

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to PlanningCommission@TorranceCA.Gov. Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA
SEPTEMBER 3, 2025
REGULAR MEETING
6:30 P.M. IN THE LeROY J. JACKSON COUNCIL CHAMBER
AT 3031 TORRANCE BLVD.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM
LISTED ON THE AGENDA**

1. CALL MEETING TO ORDER

ROLL CALL: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

2. FLAG SALUTE: Commissioner Anunson

3. REPORT OF STAFF ON THE POSTING OF THE AGENDA

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, August 28, 2025.

4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS

5. ORAL COMMUNICATIONS

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

6. CONSENT CALENDAR

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

6A. Approval of Minutes: None

7. ADMINISTRATIVE MATTERS

8. HEARINGS

8A. Community Development – Conduct a Public Hearing to Consider Approval of DIV25-00003: ERIK HIGGINS

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Division of Lot to allow a lot line adjustment between two properties located within the Hillside Overlay in the Single-Family Residential District (R-1) Zone at 203 Via Pasqual and 214 Via Mesa Grande. This project is Categorically Exempt from the California Environmental Quality Act (CEQA) per Guidelines Section 15315 (Minor Land Divisions). (Res. No. 25-054)

8B. Community Development – Conduct a Public Hearing to Consider Approval of PRE25-00002: JEFF BROWNING

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Precise Plan of Development to allow one and two-story additions to an existing one-story single family residence, on property located within the Hillside Overlay in the Single-Family Residential District (R-1) Zone at 5320 Linda Drive This project is Categorically Exempt from the California Environmental Quality Act (CEQA) per Guidelines Section 15301 (Existing Facilities). (Res. No. 25-055)

9. RESOLUTIONS

10. COMMISSION ORAL COMMUNICATIONS

11. ADJOURNMENT

Adjournment of Planning Commission meeting to Wednesday, September 17, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber.

AGENDA ITEM NO. 8A

DATE: September 3, 2025

TO: Planning Commission

FROM: Austin Lujan, Planning Assistant
Robert Garcia, Planning Manager

SUBJECT: 203 Via Pasqual
214 Via Mesa Grande
Division of Lot (DIV25-00003)

Request of a Division of Lot (DIV25-00003) to allow a lot line adjustment between two properties located within the Hillside Overlay in the Single-Family Residential (R-1) Zone at 203 Via Pasqual (APN 7512-025-001) and 214 Via Mesa Grande (APN 7512-025-002).

RECOMMENDATION

Recommendation of the Community Development Director that the Planning Commission conduct a public hearing and consider adoption of Resolution No. 25-054 for approval of DIV25-00003 to allow a lot line adjustment between two properties, located within the Hillside Overlay in the R-1 Zone at 203 Via Pasqual and 214 Via Mesa Grande and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15315 (Minor Land Divisions).

EXECUTIVE SUMMARY

The project applicant, Erik Higgins, requests approval by the Planning Commission to allow a lot line adjustment between two properties, located within the Hillside Overlay in the R-1 Zone.

The development standards of the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Division of Lot (DIV) to allow a lot line adjustment between two lots.

Staff has determined the project is consistent with the Low Density Residential (R-LO) land use designation in the General Plan and complies with the development standards of the Torrance Municipal Code (TMC) and does not require environmental review. The project meets the criteria for granting a lot line adjustment and staff recommends approval of the project, as conditioned. The balance of this report provides an overview of the project.

DISCUSSION

General Plan Land Use Designation

The project sites have a General Plan land use designation of R-LO. Development in this designation is generally characterized by detached one and two story-single family dwellings on individual lots, forming a cohesive neighborhood. The proposed lot line adjustment between two parcels is consistent with the R-LO designation and does not result in any changes to land use.

Zoning Designation and Adjacent Land Uses

The project site has a zoning designation of R-1 Zone and is bounded by multiple parcels that share the same zoning designation and are developed with similar land uses.

NORTH:	R-1	Hillside Overlay; One and Two-Story, Single-Family Residences
SOUTH:	R-1	Hillside Overlay; One and Two-Story, Single-Family Residences
EAST:	R-1	Hillside Overlay; One and Two-Story, Single-Family Residences
WEST:	R-1	Hillside Overlay; One and Two-Story, Single-Family Residences

Project Site

The project is located on two parcels, identified on the project plans as 203 Via Pasqual and 214 Via Mesa Grande (Attachment 4), situated to the north of Via Pasqual and east of Via Mesa Grande.

214 Via Mesa Grande is a rectangular shaped lot that measures approximately 9,025 square feet. The parcel is developed with a one-story single-family residence located towards the center of the parcel. Access is provided directly from Via Mesa Grande via private garage and private walkway.

203 Via Pasqual is an irregular shaped lot that measures approximately 11,233 square feet. The parcel is developed with a two-story single-family residence located towards the center of the parcel. Access is provided directly from Via Mesa Grande via private garage and a private walkway along Via Pasqual.

Lot Line Adjustment

Per TMC Section 91.4.3, the minimum lot area shall be 6,000 square feet in the R-1 Zone. The proposed lot line adjustment between Parcel 1 (203 Via Pasqual) and Parcel 2 (214 Via Mesa Grande) repositions the existing centrally located diagonal lot line, which extends the width of Parcel 1 by approximately 12' towards the north while reducing the width of Parcel 2. The lot size of 214 Via Mesa Grande will now measure at 7,557 square feet and 203 Via Pasqual will measure at 12,663 square feet. The lot line adjustment does not result in any changes in land use nor interfere with access to Parcel 1 or 2 and does not affect any recorded easements.

