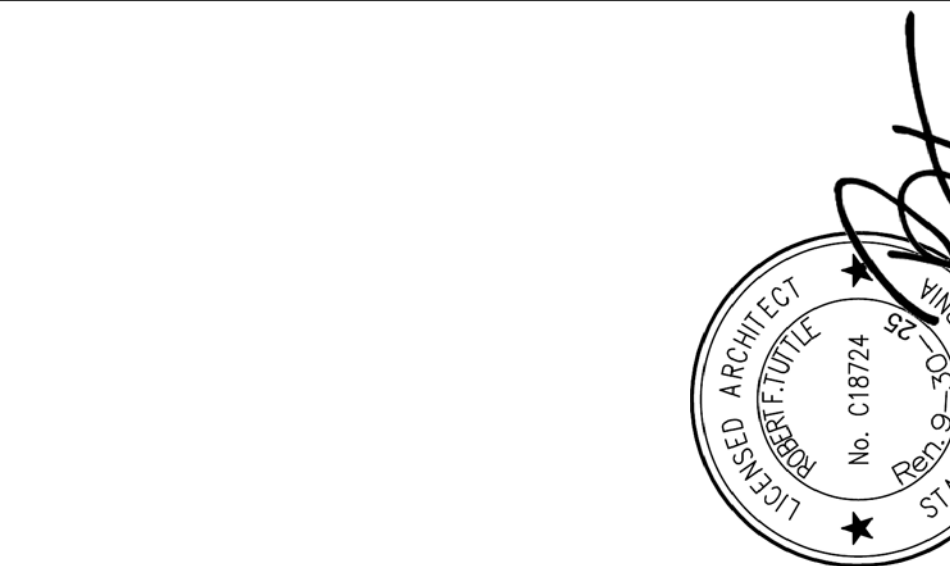


Scott Sato, P.E.
Vice President

Attachment A – Site Plan
Attachment B – Empirical Parking Data

ATTACHMENT A

SITE PLAN



Torrance Staybridge

4111 Pacific Coast Highway, Torrance, CA

Project Number
1001

Site Plan

Set Date
June 17, 2025

No.	Description	Date
1	Plan check 1	Date 1

- ### GENERAL SITE PLAN NOTES
- DETAILED GRADING PLANS, UTILITY PLANS, AND SITE IMPROVEMENT PLANS. WILL NOT BE USED BUT WILL BE NOTED ON THE ARCHITECTURAL DRAWINGS.
 - STRIPING PARKING OF SPACES, ASBLES, PATHWAYS, DRIVEWAYS, AND DIRECTIONAL SIGNS MUST CONFORM TO CITY STANDARDS FOR OFF-STREET PARKING FACILITIES.
 - BEFORE CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF TORRANCE AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS. PRIOR TO CONCRETE FOUNDATION INSPECTION, PROVIDE TWO COPIES OF A CONCRETE FOUNDATION INSPECTION REPORT TO THE CITY OF TORRANCE AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS FOR FOUNDATION INSPECTION.
 - BUILDING FLOOR ELEVATIONS WILL NOT BE USED.
 - THE ACCESSIBLE PATH OF TRAVEL SHALL BE LESS THAN 1.0% SLOPE WITH MAXIMUM CROSS SLOPE OF 1.42% (SLOPE PER CBC 11B-403.3). THE SLOPE OF RAMPS IN THE ACCESSIBLE PATH OF TRAVEL SHALL NOT BE STEEPER THAN 1:12 (8.3% SLOPE) PER CBC 11B-403.3. THE SLOPE OF ANY OTHER RAMPS SHALL NOT EXCEED 1:12 (8.3% SLOPE) PER CBC 11B-403.3. ACCESSIBLE WALKS SHALL BE AT LEAST 48" WIDE AND SLIP RESISTANT PER CBC 11B-403.5.1.
 - EXISTING FIRE LANES SHALL BE MAINTAINED AT THE FULL WIDTH DETERMINED BY THE FIRE DEPARTMENT UNLESS SPECIFICALLY APPROVED BY FIRE DEPARTMENT AND OTHER EMERGENCY SERVICES.
 - ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
 - CONCRETE WALKS SHALL BE PROVIDED WITH CONTROL JOINTS AND EXPANSION JOINTS PER SITE DETAILS SHEET.
 - CHAIN LINK FENCE IS NOT PERMITTED ON ANY AREA OF THE SITE.
 - DETECTABLE WARNING PRODUCTS SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT AND SHALL COMPLY WITH CBC 11B-705.3.
 - THERE SHALL BE A SIGN MOUNTED AT EACH LOADING ZONE INDICATING THAT TRUCK ENGINE IDLE TIMES SHALL BE LIMITED TO NO MORE THAN THREE MINUTES.
 - FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET.
 - POOL IS NOT PART OF THIS PERMIT. THE POOL CONSTRUCTION IS A DEFERRED SUBMITTAL.
 - PROVIDE ANTI-GRAFFITI TREATMENT TO ALL TRASH ENCLOSURES AND ABOVE-GROUND UTILITIES.
 - A CONSTRUCTION & EXCAVATION PERMIT IS REQUIRED FOR ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY ALONG LADEENE AVE.
 - REMOVE AND REPLACE GRINDED, LIFTED, OR CRACKED PORTIONS OF SIDEWALK ALONG LADEENE AVE.
 - VERIFY LOCATIONS OF ALL EXISTING UTILITY VAULTS PRIOR TO DEMOLISHING DRIVE APPROACHES.
 - ALL CONNECTIONS FOR WATER SERVICE SHALL BE MADE TO THE STUB-OUTS PROVIDED UNLESS STUB-OUTS ARE UNDERSIZED. IF EXISTING STUB-OUTS ARE NOT USED, THEY SHALL BE ABANDONED AT THE MAIN.
 - ALL PROPOSED AND/OR EXISTING WATER METERS LARGER THAN 2" DOUBLE CHECK VALVES SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY NEAR THE PUBLIC RIGHT-OF-WAY AND SHALL BE SCREENED FROM PUBLIC VIEW WITH APPROVED PLANT MATERIAL.
 - RESURFACE AND RESTRIP ALL PARKING SPACES PER TORRANCE MUNICIPAL CODE SECTION 8.4.6.

Keynotes

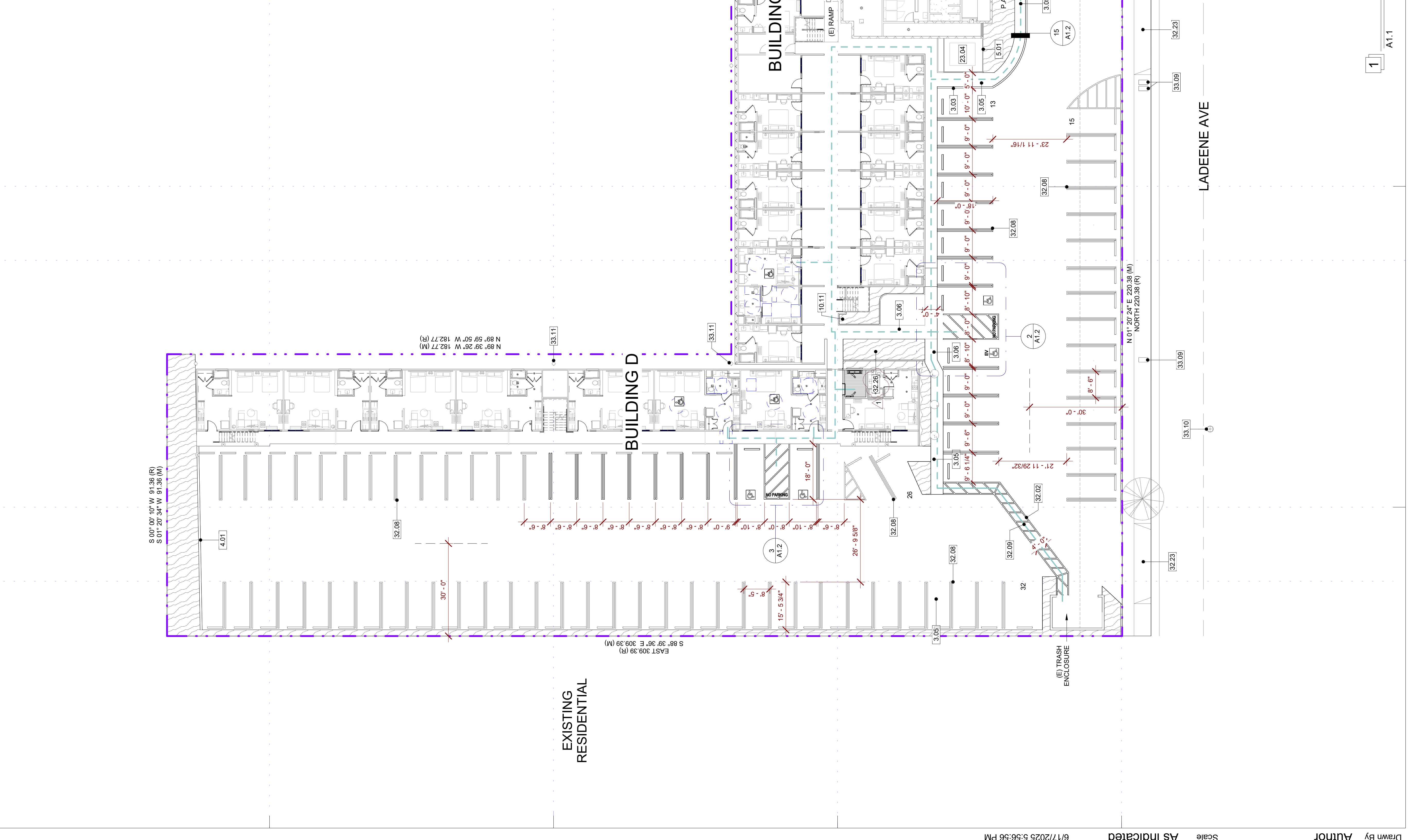
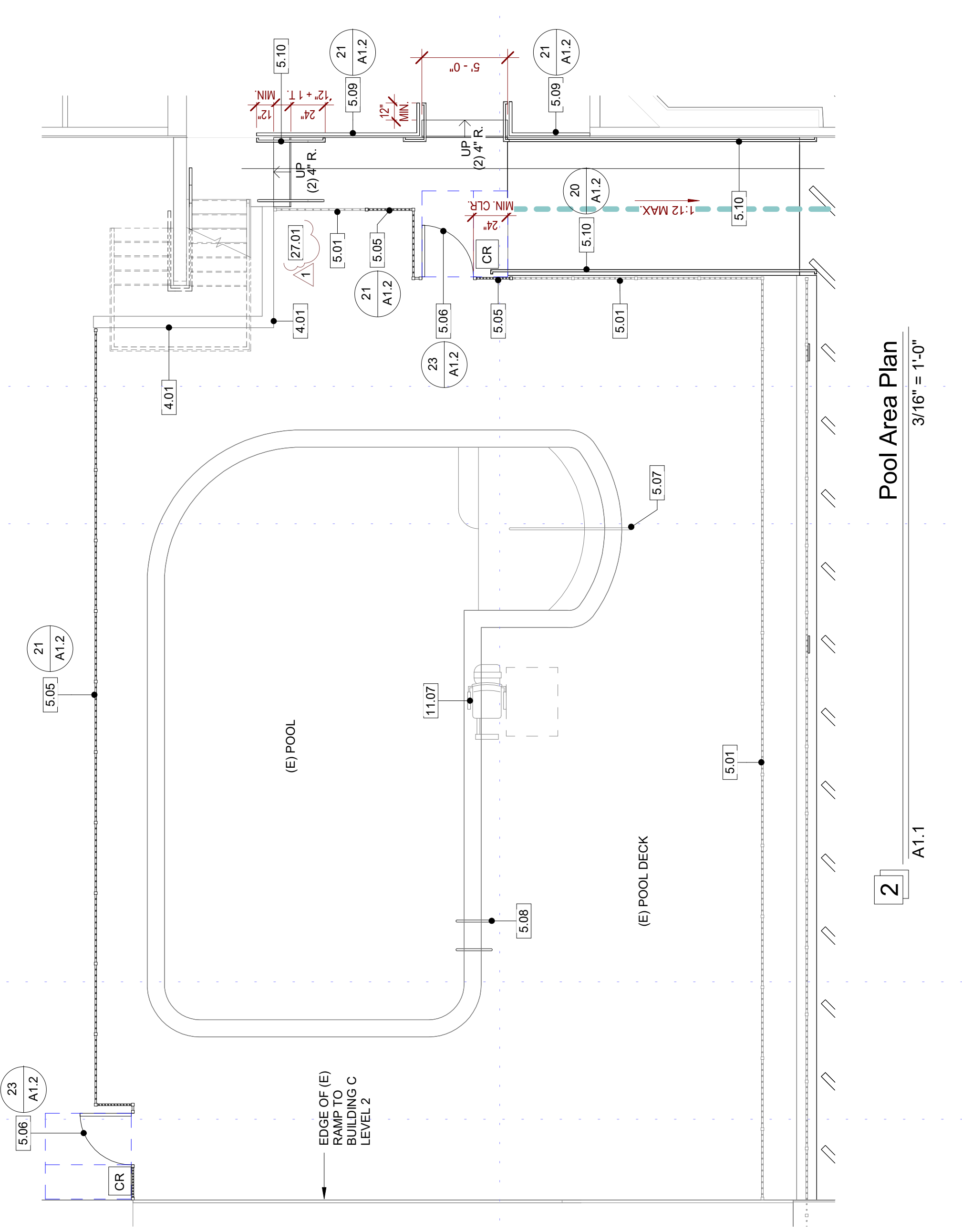
3.03	(E) CONCRETE CURB
3.06	(E) CONCRETE WALK
3.07	ACCESSIBLE CURB RAMP
4.01	(E) MASONRY WALL
5.01	(E) METAL FENCE
5.02	(E) TUBULAR METAL FENCE
5.06	(E) TUBULAR METAL GATE
5.07	(E) STAINLESS STEEL POOL HANDRAIL
5.08	(E) STAINLESS STEEL POOL LADDER
5.09	(E) STAINLESS STEEL POOL RAMP
10.05	(E) FLAG POLE
10.11	(E) TRASH CAN RETAINER
11.07	(E) PORTABLE POOL LIFT
11.17	(E) PORTABLE CONNECTION (SHIMSE)
22.03	RELOCATE (E) GAS METER