Lot Dimensions

Parcel 1 measures 129.39' along the eastern portion of the parcel, 121.39' along the southern portion, 79.19' along the western portion of the lot and 121.35' along the northerly portion of the parcel. Parcel 2 measures 75.84' along the eastern portion of the parcel, 121.35' along the southern portion, 56.50' along the western portion of the lot and 110.00' along the northerly portion of the parcel.

The existing single-family residences both meet the minimum setback requirements allowed in the R-1 Zone with 214 Via Mesa Grande measuring 8'2" from the adjusted property line and 203 Via Pasqual measuring 17'2" from the adjusted property line.

Environmental Determination

Minor land divisions involving the creation of four or fewer parcels in urbanized areas are Categorically Exempt by the Guidelines for Implementation of CEQA; Article 19, Section 15305 (Minor Alterations in Land Use Limitations).

CONCLUSION

In the judgment of staff, the proposed lot line adjustment is compatible with the current R-1 Zone and the R-LO land use designation and is consistent with the surrounding area which includes single family residences. For these reasons, staff recommends approval of the request as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on August 21, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

RIGHT OF APPEAL

In accordance with TMC Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolutions. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 25-054
2. Location and Zoning Map
3. Code Requirements
4. Project Plans
5. Correspondence

STAFF CONTACT

Austin Lujan, Planning Assistant
ALujan@TorranceCA.gov

ITEM 8A
ATTACHMENT 1
RESOLUTION NO. 25-054

PLANNING COMMISSION RESOLUTION NO. 25-054

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW A LOT LINE ADJUSTMENT BETWEEN TWO LOTS, ON PROPERTIES LOCATED WITHIN IN THE HILLSIDE OVERLAY IN THE SINGLE-FAMILY RESIDENTIAL ZONE AT 203 VIA PASQUAL AND 214 VIA MESA GRANDE.

DIV25-00003: ERIK HIGGINS

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on September 3, 2025, to consider an application for a Division of Lot (DIV25-00003) filed by Erik Higgins to allow a lot line adjustment between two lots, on property located within the Hillside Overlay in the Single-Family Residential (R-1) Zone at 203 Via Pasqual and 214 Via Mesa Grande; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code (TMC); and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties are located at 203 Via Pasqual (APN 7512-025-001) and 214 Via Mesa Grande (APN 7512-025-002);
- b) That Parcel 1 is described as the TRACK 19305 LOT 101, as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That Parcel 2 is described as the TRACK 19305 LOT 102, as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- d) That minor lot line adjustments which do not result in any changes to land use nor the creation of any new parcels are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15315 (Minor Land Divisions);
- e) That the proposed lot line adjustment, as conditioned, together with provision for its design and improvement is consistent with the Low Density Residential (R-LO) land use designation;
- f) That the proposed lot line adjustment, as conditioned, is permitted within the R-1 Zone , and complies with the applicable provisions of this Division;
- g) That the site is physically suitable for the proposed lot line adjustment, as conditioned, and will not interfere with the orderly development of the City as the adjusted parcels are consistent with the development pattern in the area, and are consistent with the R-1 Zone development standards;
- h) That the proposed lot line adjustment, as conditioned, will not produce any or all of the following results:
 - Damage or nuisance from noise, smoke, odor, dust or vibration,
 - Hazard from explosion, contamination or fire,
 - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

- i) That the proposed lot line adjustment, as conditioned, will not conflict with any public access or easements as all means of public access are either being maintained or improved; and

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** DIV25-00003, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that DIV25-00003 filed by Erik Higgins, to allow a lot line adjustment between two lots, on property located in the R-1 Zone at 203 Via Pasqual and 214 Via Mesa Grande, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the lot line adjustment shall be subject to all conditions imposed in DIV 25-00003 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the use shall be maintained in conformance with such maps, plans, drawings, specifications, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if DIV 25-00003 is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period of time as provided for in TMC Section 92.27.1; and
3. That the official public notice sign and wood stake shall be returned to the Community Development Department within 30 days of the public hearing date to the satisfaction of the Community Development Director. (Planning)
4. Introduced, approved and adopted this 3rd day of September 2025.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 3rd day of September 2025, by the following roll call vote:

AYES: COMMISSIONERS:

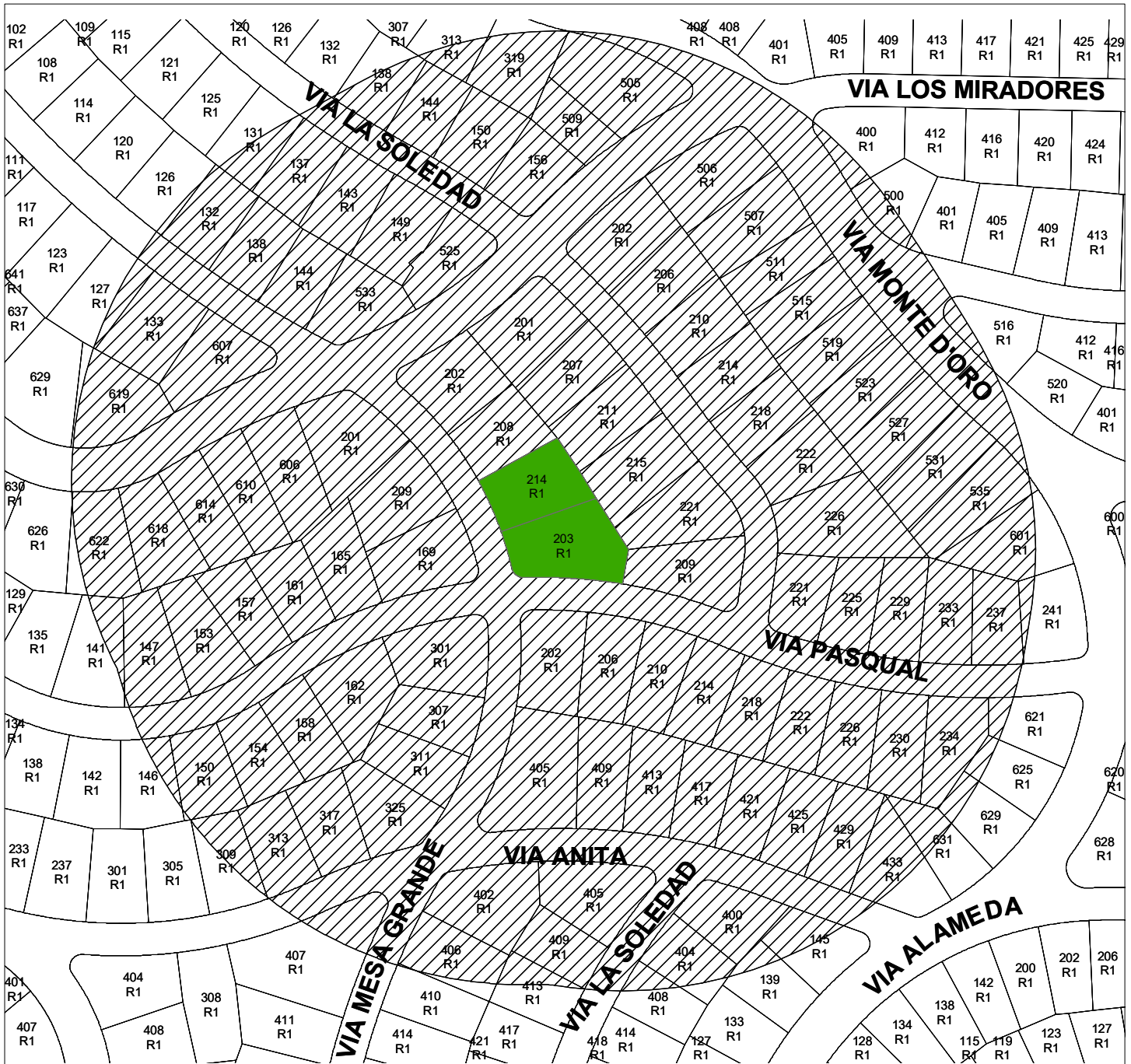
NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8A
ATTACHMENT 2
LOCATION & ZONING MAP



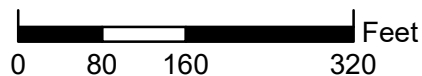
LOCATION AND ZONING MAP

203 Via Pasqual
 214 Via Mesa Grande
 DIV25-00003



LEGEND

- 203 Via Pasqual & 214 Via Mesa Grande
- Notification Area



ITEM 8A
ATTACHMENT 3
CODE REQUIREMENTS

CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

ENGINEERING

1. A certificate of compliance shall be submitted by the developer, approved by the City, and recorded with the County Recorder's Office.

ITEM 8A
ATTACHMENT 4
PROJECT PLANS

EXHIBIT "A"

EXISTING LEGAL DESCRIPTIONS

APN: 7512-025-001

LOT 101 OF TRACT NO. 19305, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 526 PAGES 12 TO 16 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 7512-025-002

LOT 102 OF TRACT NO. 19305, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 526 PAGES 12 TO 16 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



EXHIBIT "B"

PROPOSED LEGAL DESCRIPTIONS:

APN: 7512-025-001

LOT 101 AND THE SOUTHEASTERLY 12.00 FEET OF LOT 102 MEASURED PERPENDICULAR TO THE SOUTHEASTERLY LINE OF SAID LOT 102 OF TRACT NO. 19305, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 526 PAGES 12 TO 16 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 7512-025-002

LOT 102 OF TRACT NO. 19305, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 526 PAGES 12 TO 16 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THE SOUTHEASTERLY 12.00 FEET MEASURED PERPENDICULAR FROM THE SOUTHEASTERLY LINE OF SAID LOT.

AS SHOWN ON EXHIBIT "C" ATTACHED HERETO MADE A PART THEREOF.