Keynotes

23.04	(E) MECHANICAL EQUIPMENT
27.01	TO AN ON-SITE LOCATION PERMANENTLY STAFFED OR DIRECTLY TO EMERGENCY SERVICES. VERIFY TO AN ON-SITE LOCATION PERMANENTLY STAFFED OR DIRECTLY TO EMERGENCY SERVICES. VERIFY
32.02	ACCESSIBLE PATH STRIPING WITH STRIPES 2'-0"
32.08	ACCESSIBLE PATH STRIPING WITH STRIPES 2'-0"
32.09	ACCESSIBLE PATH STRIPING WITH STRIPES 2'-0"
32.13	ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY. LESS THAN 3% SLOPE IN DIRECTION OF TRAVEL.
32.14	ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY. LESS THAN 3% SLOPE IN DIRECTION OF TRAVEL.
32.22	(E) TREE WELL
32.23	(E) TREE WELL
32.26	REMOVE AND REPLACE (E) CONCRETE DRIVEWAY
32.27	REMOVE AND REPLACE (E) CONCRETE DRIVEWAY
33.09	(E) UTILITIES VAULT
33.10	(E) MANHOLE
33.12	(E) MANHOLE WITH OVERHEAD LINES
33.13	(E) GAS VALVE
33.16	3-PORT FIRE HYDRANT WITH BREAK-OFF CHECK VALVE
33.17	(E) GAS METER

New Parking

Count	Type
4	Accessible
1	Accessible Van
95	Standard
Total: 101	



ATTACHMENT B

EMPIRICAL PARKING DATA

Torrance
 Staybridge Hotel
 4111 Pacific Coast Highway, Torrance, CA 90505

Tuesday, March 4th, 2025

	Inventory	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
Regular	81	15	14	13	14	14	14	13	12	12	15	18	21	20	23	21
Handicap	6	3	2	1	2	3	4	2	3	2	3	2	2	3	3	3
Restaurant	14	4	5	6	6	6	7	5	4	4	4	5	6	8	5	6
Subtotal	101	22	21	20	22	23	25	20	18	18	22	25	29	31	31	30
Total Occupancy	101	22	21	20	22	23	25	20	18	18	22	25	29	31	31	30
Total Percent		22%	21%	20%	22%	23%	25%	20%	18%	18%	22%	25%	29%	31%	31%	30%

Torrance
 Staybridge Hotel
 4111 Pacific Coast Highway, Torrance, CA 90505

Saturday, March 8th, 2025

	Inventory	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM
Regular	81	39	32	28	22	20	18	20	27	28	23	25	37	36	37	32
Handicap	6	2	2	1	1	1	1	1	1	1	1	2	4	3	3	2
Restaurant	14	4	4	3	3	10	8	13	6	3	2	12	12	14	8	7
Subtotal	101	45	38	32	26	31	27	34	34	32	26	39	53	53	48	41
Total Occupancy	101	45	38	32	26	31	27	34	34	32	26	39	53	53	48	41
Total Percent		45%	38%	32%	26%	31%	27%	34%	34%	32%	26%	39%	52%	52%	48%	41%

ITEM 8B
ATTACHMENT 5
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

ENGINEERING

1. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Services Division, for any work in the public right-of-way on Ladeene Ave. (City Code Sec. 74.6.2)
2. Obtain an Encroachment Permit from Caltrans (213-897-3631) for any work (proposed or required by the City) in the public right-of-way on Pacific Coast Highway. Proof of Caltrans Encroachment Permit application submittal is required prior to issuance of Building Permit.
3. Reconstruct the two damaged driveway approaches on Ladeene Ave. per SPPWC standards.
4. Replace portions of grinded and cracked sidewalk along the property frontage on Pacific Coast Highway per Caltrans standards.
5. Replace grinded, lifted, and cracked portions of sidewalk on Ladeene Ave. along the property frontage per City of Torrance standards.

WATER

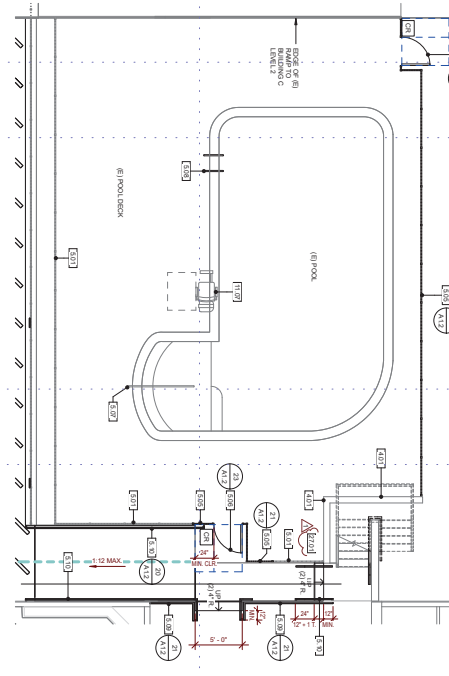
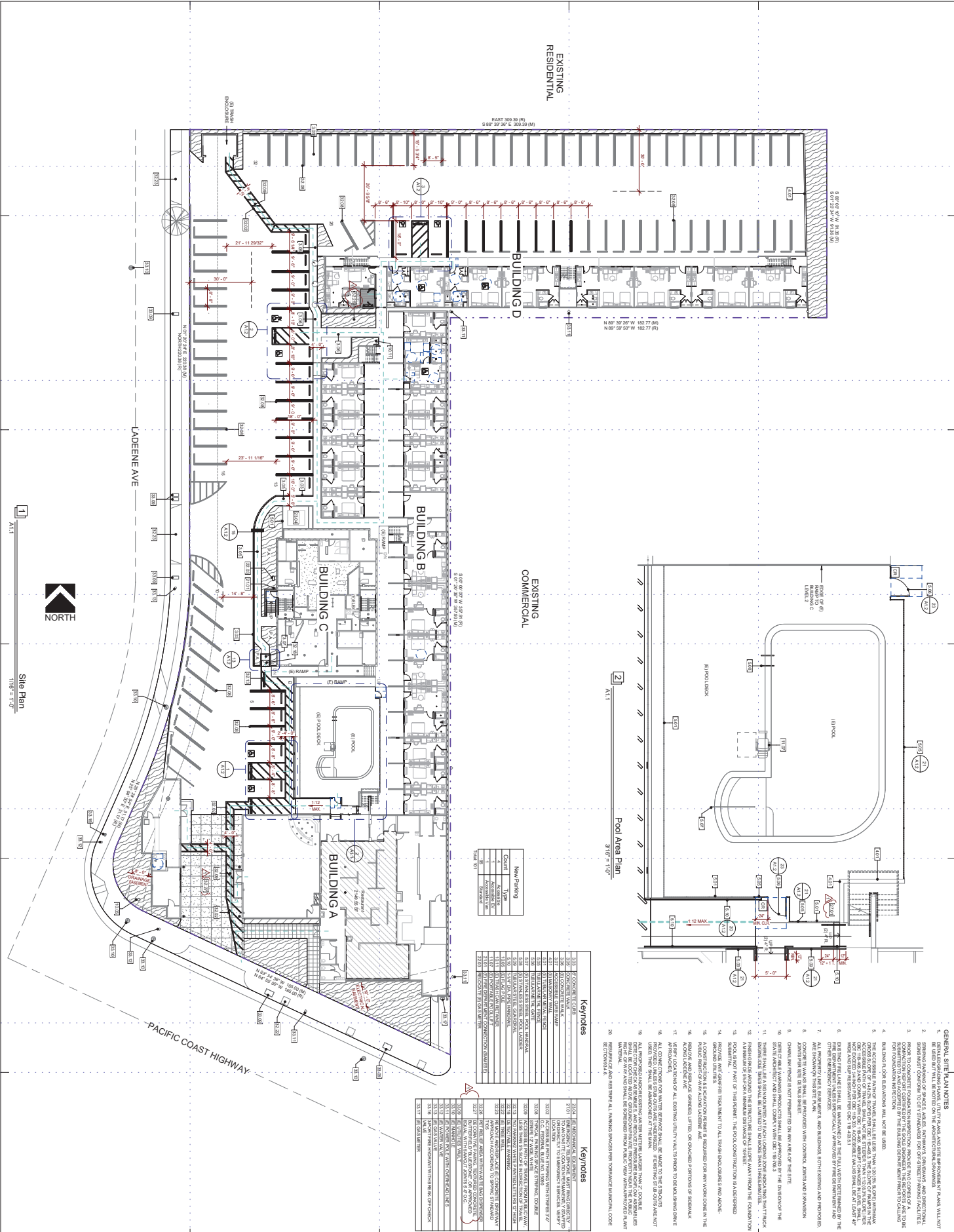
1. Must comply with the City of Torrance Municipal Code, the California Administrative Code, Title 17-Public Health Code regarding domestic water cross-connection control.
2. Reduced pressure principle device is required on irrigation devices, if any.

ENVIRONMENTAL

1. Double-line stripe all parking spaces per Torrance code (93.4.6)
2. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
3. No freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary/portable signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary/portable signage that violates Torrance Municipal Code requirements for prohibited signs (TMC911.6.100). Permits for banners must be obtained before use. Directional signs and parking signage are allowable. (TMC911.7.010)
4. Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per Torrance code (92.30.4).
5. Direct lighting away from residential land uses per Torrance code (92.30.5).
6. Screen all roof equipment from public view per Torrance code (92.30.2).

ITEM 8B
ATTACHMENT 6

PROJECT PLANS



2 Pool Area Plan
3/8" = 1'-0"

EXISTING COMMERCIAL

EXISTING RESIDENTIAL

Code	Type	Description
1	New Parking	As Shown
2	As Shown	As Shown
3	As Shown	As Shown
4	As Shown	As Shown

Code	Description
101	CONCRETE
102	CONCRETE
103	CONCRETE
104	CONCRETE
105	CONCRETE
106	CONCRETE
107	CONCRETE
108	CONCRETE
109	CONCRETE
110	CONCRETE
111	CONCRETE
112	CONCRETE
113	CONCRETE
114	CONCRETE
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199	CONCRETE
200	CONCRETE

Code	Description
201	CONCRETE
202	CONCRETE
203	CONCRETE
204	CONCRETE
205	CONCRETE
206	CONCRETE
207	CONCRETE
208	CONCRETE
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243	CONCRETE
244	CONCRETE
245	CONCRETE
246	CONCRETE
247	CONCRETE
248	CONCRETE
249	CONCRETE
250	CONCRETE

- GENERAL SITE PLAN NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE BUILDING OR FROM THE CENTERLINE OF THE POOL.
 2. THE EXISTING BUILDING FOOTPRINTS ARE SHOWN IN DASHED LINES. THE PROPOSED BUILDING FOOTPRINTS ARE SHOWN IN SOLID LINES.
 3. THE EXISTING POOL DECK IS SHOWN IN DASHED LINES. THE PROPOSED POOL DECK IS SHOWN IN SOLID LINES.
 4. THE EXISTING POOL COVER IS SHOWN IN DASHED LINES. THE PROPOSED POOL COVER IS SHOWN IN SOLID LINES.
 5. THE EXISTING POOL FENCE IS SHOWN IN DASHED LINES. THE PROPOSED POOL FENCE IS SHOWN IN SOLID LINES.
 6. THE EXISTING POOL LIGHTING IS SHOWN IN DASHED LINES. THE PROPOSED POOL LIGHTING IS SHOWN IN SOLID LINES.
 7. THE EXISTING POOL WATER MAIN IS SHOWN IN DASHED LINES. THE PROPOSED POOL WATER MAIN IS SHOWN IN SOLID LINES.
 8. THE EXISTING POOL ELECTRICAL IS SHOWN IN DASHED LINES. THE PROPOSED POOL ELECTRICAL IS SHOWN IN SOLID LINES.
 9. THE EXISTING POOL GAS IS SHOWN IN DASHED LINES. THE PROPOSED POOL GAS IS SHOWN IN SOLID LINES.
 10. THE EXISTING POOL MECHANICAL IS SHOWN IN DASHED LINES. THE PROPOSED POOL MECHANICAL IS SHOWN IN SOLID LINES.
 11. THE EXISTING POOL STRUCTURE IS SHOWN IN DASHED LINES. THE PROPOSED POOL STRUCTURE IS SHOWN IN SOLID LINES.
 12. THE EXISTING POOL FOUNDATION IS SHOWN IN DASHED LINES. THE PROPOSED POOL FOUNDATION IS SHOWN IN SOLID LINES.
 13. THE EXISTING POOL ROOF IS SHOWN IN DASHED LINES. THE PROPOSED POOL ROOF IS SHOWN IN SOLID LINES.
 14. THE EXISTING POOL EXTERIOR IS SHOWN IN DASHED LINES. THE PROPOSED POOL EXTERIOR IS SHOWN IN SOLID LINES.
 15. THE EXISTING POOL INTERIOR IS SHOWN IN DASHED LINES. THE PROPOSED POOL INTERIOR IS SHOWN IN SOLID LINES.
 16. THE EXISTING POOL FLOOR IS SHOWN IN DASHED LINES. THE PROPOSED POOL FLOOR IS SHOWN IN SOLID LINES.
 17. THE EXISTING POOL CEILING IS SHOWN IN DASHED LINES. THE PROPOSED POOL CEILING IS SHOWN IN SOLID LINES.
 18. THE EXISTING POOL WALLS ARE SHOWN IN DASHED LINES. THE PROPOSED POOL WALLS ARE SHOWN IN SOLID LINES.
 19. THE EXISTING POOL DOORS ARE SHOWN IN DASHED LINES. THE PROPOSED POOL DOORS ARE SHOWN IN SOLID LINES.
 20. THE EXISTING POOL WINDOWS ARE SHOWN IN DASHED LINES. THE PROPOSED POOL WINDOWS ARE SHOWN IN SOLID LINES.

Torrance Staybridge
4111 Pacific Coast Highway, Torrance, CA

Mid-Continent Hospitality

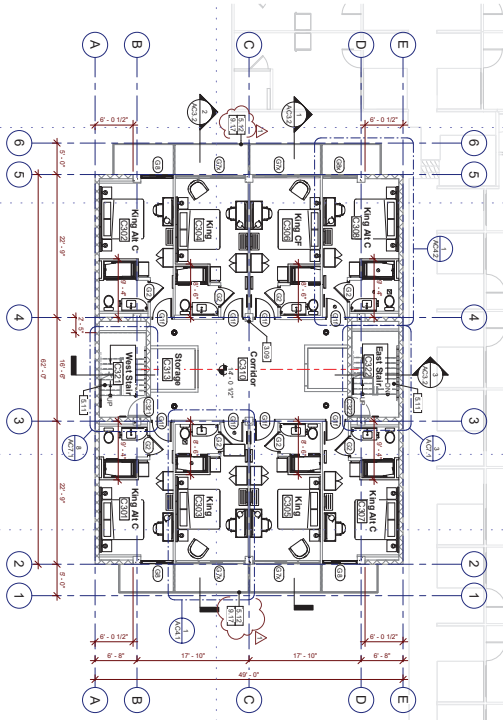
Project Number: 1001
Site Plan

Scale: 1/8" = 1'-0"

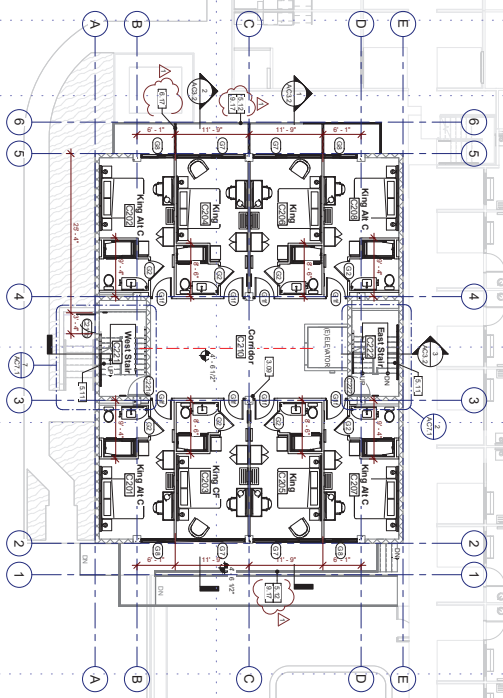
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Robert F. Tuttle Architects, Inc.
Architects
Planning
Design

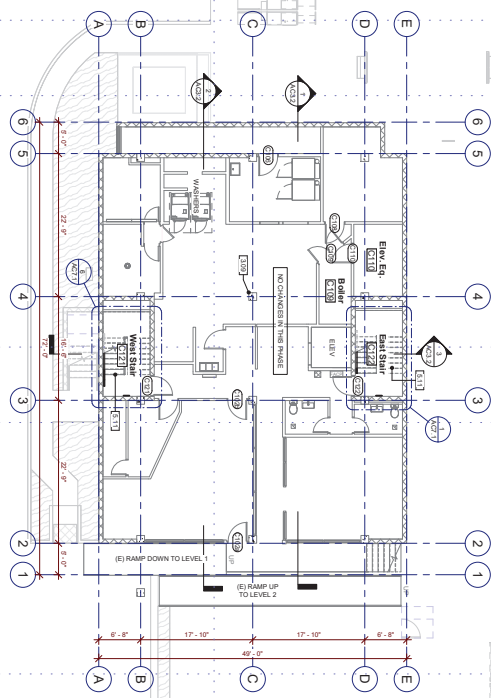
Phone (951) 302-5444
Fax (951) 302-4444
38960 Vista Dawn Court
Temecca, California 92592
www.rftarch.com



3 AC2.1
C Level 3
1/8" = 1'-0"



2 AC2.1
C Level 2
1/8" = 1'-0"



1 AC2.1
C Level 1
1/8" = 1'-0"

Mark	Symbol	Description	Wash	Height	Thickness	Material	Finish	Frame	Rating	Set No.	Clear	Panic	Comments
C100	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C101	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C102	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C103	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C104	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C105	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C106	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C107	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C108	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C109	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C110	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C111	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C112	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C113	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C114	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C115	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C116	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C117	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C118	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C119	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C120	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C121	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C122	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C123	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C124	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C125	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C126	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C127	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C128	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C129	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING
C130	○	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	•	•	EXISTING

Count	Mark	Elevation	Type	Description	Wash	Height	Thickness	Material	Finish	Frame	Rating	Set No.	Clear	Panic	Comments
1	C100	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C101	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C102	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C103	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C104	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C105	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C106	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C107	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C108	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C109	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C110	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C111	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C112	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C113	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C114	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C115	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C116	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C117	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C118	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C119	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C120	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C121	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C122	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C123	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C124	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C125	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C126	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C127	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C128	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C129	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING
1	C130	0	Hinged 50	3'-2"	8'-2"	1-3/4"	AL	AL	21	AL	1	1	•	•	EXISTING

Door Schedule - Quarters

Key	Room Name	Area
1	CONCRETE TO QUARTERS ENTRANCE	1.00
2	CONCRETE TO QUARTERS ENTRANCE	1.00
3	CONCRETE TO QUARTERS ENTRANCE	1.00
4	CONCRETE TO QUARTERS ENTRANCE	1.00
5	CONCRETE TO QUARTERS ENTRANCE	1.00
6	CONCRETE TO QUARTERS ENTRANCE	1.00
7	CONCRETE TO QUARTERS ENTRANCE	1.00
8	CONCRETE TO QUARTERS ENTRANCE	1.00
9	CONCRETE TO QUARTERS ENTRANCE	1.00
10	CONCRETE TO QUARTERS ENTRANCE	1.00
11	CONCRETE TO QUARTERS ENTRANCE	1.00
12	CONCRETE TO QUARTERS ENTRANCE	1.00
13	CONCRETE TO QUARTERS ENTRANCE	1.00
14	CONCRETE TO QUARTERS ENTRANCE	1.00
15	CONCRETE TO QUARTERS ENTRANCE	1.00
16	CONCRETE TO QUARTERS ENTRANCE	1.00
17	CONCRETE TO QUARTERS ENTRANCE	1.00
18	CONCRETE TO QUARTERS ENTRANCE	1.00
19	CONCRETE TO QUARTERS ENTRANCE	1.00
20	CONCRETE TO QUARTERS ENTRANCE	1.00
21	CONCRETE TO QUARTERS ENTRANCE	1.00
22	CONCRETE TO QUARTERS ENTRANCE	1.00
23	CONCRETE TO QUARTERS ENTRANCE	1.00
24	CONCRETE TO QUARTERS ENTRANCE	1.00
25	CONCRETE TO QUARTERS ENTRANCE	1.00
26	CONCRETE TO QUARTERS ENTRANCE	1.00
27	CONCRETE TO QUARTERS ENTRANCE	1.00
28	CONCRETE TO QUARTERS ENTRANCE	1.00
29	CONCRETE TO QUARTERS ENTRANCE	1.00
30	CONCRETE TO QUARTERS ENTRANCE	1.00
31	CONCRETE TO QUARTERS ENTRANCE	1.00
32	CONCRETE TO QUARTERS ENTRANCE	1.00

Sheet No.	Sheet Name	Current Revision
AC2.1	Building C Quarters Building Area	1
AC2.2	Building C Quarters Building Area	1
AC2.3	Building C Quarters Building Area	1
AC2.4	Building C Quarters Building Area	1
AC2.5	Building C Quarters Building Area	1
AC2.6	Building C Quarters Building Area	1
AC2.7	Building C Quarters Building Area	1
AC2.8	Building C Quarters Building Area	1
AC2.9	Building C Quarters Building Area	1
AC2.10	Building C Quarters Building Area	1
AC2.11	Building C Quarters Building Area	1
AC2.12	Building C Quarters Building Area	1
AC2.13	Building C Quarters Building Area	1
AC2.14	Building C Quarters Building Area	1
AC2.15	Building C Quarters Building Area	1
AC2.16	Building C Quarters Building Area	1
AC2.17	Building C Quarters Building Area	1
AC2.18	Building C Quarters Building Area	1
AC2.19	Building C Quarters Building Area	1
AC2.20	Building C Quarters Building Area	1
AC2.21	Building C Quarters Building Area	1
AC2.22	Building C Quarters Building Area	1
AC2.23	Building C Quarters Building Area	1
AC2.24	Building C Quarters Building Area	1
AC2.25	Building C Quarters Building Area	1
AC2.26	Building C Quarters Building Area	1
AC2.27	Building C Quarters Building Area	1
AC2.28	Building C Quarters Building Area	1
AC2.29	Building C Quarters Building Area	1
AC2.30	Building C Quarters Building Area	1