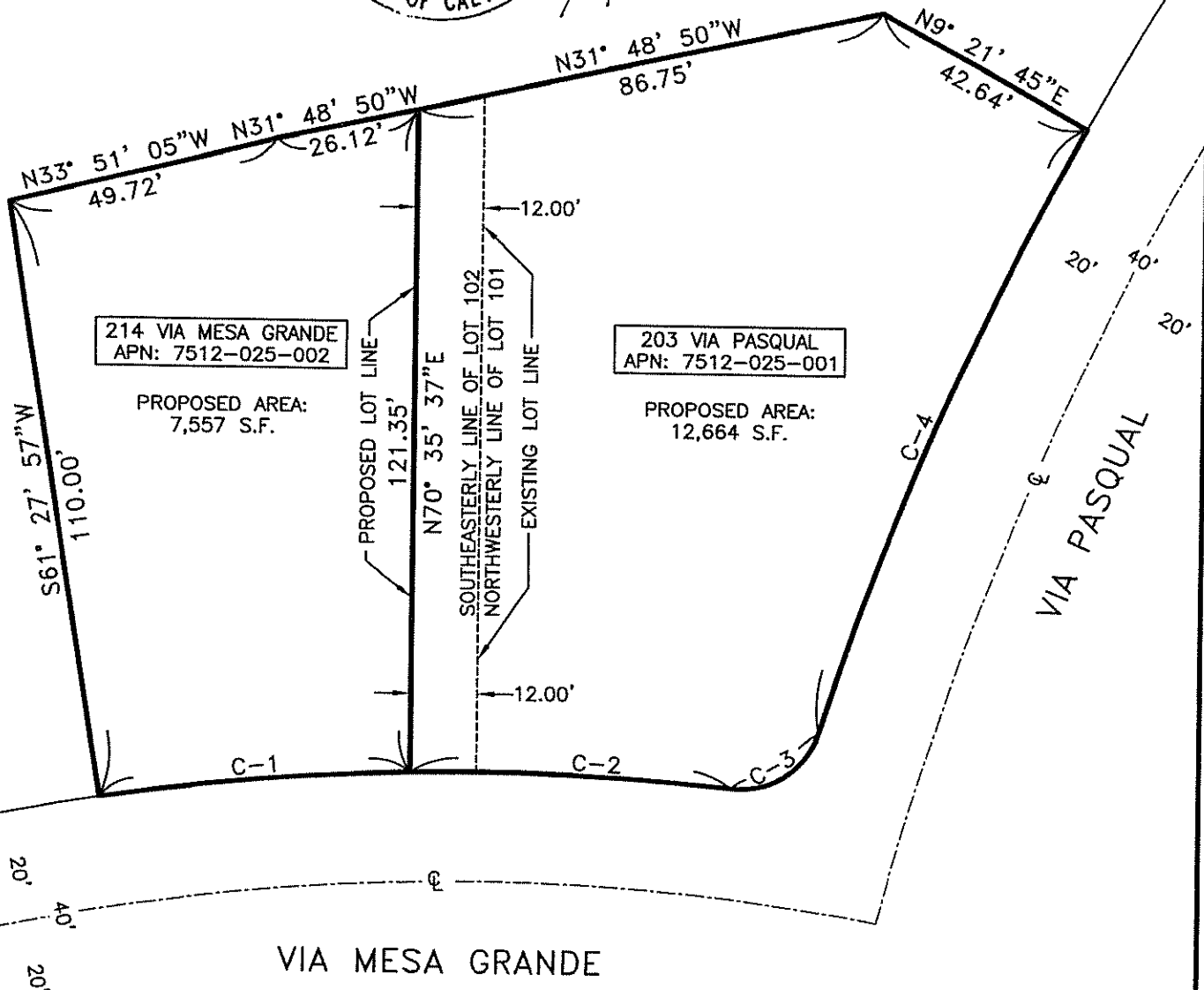
SUBJECT TO COVENANTS, CONDITIONS, RESERVATIONS, RESTRICTIONS, RIGHT-OF-WAY AND EASEMENTS OF RECORD IF ANY.

PREPARED BY ME OR UNDER MY DIRECTION.



3/6/25

EXHIBIT "C"



CURVE DATA

CURVE	LENGTH	RADIUS	DELTA
C-1	56.50'	430.00'	7°31'41"
C-2	58.60'	430.00'	7°48'32"
C-3	20.59'	15.00'	78°48'32"
C-4	121.39'	620.00'	11°13'05"

0 7.5 15 30 FEET 60



SCALE 1" = 30'

ITEM 8A
ATTACHMENT 5
CORRESPONDENCE

Public Comment to Record Number DIV25-00003,
Project Address of 203 Via Pasqual and 214 Via Mesa Grande.
for hearing on Planning Commission Agenda for September 3, 2025

The "Notice of Public Hearing" that I received via the United States Postal Service asserts that Notices are mailed to the registered owners of properties located within a 500-foot radius of the exterior boundaries of the subject property. The Notice also indicates that a copy of the Notice was published on August 22, 2025. Based on the inclusion at the end of the Notice of the words:

MICHELLE RAMIREZ
Community Development Director

apparently, the content of the Notice was approved by Michelle Ramirez, the Director of the Torrance Community Development Department, i.e. by Community Development Department Director Ramirez, "CDDD" Ramirez.

In addition to other statements, the Notice of Public Hearing includes a paragraph titled: "RESOLUTION No. 88-19" that recites:

"RESOLUTION NO. 88-19

Any challenge in court to items listed on the meeting agenda may be limited to only those issues raised at the public hearing described in this notice, or in written comments delivered to the Community Development Department or the City Clerk's Office, prior to the public hearing and further, by the terms of Resolution No. 88-19, and may be limited to 90 days in which to commence such legal action pursuant to Section 1094.6 of the Code of Civil Procedure."

Based on the title of this paragraph, and the inclusion of this paragraph within the Notice of Public Hearing, it is my impression that CDDD Ramirez intends that the recipients of the Notice understand the contents of the paragraph titled Resolution No. 88-19 to constitute the assertion by CDDD Ramirez stating the following: CDDD Ramirez asserts that: i) the paragraph labeled "Resolution No. 88-19" recites the contents of "Resolution No. 88-19", and ii) that Section 1094.6 of the California Code of Civil Procedure includes within it the recitation of the requirements that:

"Any challenge in court to items listed on the meeting agenda may be limited to only those issues raised at the public hearing described in this notice, or in written comments delivered to the Community Development Department or the City Clerk's Office, prior to the public hearing."

In response to my initial inquiry as to where I could obtain a copy of the text of "Resolution No. 88-19", personnel at the City of Torrance, were unable to provide this information to me. Fortunately, after my further inquiry, an employee of the City of Torrance was able to locate and delivered to me a copy of a document identified as a copy of "Resolution No. 88-19".