Torrance Staybridge
4111 Pacific Coast Highway, Torrance, CA

Mid-Continent Hospitality

Project Number: 1001

Building C Floor Plans

Sheet No. AC2.1

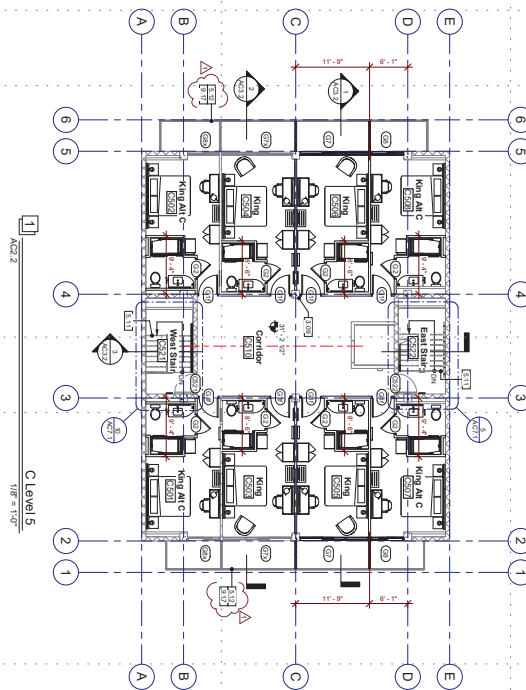
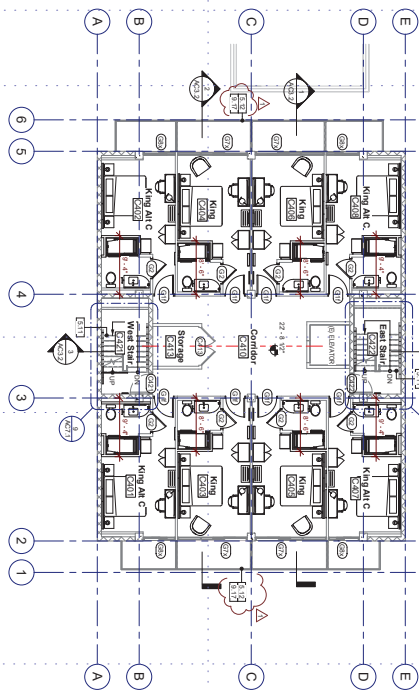
Date: June 12, 2025

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ARCHITECTURE
PLANNING
DESIGN

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Fax (951) 302-4444

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Keynotes

100	CONCRETE
101	WOOD
102	GLASS
103	STEEL
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SHEET NO.
AC2.2

NO. Description Date
1 PLAN CHECK 1 DATE 1

Sht. Date
June 12, 2025

Project Number
1001

Building C Floor Plans

Torrance Staybridge

4111 Pacific Coast Highway, Torrance, CA

Mid-Continent Hospitality

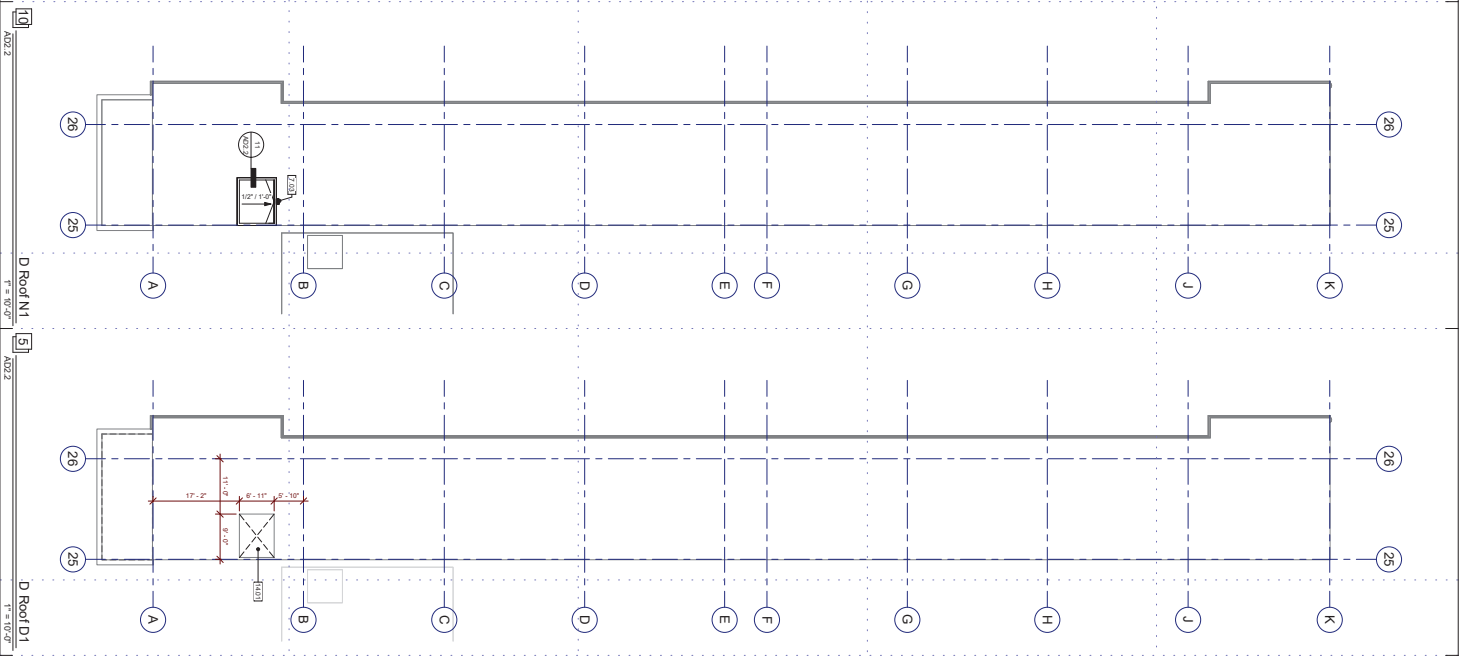
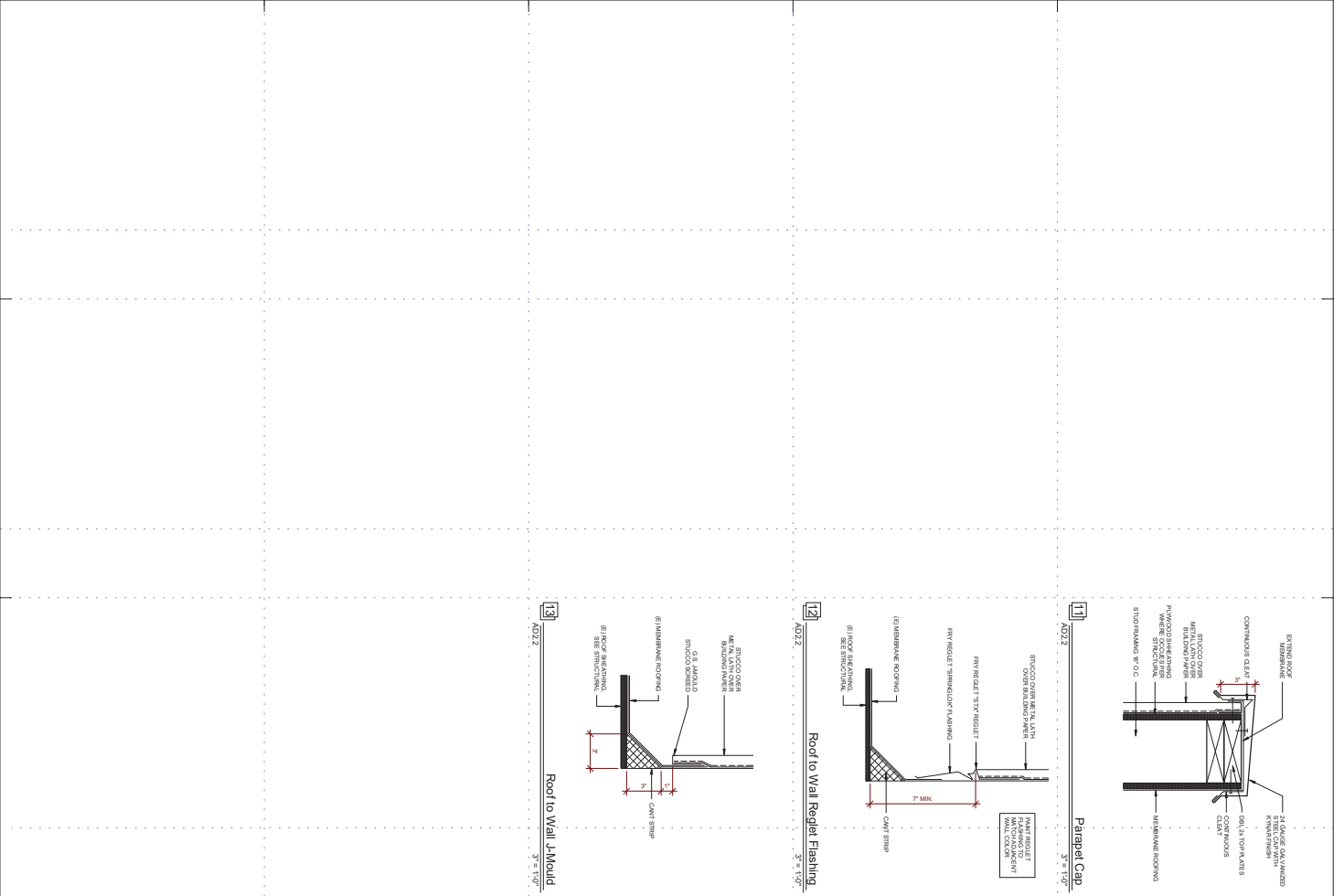


rfi
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PLANNING
DESIGN

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Fax (951) 302-4444

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Torrance, California 92592
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- ROOF NOTES**
1. ALL ROOF FLASHINGS SHALL BE CONSTRUCTION PER 042
 2. ROOF TO WALL FLASHING SHALL BE 12" HIGH ROOF JAMBIA
 3. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LOCATION AND SIZE OF ADDITIONAL ROOF FLASHINGS
 4. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ROOF AND MITC
 5. PAINT SCHEMES, SCHEDULES AND COMMENTS TO MATCH
 6. CONFORMANCE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS
 7. MEANS OF EGRESS SHALL BE PROTECTED BY 1/2" THICK 1/4" CORNER FLASHING LAYER IN MEANS OF EGRESS TRAYS AND 30000 PSI UNLESS NOTED OTHERWISE, AND FINISH TO MATCH ADJACENT FLOORING AND PAINT FINISHING. SEE
 8. ALL ROOF TO WALL FLASHING SHALL BE INSTALLED ON CORNER BEE
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No.	Description	Date

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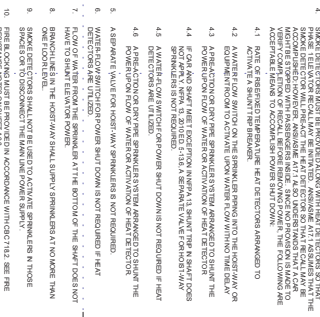
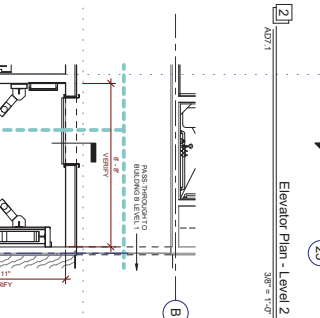
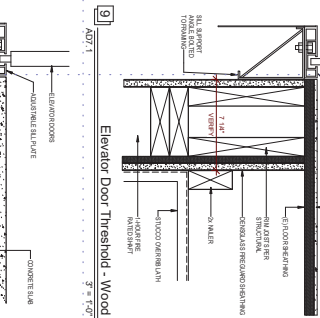
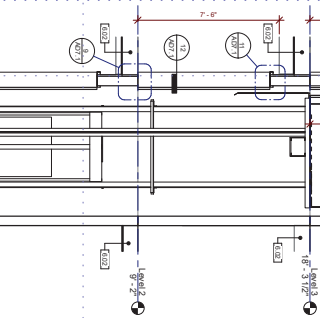
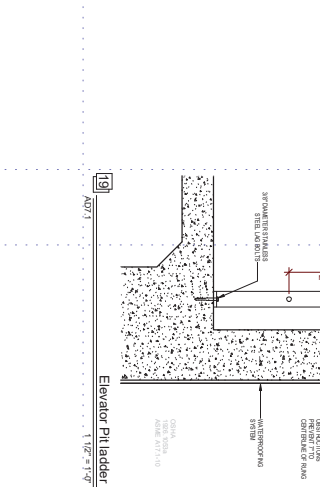
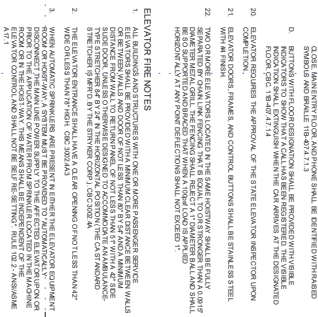
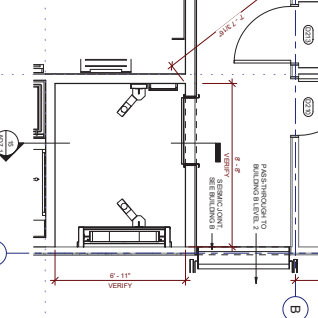
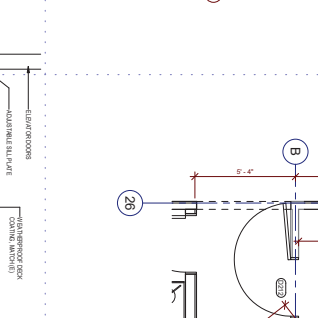
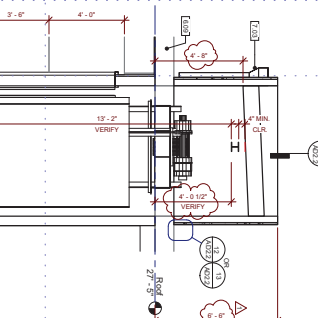
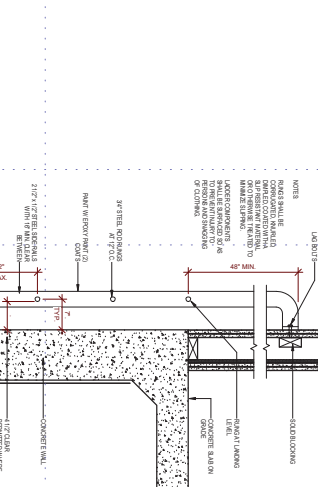
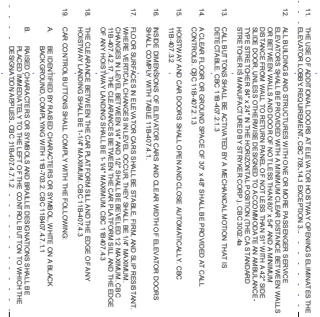
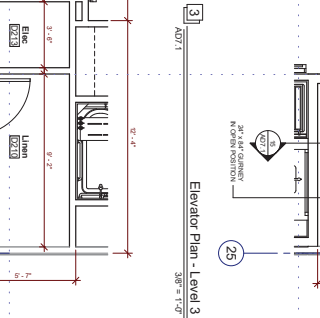
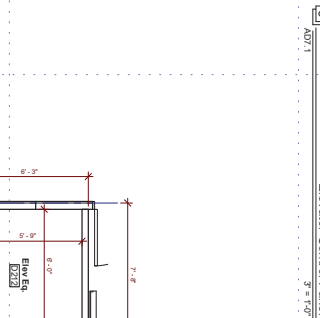
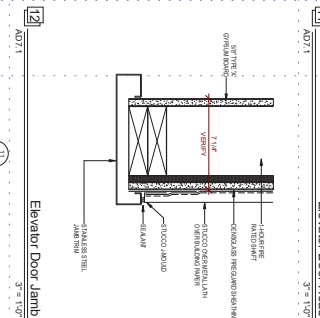
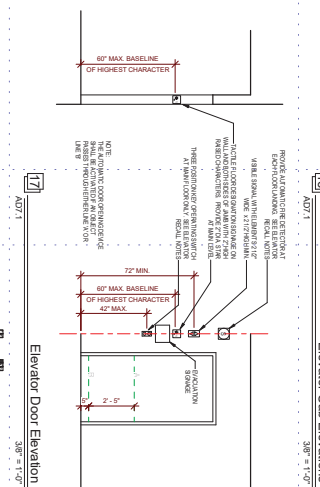
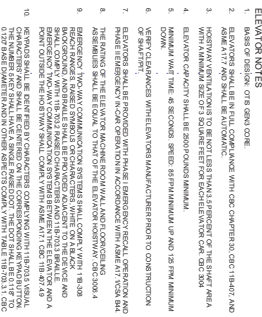
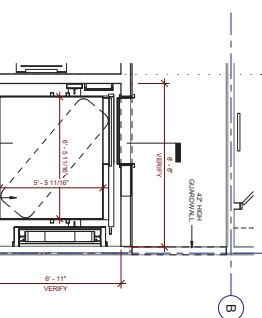
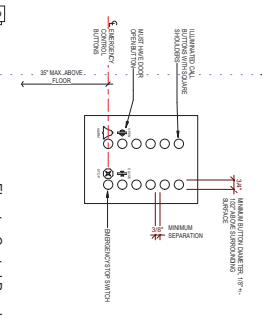
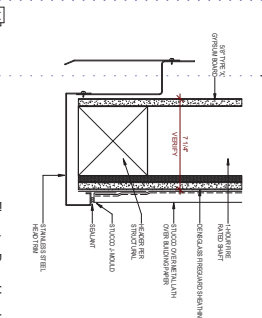
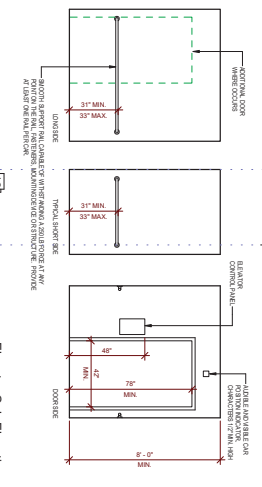
Project Number: 1001
 Building D Roof Plan
 Set Date: June 13, 2025

Torrance Staybridge
 4111 Pacific Coast Highway, Torrance, CA

Mid-Continent Hospitality
 Project Status

Robert F. Tuttle Architects, Inc.
 ARCHITECTURE
 PLANNING
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 Fax (951) 302-4444
 38960 Vista Dawn Court
 Temecula, California 92592
 www.rfatarch.com



ELEVATOR NOTES

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No.	Description	Date
1	Plan Check	6/13/2025
2	Final	6/13/2025

Keywords

Torrance Staybridge
4111 Pacific Coast Highway, Torrance, CA

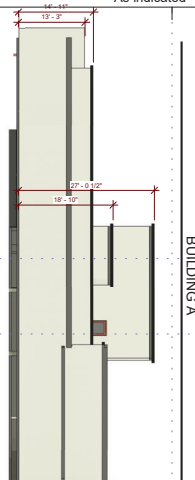
Mid-Continent Hospitality
Project Status

Project Number: 1001
Building D Elevator
Set Date: June 13, 2025

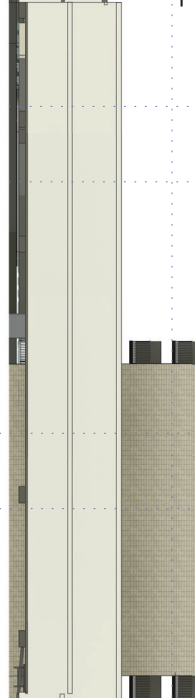
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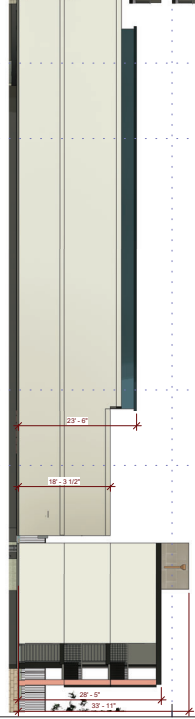
SHEET NO. AD7.1



BUILDING A



BUILDING B



BUILDING D



BUILDING D



BUILDING A

3
A3.1
North Enlarged
3/16" = 1'-0"

1
A3.1
North
1" = 10'-0"

2
A3.1
East
1" = 10'-0"

01 Tile KSI 12x4 Copper Dimensions: 12x4	02 Succo Field Mach Dunn Edwards Copper Smooth Tonal Finish	03 Succo Accent Mach Dunn Edwards Copper Stroke KSI 12x4 1/2"	04 Succo accent Copper Smooth Tonal Finish "Rough"	05 Succo Accent Mach Dunn Edwards Copper "Rough" Finish	06 Windows Brushed Aluminum Factory Finish	Finishing & Canopy Painted Steel (S70) Charcoal Smooth	M2 Metal Screen Aluminum Panels Inc. Mill Finish Stainless Steel 5/8" open	Breeze Block Glass Smooth Finish "Outdoor"
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No.	Description	Date

SHEET NO.
A3.1

Set Date
Jan. 14, 2025

Project Number
1001

Exterior Elevations

Torrance Staybridge
4111 Pacific Coasy Highway, Torrance, CA

Mid-Continent Hospitality
Project Status



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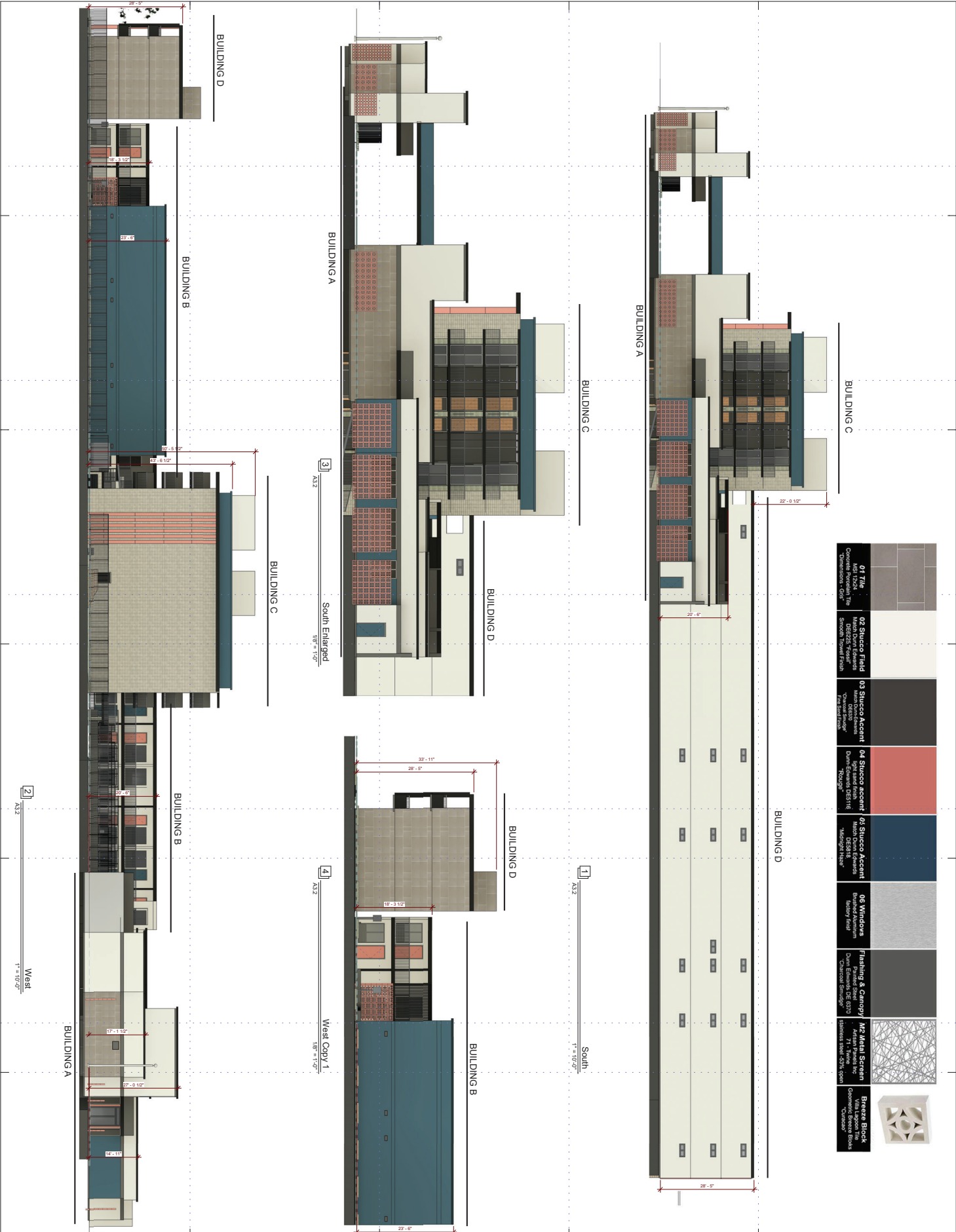
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01 Tile Concrete Porcelain Tile Dimensions - 60x60"	02 Stucco Field White Stucco Dimensions - 60x60"	03 Stucco Accent Dark Stucco Dimensions - 60x60"	04 Stucco accent Dark Stucco Dimensions - 60x60"	05 Stucco Accent White Stucco Dimensions - 60x60"	06 Windows Dark Window Frame Dimensions - 60x60"	Flashing & Canopy Dark Flashing Dimensions - 60x60"	M2 Metal Screen Dark Metal Screen Dimensions - 60x60"	Bricks Block Dark Bricks Block Dimensions - 60x60"
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No.	Description	Date

Set Date
Jan. 14, 2025

Project Number
1001

Exterior Elevations

Torrance Staybridge
4111 Pacific Coasy Highway, Torrance, CA

Mid-Continent Hospitality
Project Status

Professional seal and signature area for the architect, including the name Robert F. Tuttle and the company name RFTA.

rfta
ROBERT F. TUTTLE ARCHITECTS, INC.