I reproduce, below, the contents of the document titled:

RESOLUTION NO. 88-19

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF TORRANCE MAKING THE PROVISIONS OF CODE OF CIVIL PROCEDURE SECTION 1094.6 APPLICABLE TO THE CITY OF TORRANCE PROVIDING FOR JUDICIAL REVIEW OF ADMINISTRATIVE DECISIONS

WHEREAS, California Code of Civil Procedure Section 1094.6(g) permits the governing body of a local agency, which includes a city, to adopt a resolution making Code of Civil Procedure Section 1094.6 applicable to such city, and

WHEREAS, the City Council finds and determines that such will provide an orderly and reasonable procedure for the review of administrative decisions,

NOW, THEREFORE the City Council of the City of Torrance does hereby resolve as follows:

That the provisions of Section 1094.6 of the California Code of Civil Procedure are applicable to the City of Torrance.

Introduced, approved, and adopted this 26th day of January 1988.

(signed Katy Geissert)

Mayor of the City of Torrance

ATTEST:

(signed by)

City Clerk of the City of Torrance

APPROVED AS TO FORM:
STANLEY E. REMELMEYER
CITY ATTORNEY

(signed by)
By _____

ORIGINAL

I have examined the current text of California Code of Civil Procedure Section 1094.6, and reexamined the text of RESOLUTION NO. 88-19. It is my impression that nowhere in either of these documents do words appear that recite, or assert, that:

"Any challenge in court to items listed on the meeting agenda may be limited to only those issues raised at the public hearing described in this notice, or in written comments delivered to the Community Development Department or the City Clerk's Office, prior to the public hearing."

or words to that effect.

In the hope of reducing the risk that any of the parties directly involved in the Noticed Hearing, as well as the Staff of the Community Development Department and CDDD Ramirez, and other interested members of the public may be misled by the content of the paragraph in the Notice that is titled: "RESOLUTION NO. 88-19", may I ask that CDDD Ramirez arrange for Staff to include the following information in the material posted by Staff on-line prior to the hearing by the Planning Commission of Record Number DIV25-00003 on its Agenda for September 3, 2025. I ask that Staff post a statement of, and citations to, any bases that CDDD Ramirez contends support any of the assertions recited in the quotation, above, that recites portions of the statements that appear in the Notice of Hearing under the caption: "RESOLUTION NO. 88-19".

Sincerely,

G. Joseph Buck Resident of the Hillside for 41 years

AGENDA ITEM NO. 8B

DATE: September 3, 2025

TO: Planning Commission

FROM: Luis E. Velazquez, Planning Associate

SUBJECT: 5320 Linda Drive
Precise Plan of Development (PRE25-00002)

Consideration of a Precise Plan of Development (PRE25-00002) to allow one and two-story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the Single-Family Residential District (R-1) Zone at 5320 Linda Drive (APN 7530-005-009).

RECOMMENDATION

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 25-055 for approval of PRE25-00002 to allow one and two-story additions to an existing one-story single family residence, on property located within the Hillside Overlay in the R-1 Zone and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

EXECUTIVE SUMMARY

The project applicant, Jeff Browning, requests approval by the Planning Commission to allow to allow one and two-story additions to an existing one-story single-family residence, on property located within the Hillside Overlay in the R-1 Zone.

The development standards of the R-1 Zone as well as the planning and design provisions of the Hillside Overlay are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Precise Plan of Development to allow additions above 14' in height and higher than one-story.

Staff has thoroughly reviewed the project and has determined the project is consistent with the General Plan Low Density Residential land use designation (R-LO) and complies with the objective development standards of the R-1 Zone, as well as the planning and design provisions of the Hillside Overlay and does not require further environmental review. The balance of this report provides an overview of the project.

DISCUSSION

General Plan Land Use Designation

The project site has a General Plan land use designation of R-LO, which allows up to nine dwelling units per acre. Development in the R-LO land use designation is characterized generally by detached one and two-story single-family residences on individual lots forming a cohesive neighborhood. The construction of a two-story single-family residence is consistent with the R-LO land use designation.

Zoning Designation and Adjacent Land Uses

The project site is designated as R-1 Zone and Hillside Overlay and bounded by four parcels that share the same zoning designation and developed with similar land uses (Attachment 2).

NORTH: R-1 / R-H One and Two-Story Single-Family Residences
SOUTH: R-1 / R-H One and Two-Story Single-Family Residences
EAST: R-1 / R-H One and Two-Story Single-Family Residence
WEST: R-1 / R-H One and Two-Story Single-Family Residence

Project Site

The subject property is located on the south side of Linda Drive, between Robert Road and Carol Drive. The project site is located on an irregularly shaped lot measuring 13,800 square feet and is oriented towards the north along Linda Drive. This block of Linda Drive slopes up from both Robert Road and Carol Drive peaking at about the subject site. The properties east and west to the subject property sit at about the same elevation while the properties to the south are at a much higher elevation. The properties directly north appear as one-story from street level, with most designed as two-story taking advantage of their down-sloping lots.

The property was originally developed as a one-story single-family residence with a detached two-car garage in 1951.

Project Scope

The proposed project is a major remodel that involves the demolition of the existing garage, construction of a new two-car garage, one and two-story additions.

Building Architecture

The proposed two-story home features a Modern Mediterranean Revival architectural style. The design incorporates smooth stucco wall finishes, arched architectural detailing, and wrought iron style balcony elements that contribute to a cohesive and regionally appropriate aesthetic. The structure includes a combination of vertically oriented windows, decorative exterior lighting, and multiple projecting balconies and overhangs supported by architectural elements. While the design draws from traditional Mediterranean forms, it also includes modern interpretations such as standing seam metal roofing and simplified massing. Overall, the project reflects a blend of classic and contemporary influences that enhance the visual interest of the structure while maintaining compatibility with the surrounding built environment.

Building Floor Plan

The ground floor spans 1,834 square feet and features a modern, open-concept layout. A newly designed entry foyer flows into a spacious kitchen, dining area, and living room. Large sliding doors from the dining room open to a covered patio, while additional sliding doors from the living room lead to a front patio with a deck at grade, both creating a seamless indoor-outdoor living experience. The floor plan also includes a mudroom, pantry, and a newly added guest bedroom with its own private bathroom. The design emphasizes fluid transitions between spaces, enhancing both functionality and comfort throughout. At the rear of the property, a new two-car garage is proposed with an external half bathroom. The garage is detached but connected to the main residence by an open breezeway measuring approximately 15' feet wide, providing covered access to the kitchen entry.

The second floor encompasses 1,513 square feet and includes a primary suite with a walk-in closet and bathroom, two additional bedrooms, a shared bathroom, a laundry room, and a central

vestibule. Both the vestibule and the primary suite provide access to an outdoor balcony topped with a trellis, offering a cohesive indoor-outdoor connection.

Building Setbacks and Site Improvements

The proposed project will be located approximately midway between the front and rear property lines, providing a front yard setback greater than the required 20 feet and a rear yard setback of 42 feet 9 inches, both exceeding the minimum requirements. The west side yard setback will measure 9 feet 8 inches, while the east side yard setback will be 13 feet 11 inches to accommodate a driveway leading to the new garage. At the rear of the property, a new concrete deck and retaining walls are proposed. Front yard improvements include a new drive court, several planters, and a front deck area. The project also includes new walls and fences, which will be required to comply with the standards set forth in the Torrance Municipal Code (TMC).

Building Height

The proposed residence will measure approximately 25.97 feet tall with a Lowest Adjacent Grade (LAG) of 167.78 feet. The highest ridge as noted on the plans will be 193.75 feet. Staff notes that the R-1 Zone allows a maximum height of 27 feet, and in the Hillside Overlay Zone, a two-story structure up to this height may be approved by the Planning Commission.

Floor Area Ratio, Lot Coverage, and Open Space

The proposed two-story residence will have a Floor Area Ratio (FAR) of 0.30, totaling 4,142 square feet. Staff notes that the R-1 Zone allows for a maximum FAR of 0.60. The Lot Coverage is shown as 29% and is lower than the Code maximum of 40% for two-stories for the R-1 Zone. The project’s open space is shown as 5,134 square feet (37.2%) which exceed the minimum required.

Provided below is a summary of the proposed residence:

238 Via Linda Vista	
	Proposal
Lot Area	13,800 sf
Proposed Building Height	25.97 ft
Maximum Two-Story Building Height Limit	27 ft
Proposed First Floor Area	1,834 sf
Proposed Second Floor Area	1,513 sf
Proposed Garage Floor Area	546 sf
Proposed Breezeway Floor Area	249 sf
Proposed Total Floor Area	4,142 sf
Proposed Lot Coverage	29% 4,015 sf
Maximum Lot Coverage Limit	40% 2,805 sf
Proposed Floor Area Ratio	0.30 FAR
Maximum Floor Area Ratio Limit	0.60 FAR
Proposed Open Space Area	37.2% 5,134 sf
Minimum Open Space Requirement	33% 4,600 sf

Hillside Overlay

In accordance with Article 41, Chapter 1, Division 9 of the TMC, the Planning Commission is required to make a series of findings relating to the planning and design of the project and its potential to have a substantial adverse impact on the view, light, air, and privacy of properties in the vicinity. The applicant has responded to this requirement in the Hillside Overlay Substantiation Form (Attachment 3). The applicant was also required to construct a silhouette of the proposed two-story residence to demonstrate potential impacts. A licensed engineer has verified the height of the silhouette (Attachment 4), and staff made field assessments on July 10, 2025.

In judgement of staff, based on the silhouette placement and existing site conditions, the proposed project does not appear to produce adverse impacts to surrounding views, light air, or privacy as properties to in the vicinity are at varying elevations.

Field assessments were not conducted from other properties located along Carol Drive or Bindewald Road due to their distance away from the project site, changes in elevation, and in the judgement of staff, the unlikelihood to have substantial adverse impacts to view, light, air and privacy.

ENVIRONMENTAL DETERMINATION

In residential zones, one and two-story additions to existing single-family residences are Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

CONCLUSION

In staff's judgment, the proposed one- and two-story additions are consistent with the planning and design provisions of the Hillside Overlay and would not result in a substantial adverse impact on the view, light, air, or privacy of surrounding properties. The additions have been thoughtfully designed to take advantage of the site's higher elevation and are strategically located to avoid any direct privacy conflicts or view obstruction to neighboring properties. As a result, the potential for adverse impacts is minimized. The project is compatible with surrounding development and represents an appropriate use within the neighborhood. Furthermore, the proposal complies with the objective development standards of the R-1 Zone and aligns with the Low-Density Residential land use designation. Staff recommends approval of the project, as conditioned.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

CODE REQUIREMENTS

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 5). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

PUBLIC NOTICE

In accordance with the TMC, a notice for a public hearing was made no less than 10 calendar days before the Planning Commission meeting. This notice was also posted at the project site and mailed on August 21, 2025, to all registered property owners located within a 500' radius of the exterior boundaries of the project site. Additionally, a notice was published in the local newspaper (The Daily Breeze) and posted on the City of Torrance Planning Commission webpage.