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SHEET NO.
A3.2



PERSPECTIVE VIEW



PERSPECTIVE VIEW

AGENDA ITEM NO. 8C

DATE: July 16, 2025
TO: Planning Commission
FROM: Austin Lujan, Planning Assistant
SUBJECT: 4940 190th Street
Conditional Use Permit (CUP25-00004)

Consideration of Conditional Use Permit (CUP25-00004) to allow the operation of a fitness center on property located in the General Commercial District (C-2) Zone at 4940 190th Street.

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 25-043 for approval CUP25-00004 to allow the operation of a fitness center on property located in the C-2 Zone at 4940 190th Street, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Club Pilates (North Torrance Plaza, LLC), requests approval by the Planning Commission to allow the operation of a fitness center, on property located in the C-2 Zone at 4940 190th Street.

The development standards of the C-2 Zone are applicable to this project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP25-00004) to allow the operation of a fitness center.

Staff has reviewed the project and determined the project is consistent with the General Plan’s General Commercial (C-GEN) land use designation and complies with the objective development standards of the C-2 Zone and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

Environmental Determination

The operation, permitting, leasing or minor alteration of an existing private structure involving negligible or no expansion of the building, is Categorical Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

General Plan Land Use Designation

The project site has a General Plan land use designation of C-GEN, which is intended to permit a wide range of commercial uses that serve both the local and regional community. Permitted uses include shopping centers, food and beverage establishments, entertainment facilities, financial institutions, automotive sales, and mixed-use developments. C-GEN uses are limited to a 0.6 floor area ratio. The proposed fitness center is consistent with the C-GEN land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as C-2 Zone and bounded by multiple parcels and various land uses.

NORTH:		City of Redondo Beach
SOUTH:	A-1	Agriculture Nursery
EAST:	C-2	Bank
WEST:	C-2	Shopping Center

Project Site

The site is currently developed as a shopping center referred to as the North Torrance Plaza. The site's topography is relatively flat and encompasses approximately 7.7 acres and has no outstanding natural features. The proposed tenant space is located south of 190th Street towards the center of the North Torrance Plaza and was formerly occupied by a retail store. The buildout area of the tenant space is 4,652 square feet.

Façade Improvements

The subject site is proposing new storefront signage. Staff notes that no other façade improvements are proposed.

Floor Plan

The subject tenant space is located towards the center of the shopping center and measures 4,652 square feet. The proposed layout features a front lobby, 2 studios, a private training room, 2 bathrooms, and storage room but does not include showers, locker rooms, or saunas. Staff notes that no outdoor activities are proposed.

Business Operation

Club Pilates is a low impact, full body workout center that uses Pilates to build strength, mobility, and stability. It will offer 50-minute classes throughout the workday from 6:00AM to 8:00PM daily, with a maximum of 12 students in each class. There will be 3 staff members on site at any given time. The Pilates Club will include retail sales; however, staff notes that no food sales are proposed.

Parking

Per the Torrance Municipal Code (TMC), health clubs are required to provide 1 parking space for every 100 square feet of floor area. However, health clubs are defined as providing full-service facilities, including but not limited to, showers, pools, and saunas. The TMC provides flexibility for the Planning Commission to reduce the parking requirements for Recreation Facilities that do not include these amenities approved at the retail/service parking ratio of 1:250. Considering that the previous tenant was a retail business, with the same parking ratio, and that the project does not include the addition of area to the building, no net increase in parking is required at this time, should the Planning Commission approve the proposed use at 1:250.

CONCLUSION

The proposed use provides an additional service within the shopping center and is compatible with the existing uses within the North Torrance Plaza, which features a wide variety of commercial uses and services, including retail and restaurants. Lastly, the project is consistent with the orderly development of the City as provided for in its General Plan, which designates the site as C-GEN. For these reasons, staff recommends approval of the request as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on July 3rd, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with TMC Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 25-043
2. Location and Zoning Map
3. Code Requirements
4. Business Narrative
5. Project Plans

STAFF CONTACT

Austin Lujan, Planning Assistant
ALujan@TorranceCA.gov

ITEM 8C
ATTACHMENT 1
RESOLUTION NO. 25-043

PLANNING COMMISSION RESOLUTION NO. 25-043

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF A FITNESS CENTER, ON PROPERTY LOCATED IN THE GENERAL COMMERCIAL DISTRICT ZONE AT 4940 190TH STREET.

CUP25-00004: CLUB PILATES (NORTH TORRANCE PLAZA, LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on July 16, 2025, to consider an application for Conditional Use Permit (CUP25-00004) filed by Club Pilates (North Torrance Plaza, LLC) to allow the operation of a fitness center, on property located in the General Commercial District (C-2) Zone at 4940 190th Street; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code (TMC); and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property under consideration is located at 4940 190th Street (APN 7521-001-024);
- b) That the property is described as the portion of "P M 92-13 LOT 1" per map recorded Office of the Los Angeles County Recorder, State of California;
- c) That minor alteration of existing facilities involving negligible expansion of use beyond that previously existing are Categorically Exempted by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed fitness center is conditionally permitted within the C-2 Zone and complies with all of the applicable provisions of this Division, as conditioned;
- e) That the proposed use will not impair the integrity and character of the C-2 Zone because a fitness center is consistent with the shopping center and surrounding commercial uses in the zone and area;
- f) That the proposed project is compatible with the land use presently on the subject property because the shopping center features a variety of service, retail, and restaurant uses, as well as other entertainment operations;
- g) That the proposed use will be compatible with existing and proposed future land uses within the C-2 Zone and the general area in which the proposed project is to be located because the fitness center will be compatible with the other uses permitted within the zone, and will not change the existing shopping center uses;
- h) That the proposed use will encourage and be consistent with the orderly development of the City as provided for in its General Plan, which designates the site as General Commercial (C-GEN), such as a fitness center is a consistent use with the C-GEN designation;
- i) That the proposed use will not discourage the appropriate existing or planned future uses of the surrounding property because the proposed fitness center is compatible with the existing uses and the planned future uses of the surrounding property;

- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use is not detrimental to the public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed use, because the project shall maintain all existing pedestrian walkways and vehicular access points;
- l) That the location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area;
- m) The proposed project will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** CUP25-00004, subject to conditions:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSED:	COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that CUP25-00004, filed by Club Pilates (North Torrance Plaza, LLC) to allow the operation of a fitness center, on property located in the C-2 Zone at 4940 190th Street, on file in the Community Development of the city of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for a fitness center shall be subject to all conditions imposed in Conditional Use Permit 25-00004; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the Torrance Municipal Code on file in the office of the Community Development Director of the City of Torrance; and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this CUP25-00004 is not used within one year after granting the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in section 92.27.1;
3. That a copy of Planning Commission Resolution No. 25-043 shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That within 30 days of the final public hearing, the applicant shall return the City’s “Public Notice” sign and stake (provided there is no appeal) to Planning; (Planning)
5. That all persons associated with the operation of the fitness center shall be required to park onsite, including customers, clients, employees, deliveries, etc; (Planning)

6. That all classes, exercising, training, and any other activity, including membership soliciting and enrollment, shall be prohibited outdoors-including the parking lot, all drive aisles, parking areas, and handicap accessible areas-unless with prior approval of a Temporary Parking Lot Event Permit (EVN); (Planning)
7. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this CUP25-00004 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)”
8. That the applicants shall install surveillance cameras to monitor entry/exits, cash handling areas (as applicable), offices housing store assets, and parking lot. Security cameras shall be maintained in proper working order at all times and recordings shall be made available to Police upon request. Surveillance footage shall be stored for no less than 60 days; (Police)
9. That the business name shall be clearly visible along the storefront entrance; (Police)
10. That the applicant shall install non-glare security lighting for the parking lot; (Police)
11. That the applicant shall paint 4-foot-tall address numerals on rooftop for areal identification; (Police)
12. That the hours of operation shall be visible at or near the business entrance; (Police)
13. That all signs (new, modified or revised) shall be approved by the Environmental Division with appeal rights to the Planning Commission or comply with the previously approved sign program.; (Environmental)
14. That no freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary signage that violates TMC requirements for temporary signs. Permits for banners must be obtained before use. Directional signs and parking signage are allowable; (Environmental)
15. That applicant shall submit a noise attenuation plan to the satisfaction of the Environmental Division. The recommendations of the Noise Study/Noise consultant shall be adhered to and incorporated into plans submitted to the City of Torrance. Plans shall show how noise recommendations will mitigate noise, so that when completed, this use will comply with the TMC & will not disturb neighboring properties; (Environmental)
16. That the applicant shall check for and comply with sign program on file; (Environmental)
17. That applicant shall provide 9" (minimum) contrasting address numerals for non-residential uses; (Environmental)
18. That the applicant shall install on-site bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
19. That rooftop numbers shall be installed to assist law enforcement and other emergency personnel locate the property. The numbers shall measure no less than 4' high and 2' wide,

spaced 12" apart, be parallel to the street and be a non-reflective color that contrasts the color of the roof; (Environmental)

20. That the trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion to meet current National Pollutant Discharge Elimination System (NPDES) requirements; and (Environmental)
21. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 16th day of July 2025.

Chairperson, Torrance Planning Commission

ATTEST:

Secretary, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 16th day of July 2025, by the following roll call vote:

AYES: COMMISSIONERS:

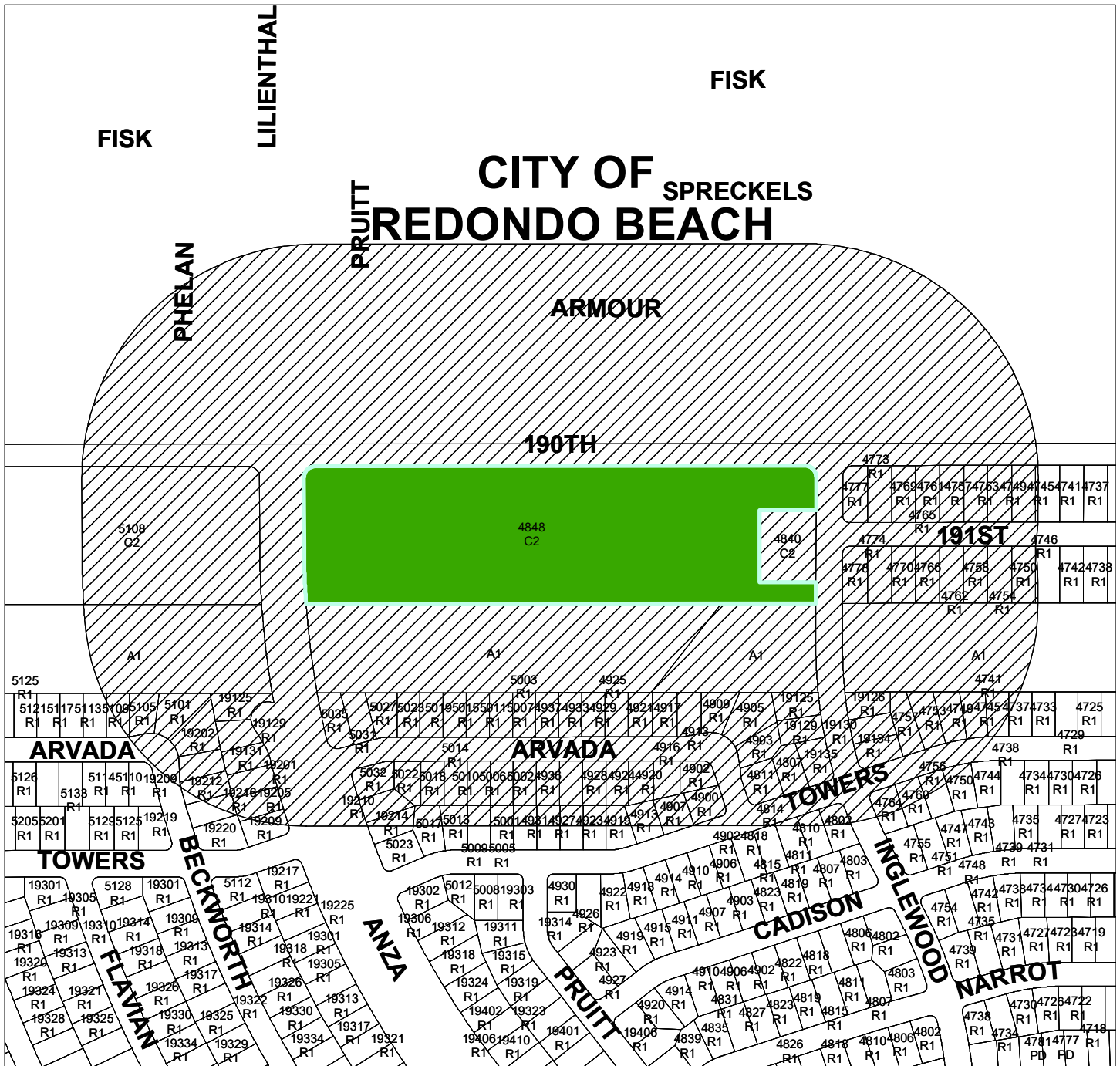
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