RIGHT OF APPEAL

In accordance with TMC Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

PROJECT PLANS

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

ATTACHMENTS

1. Resolution No. 25-055
2. Location and Zoning Map
3. Hillside Substantiation Form
4. Silhouette Certification Form
5. Code Requirements
6. Project Plans

STAFF CONTACT

Luis E. Velazquez, Planning Associate
LVelazquez@TorranceCA.gov

ITEM 8B
ATTACHMENT 1

RESOLUTION

ITEM 8B
ATTACHMENT 1

PLANNING COMMISSION RESOLUTION NO. 25-055

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 41 OF THE TORRANCE MUNICIPAL CODE APPROVING A PRECISE PLAN OF DEVELOPMENT TO ALLOW ONE AND TWO-STORY ADDITIONS TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE, ON PROPERTY LOCATED WITHIN THE HILLSIDE OVERLAY IN THE SINGLE-FAMILY RESIDENTIAL DISTRICT ZONE AT 5320 LINDA DRIVE.

PRE25-00002: JEFF BROWNING (SOMOS LIFE HOLDINGS LLC)

WHEREAS, the Planning Commission of the City of Torrance conducted a public hearing on September 3, 2025, to consider an application filed by Jeff Browning (Somos Life Holdings LLC) to allow one and two-story additions to an existing single-family residence, on property located within the Hillside Overlay in the Single-Family Residential District (R-1) Zone at 5320 Linda Drive; and

WHEREAS, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 41 of the Torrance Municipal Code (TMC); and

WHEREAS, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 5320 Linda Drive (APN 7530-005-009);
- b) That the property is described as Lot 9, Block 9 of Tract 13901 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That in residential zones, one and two-story additions to an existing single-family residence is Categorically Exempt pursuant to the Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15301 (Existing Facilities);
- d) That the proposed additions, as conditioned, complies with the objective development standards of the R-1 Zone and is consistent with the General Plan Low-Density Residential (R-LO) designation of the Land Use Element of the General Plan of the City of Torrance;
- e) That the proposed additions, as conditioned, will not have a substantial adverse impact upon the view, light, air and privacy of other properties in the vicinity because the second floor has a reduced footprint with step-backs to minimize massing and shadow impacts, and the existing topography helps avoid adverse impairments to surrounding properties;
- f) That the proposed additions, as conditioned, has been located, planned and designed so as to cause the least intrusion on the views, light, air, and privacy of other properties in the vicinity because it respects the natural grade, avoids unnecessary grading, and minimizes potential view or privacy conflicts through appropriate siting and design;
- g) That the design of the proposed additions, as conditioned, provides an orderly and attractive development in harmony with other properties in the vicinity because the architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest and the proposed exterior design elements are in keeping with the architecture and finishes of neighboring properties;
- h) That the design, as conditioned, will not have a harmful impact upon the land values and investment of other properties in the vicinity because the proposed residence incorporates

high-quality materials and architectural detailing consistent with surrounding development, and uses second-story step-backs and open rail balcony design to reduce visual bulk and maintain neighborhood compatibility;

- i) That granting such application, as conditioned, would not be materially detrimental to the public welfare and to other properties in the vicinity because a two-story, single-family residence is an appropriate use for this property and the proposed additions comply with all applicable development standards including setbacks, lot coverage, and floor area ratio requirements and the Hillside Overlay District;
- j) That the proposed additions, as conditioned, would not cause or result in an adverse cumulative impact on other properties in the vicinity because the new residence conforms to the R-LO Designation of the Land Use Element of the General Plan of the City of Torrance and the residence has been designed to limit potential adverse impacts to view, light, air, and privacy;

WHEREAS, the Planning Commission by the following roll call vote **APPROVED** PRE25-00002, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

NOW, THEREFORE, BE IT RESOLVED that PRE25-00002 filed by Jeff Browning (Somos Life Holdings LLC) to allow one and two-story additions to a single-family residence, on property located within the Hillside Overlay in the R-1 Zone at 5320 Linda Drive, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for a single family residence shall be subject to all conditions imposed in PRE25-00002 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award;
3. That if PRE25-00002 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC;

4. That the maximum height of the residence at the highest point of the roof shall not exceed 193.75' based on the proposed lowest adjacent grade of 167.78' located at the front northwest corner of the residence, based on a benchmark elevation of 83.39' located to the north of the property in the public right-of-way as shown on the official survey map on file in the Community Development Department. The final height of the proposed residence shall be certified by a licensed surveyor/engineer prior to requesting a framing of roof-sheathing inspection to verify the entire roof framing and design remains consistent with the elevation heights and roof design approved by the Planning Commission; (Planning)
5. That a copy of Planning Commission Resolution No. 25-055 shall appear on the building plans associated with the Precise Plan of Development to facilitate coordination and effective implementation of the conditions of approval; (Planning)
6. That a landscape plan shall be submitted to the Planning Division for review and approval prior to building permit issuance. The landscape plan shall be prepared in compliance with the latest State Water Efficient Landscape Ordinance and shall utilize drought tolerant California friendly vegetation, shade-producing trees, and shall provide a water efficient irrigation system. The landscape plan shall be implemented prior to occupancy, and landscaping shall be maintained in good condition to the satisfaction of the Community Development Director; (Planning)
7. That the Lowest Adjacent Grade (LAG) shall be identified on the final Building Plans, Site Plans, and Elevations to the satisfaction of the Community Development Director; (Planning)
8. That detailed plans for any proposed on-site walls, retaining walls, fences or gates shall be required, and that separate Building Permits will be required for new or as-built retaining walls, freestanding walls, fences, gates, railings, etc. All walls, fences and retaining walls must be compliant with the TMC; (Planning/Building)
9. That any exterior appliances or equipment shall be shown on final Building Plans, with setbacks noted, and if visible from the street, shall be fully screened to the satisfaction of the Community Development Director, prior to the issuance of any Building Permits; (Planning)
10. That the final Building Plans shall label any fireplaces, chimneys, vents, solar panels, skylights, or any other equipment, on the elevations and roof plan, prior to Building Permit issuance, to the satisfaction of the Community Development Director; (Planning)
11. That the silhouette shall remain in place for at least 15 days through the appeal period, but no more than 45 days after the final public hearing to the satisfaction of the Community Development Director; (Planning)
12. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake, provided there is no appeal, to the satisfaction of the Community Development Director; (Planning)
13. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, and adopted this 3rd day of September 2025.