RECUSED: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8C
ATTACHMENT 2
LOCATION AND ZONING MAP



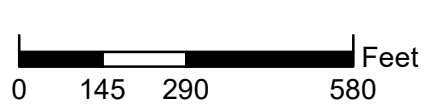
LOCATION AND ZONING MAP

CUP25-00004
4940 190th Street



LEGEND

-  Notification Area
-  4940 190th Street



ITEM 8C
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Torrance Municipal Code (TMC) requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

BUILDING AND SAFETY

1. Comply with 2022 California Codes and Torrance Ordinances

WATER

1. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

ENVIRONMENTAL

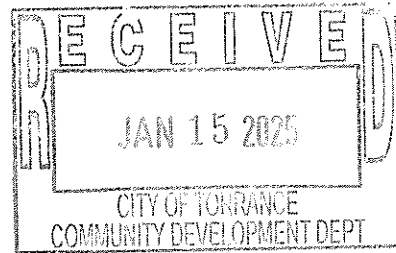
1. Screen all roof equipment from public view per TMC (92.30.2).
2. Double-line stripe all parking spaces per TMC (93.4.6).
3. Direct lighting away from residential land uses per TMC (92.30.5).
4. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
5. Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per TMC (92.30.4).

ITEM 8C
ATTACHMENT 4
BUSINESS NARRATIVE

CLUB PILATES OPERATION PLAN – 4940 W. 190th Street

This request is to allow the operation of a 4,652 square foot Pilates Studio in an existing commercial space in a multi-tenant shopping center at the corner of Anza Avenue and 190th Street. Club Pilates is a low-impact, full-body workout that uses a Pilates Reformer, TRX straps, a ballet bar, an EXO-chair, a Pilates Springboard, and other equipment designed to build strength, mobility, and stability. This studio has 12 reformers and adjacent to each reformer is an additional exercise area that is used by the student during class. This area has the EXO-chair, TRX bands, and Springboard. Each class is limited by the number of reformers in the studio; therefore, the maximum number of students in any class in this studio will be 12. Classes are 50 minutes long and run throughout the day from 6 am to 7 pm daily; with the last class ending no later than 8 pm. There is a 10-minute break between classes to allow students from the just completed class to leave and new students to arrive and settle in.

In addition to the 12 students, there is one instructor per class and one office staff person to check students in as they arrive. There may also be a manager on staff throughout the day. At most there will be three staff people on site during the hours of operation.



ITEM 8C
ATTACHMENT 5
PROJECT PLANS



CLUB PILATES
XPONENTIAL FITNESS BRAND
 4940 W. 190TH ST
 NORTH TORRANCE, CA 90503

KEYNOTES

1. TENANT SPACE MAIN ENTRANCE.
2. EXISTING CONCRETE SIDEWALK & CURB.
3. EXISTING GENERAL PARKING SPACES.
4. EXISTING ACCESSIBLE PARKING SPACES AND SIGNAGE.
5. EXISTING LANDSCAPING.
6. EXISTING CURB RAMP.
7. EXISTING CROSSWALK.

LEGEND

----- ACCESSIBLE PATH OF TRAVEL- SHALL BE MINIMUM 48" WIDE FROM ARRIVAL POINT TO THE MAIN ENTRANCE

NOTE:
 THIS IS AN EXISTING SITE, NO NEW WORK - FOR REFERENCE ONLY.

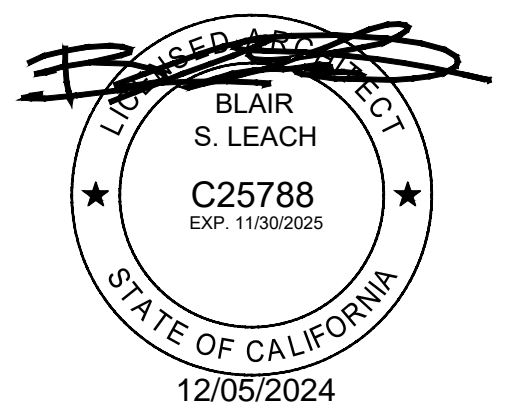
MUNICIPAL APPROVAL STAMP

XPONENTIAL
 FITNESS
 17877 VON KARMAN AVE
 SUITE 100
 IRVINE, CA 92614

CLUB PILATES
 PROJECT
 4940 W. 190TH ST
 NORTH TORRANCE, CA 90503

CLIENT

PROJECT



LICENSE EXPIRES ON: _____
 DATE OF SIGNATURE: _____

DXU
 ARCHITECTS
 15155 Hayden Road • Suite 225 • Scripps Ranch • AZ • 92090
 P: 858.528.1002 • F: 858.528.1001 • C: 858.528.1003
 CONSULTANTS

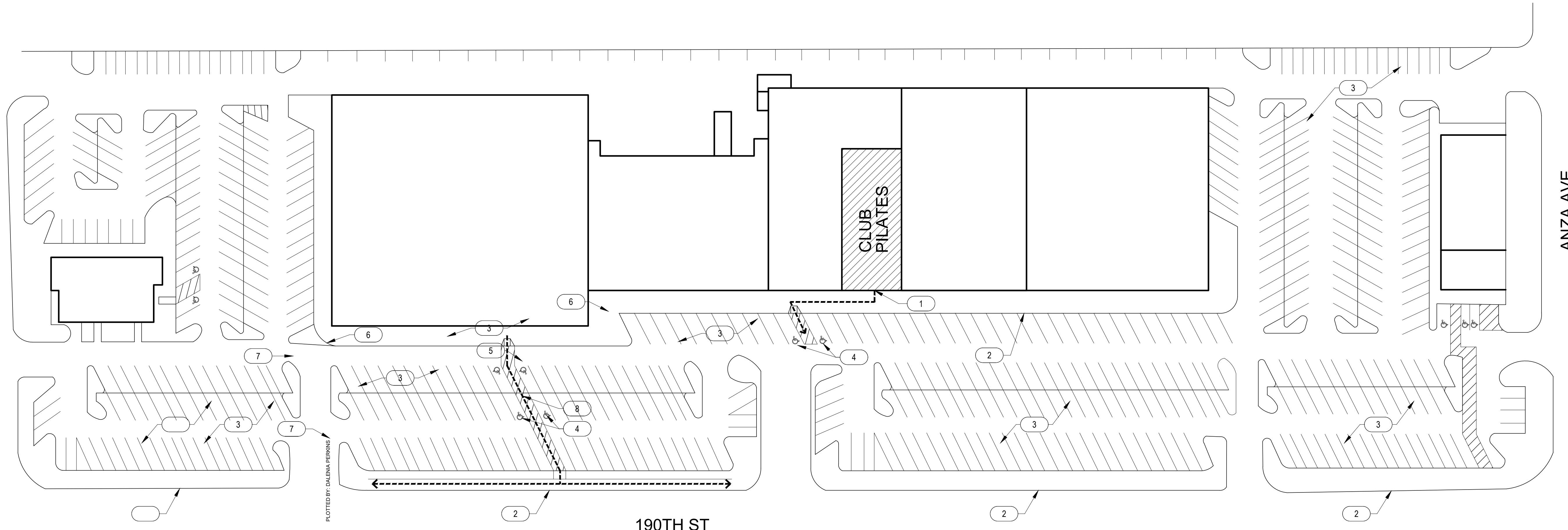
REVISIONS

No.	Issue	Date

SHEET TITLE & NUMBER
SITE PLAN

G0.0

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1 SITE PLAN
 SCALE: N.T.S

PLOTTED BY: DALENA PERKINS
 PLOT DATE: 12/05/2024 3:16 PM

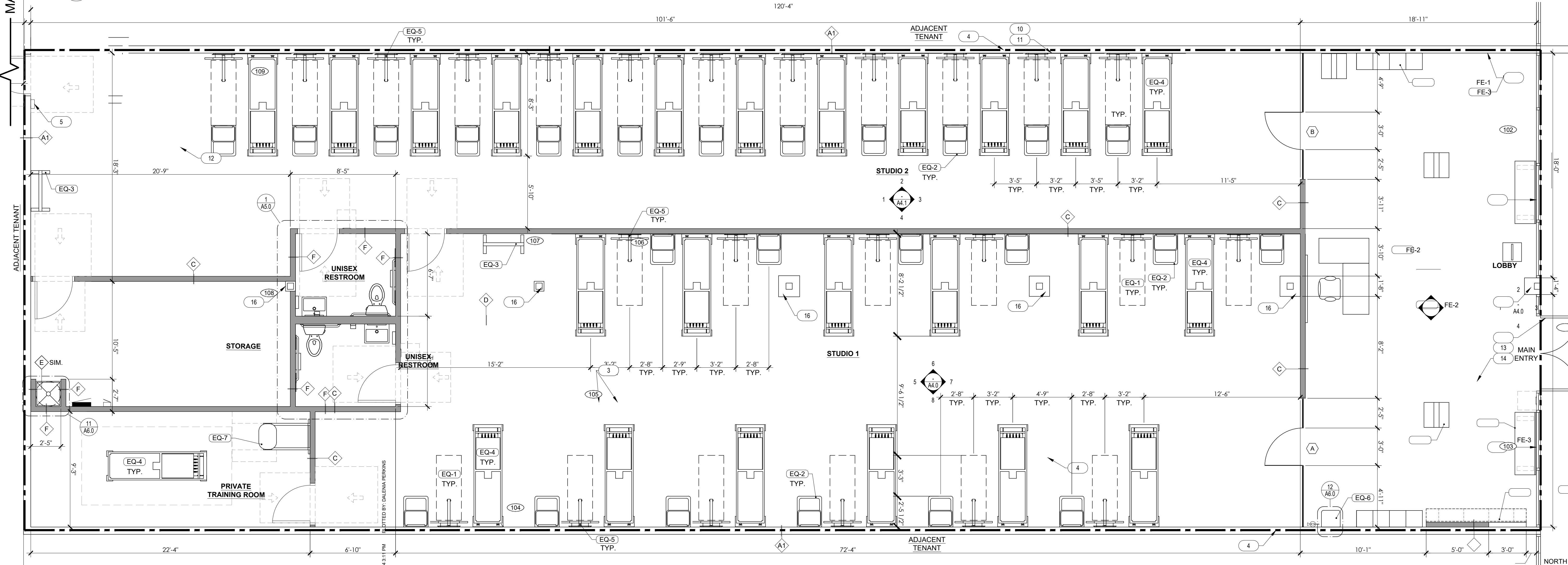
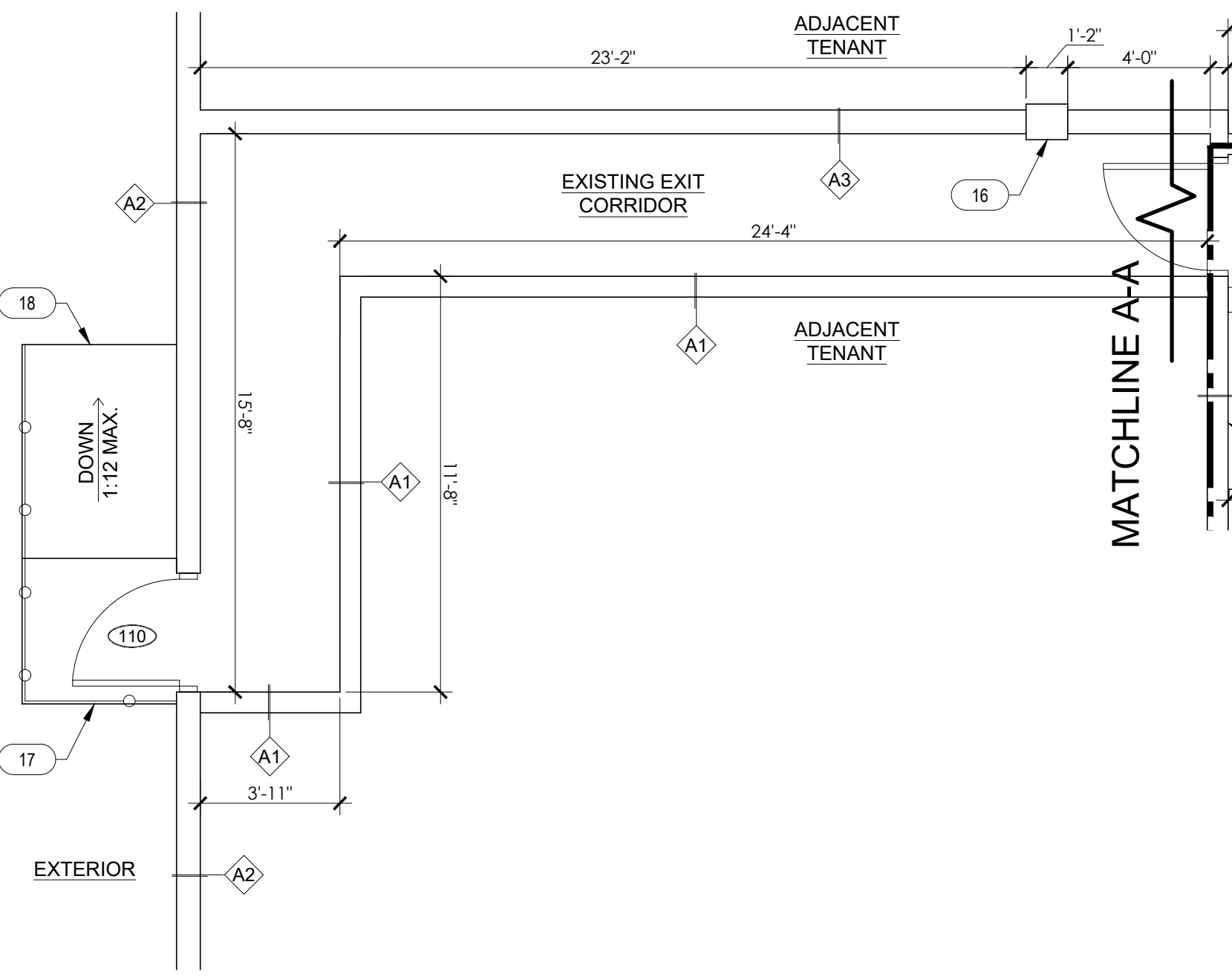
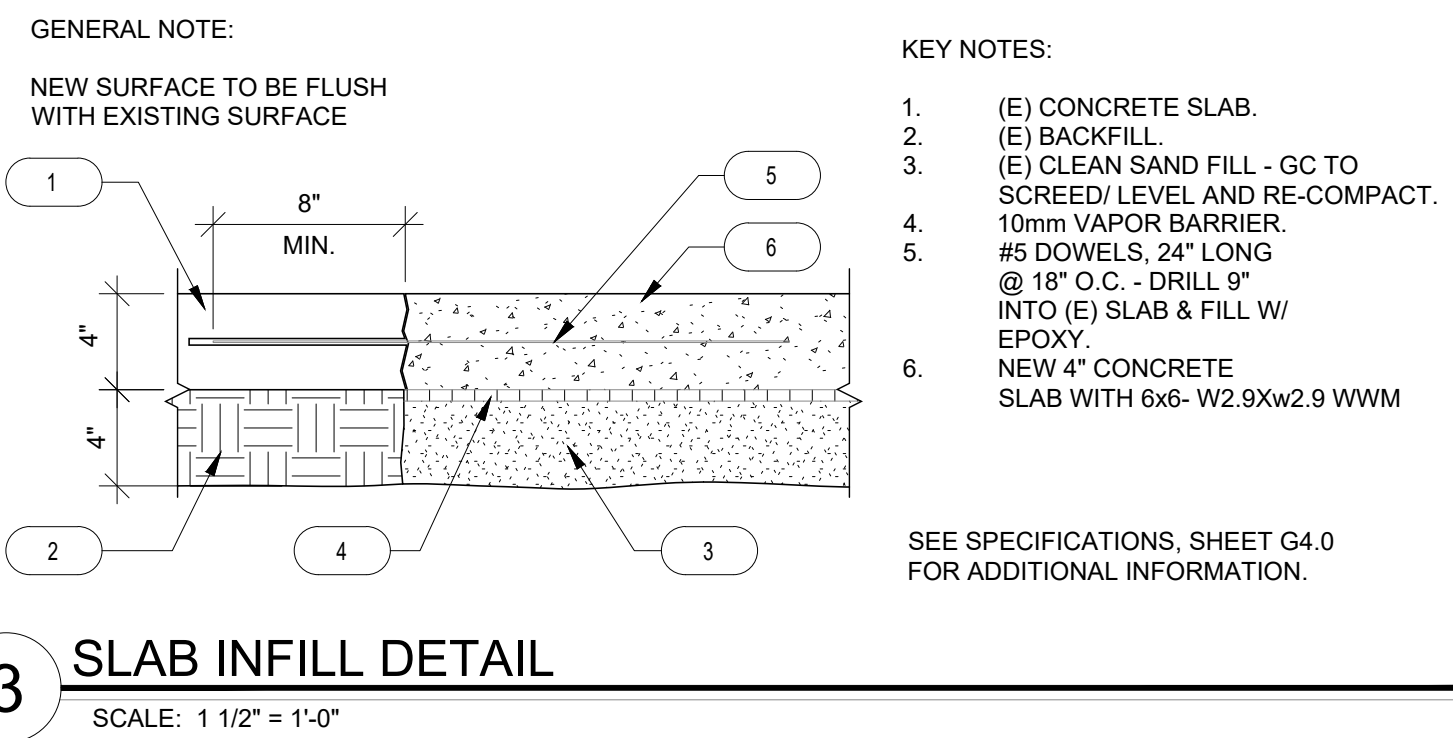
FURNITURE / FIXTURE SCHEDULE				
TAG	QTY.	ITEM	DESCRIPTION	NOTES
FE-1	2	STORAGE CUBBIES	64" W x 81" H	FLOOR MOUNTED - ANCHOR TO WALL
FE-2	2	RECEPTION DESK W/ RETURN	34" MAX. HT AT RETURN	-
FE-3	3	2-WAY DISPLAY	24" L x 23" W x 56-1/2" H	MOVEABLE
FE-4	2	SLAT WALL	96" L x 15" W x 96" H	WALL MOUNTED
FE-5	1	TOE SOX DISPLAY	18" W x 18" D x 65-1/2" H	MOVEABLE

EQUIPMENT SCHEDULE				
TAG	QTY.	ITEM	DESCRIPTION	NOTES
EQ-1	24	FLOOR MATS	18" W x 72" L	MOVEABLE
EQ-2	24	EXPO CHAIR	23-1/2" W x 39-1/2" L x 24-1/2" H	MOVEABLE
EQ-3	2	WEIGHT RACK	39" W x 18" D x 42-1/2" H	MOVEABLE
EQ-4	25	STUDIO REFORMER	8'-2" L x 2'-3" W x 14" H	-
EQ-5	24	SPRINGBOARDS & TRX	1'-8" W x 6'-0" H	WALL MOUNTED - TRX CENTERED WITH SPRINGBOARDS
EQ-6	1	FLOWATER DISPENSER	FLOWATER VENDER CONTACT: SERVICEXP@MYFLOWATER.COM 1.877.772.7775	REFER TO PLUMBING PLANS
EQ-7	1	LADDER BARREL	24-1/2" W X 47-1/4" L X 38" H	MOVEABLE
EQ-8	2	BENCH W/ BACK SEAT REST		

KEYNOTES

- EXISTING STOREFRONT SYSTEM AND ENTRY DOOR.
- G.C. TO PROVIDE WALL BLOCKING - SEE DETAIL 4/A6.0
- RELOCATED ELECTRICAL PANEL AND TIMECLOCK
- LEASE LINE.
- TACTILE EXIT SIGN W/ 18" x 18" CLEAR FLOOR SPACE.
- PROVIDE INTERNATIONAL ACCESSIBILITY SYMBOL.
- TACTILE RESTROOM SIGN W/ 18" x 18" CLEAR FLOOR SPACE.
- FLOWATER DISPENSER - SEE DETAIL 1/G5.1
- BLUE LED LOGO SIGN- REFER TO SHEET A4.0.
- MIRRORS & SPRINGBOARD - BLOCKING REQUIRED,SEE DETAIL 1/A6.0.
- MAPLE BOARD HEADER (8" L X 2" H X 5/8" THK; MOUNTED @ 6'-6" TO 8'-6" AFF. WOOD BLOCKING REQUIRED - SEE DETAIL 1/A6.0.
- WALL GRAPHIC - REFER TO SHEET A4.0.
- UTILITY SINK; REFER TO PLUMBING DRAWINGS - SEE DETAIL 11/A6.0.
- RELOCATED WATER HEATER; REFER TO PLUMBING DRAWINGS - SEE DETAIL 11/A6.0.
- MIRROR DIVIDING WALL.
- EXISTING COLUMN TO REMAIN.
- EXISTING 4'-6" x 4'-6" CONCRETE LANDING.
- EXISTING 4'-6" x 7'-0" CONCRETE RAMP.

- | TAG | DESCRIPTION |
|-----|--|
| A1 | EXISTING DEMISING WALL (FULL HEIGHT):
EXISTING WALL ASSEMBLY 6" X 20 GA METAL STUDS @ 16" O.C. WITH (1) LAYER 5/8" TYPE 'X' GYP. BD. ON EACH SIDE. R-19 BATT INSULATION. |
| A2 | EXISTING EXTERIOR WALL |
| A3 | EXISTING CORRIDOR WALL (FULL HEIGHT)
8" BRICK MASONRY |
| C | INTERIOR PARTITION (PARTIAL HEIGHT):
3 5/8" X 20 GA. MTL. STUDS @ 16" O.C. WITH 1 LAYER 5/8" GYP. BD. ON EACH SIDE TO 6" ABOVE CEILING. PROVIDE R-11 BATT INSULATION. |
| D | INTERIOR WALL (PARTIAL HEIGHT):
6" X 20 GA. MTL. STUDS @ 16" O.C. WITH 1 LAYER 5/8" TYPE 'MR' GYP. BD. ON EACH SIDE TO 6" ABOVE CEILING. PROVIDE R-19 BATT INSULATION. |
| E | INTERIOR WALL (PARTIAL HEIGHT):
3 5/8" X 20 GA. METAL STUDS @ 16" O.C. WITH 1 LAYER OF 5/8" GYP. BD. ON FINISHED SIDE TO DECK. PROVIDE R-11 BATT INSULATION. |
| F | INTERIOR PARTITION (PARTIAL HEIGHT):
3 5/8" X 20 GA. METAL STUDS @ 16" O.C. WITH 1 LAYER 5/8" OF TYPE 'MR' GYP. BD. ON RESTROOM SIDE TO 6" ABOVE CEILING AND 1 LAYER 5/8" GYP. BD. ON OPPOSITE SIDE TO 6" ABOVE CEILING. PROVIDE R-11 BATT INSULATION. |
- X WINDOW SCHEDULE - SEE G3.0



MUNICIPAL APPROVAL STAMP

XPONENTIAL FITNESS
17877 VON KARMAN AVE
SUITE 100
IRVINE, CA 92614

CLUB PILATES
4940 W. 190TH ST
NORTH TORRANCE, CA 90503

PROJECT

BLAIR S. LEACH
C25788
EXP. 11/30/2025
STATE OF CALIFORNIA
12/05/2024

LICENSE EXPIRES ON: _____
DATE OF SIGNATURE: _____

DXU ARCHITECTS
15150 N. Haven Road, Suite 225 • San Gabriel • AZ • 85040
302.505.1002 • AIA • IIDA • LEED • CB • IB

REVISIONS
Project Number: 24-633

Date _____
No. _____
Issue _____

SHEET TITLE & NUMBER
FLOOR & EQUIPMENT PLAN

A1.0

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AGENDA ITEM NO. 8D

DATE: July 16, 2025
TO: Planning Commission
FROM: Austin Lujan, Planning Assistant
SUBJECT: 25534 January Drive
Conditional Use Permit (CUP25-00007)
Division of Lot (DIV25-00002)

Consideration of Conditional Use Permit (CUP25-00007 to allow the construction of three residential units, in conjunction with Division of Lot (DIV25-00002) for condominium purposes, on property located in the Limited Multiple Family Residential District (R-3) Zone at 25534 January Drive. (APN 7536-004-009).

SUPPLEMENTAL

Staff recommends a continuance to a date certain of August 6, 2025.

STAFF CONTACT

Austin Lujan, Planning Assistant
ALujan@TorranceCA.gov