ATTEST:

Secretary, Torrance Planning Commission

Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF TORRANCE)

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 3rd day of September 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

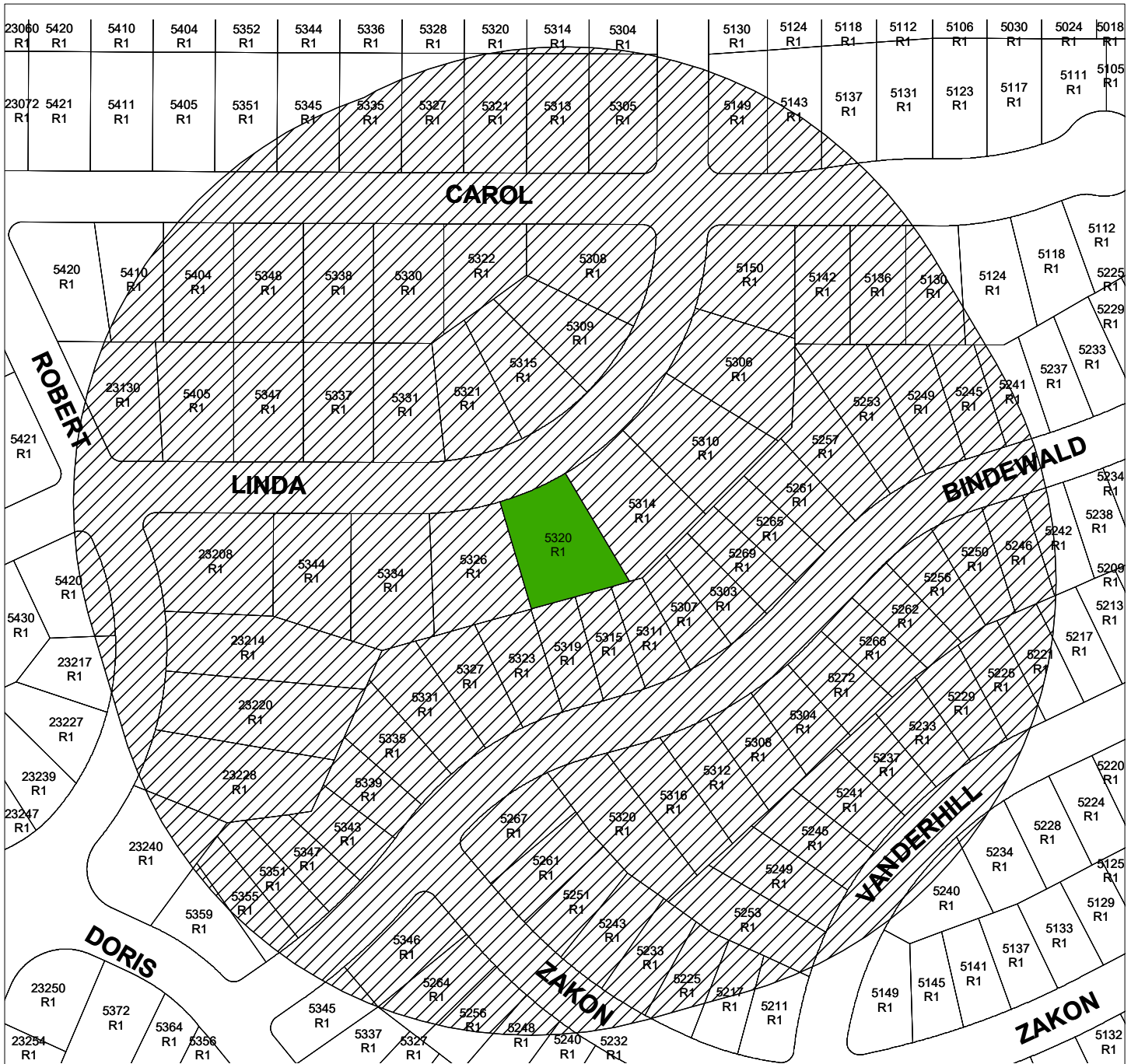
ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

Secretary, Torrance Planning Commission

ITEM 8B
ATTACHMENT 2

LOCATION AND ZONING MAP



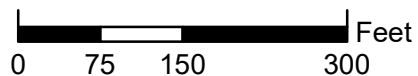
LOCATION AND ZONING MAP

PRE25-00002
5320 Linda Drive



LEGEND

-  Notification Area
-  5320 Linda Dr.



ITEM 8B
ATTACHMENT 3

HILLSIDE SUBSTANTIATION FORM



Hillside Overlay Substantiation Form

Pursuant to Article 41, Chapter 1, Division 9 of the Torrance Municipal Code, the Planning Commission, or the City Council on appeal, may grant approval of a Precise Plan of Development for residential and commercial development on properties located within the Hillside and Local Coastal Overlay.

Applicants requesting a Precise Plan of Development must provide the facts to substantiate the criteria by which the Planning Commission or the City Council may grant the approval.

1. PLANNING AND DESIGN (SECTION 91.41.6)

a) The proposed development will not have an adverse impact upon the view, light, air and privacy of other properties in the vicinity based on the following:

The subject property is located against the hillside. The view from this property is toward the northwest, toward the ocean. The proposed increase in height and width will have no impact on adjacent neighbors regarding this view. The front of the house shall be constructed 4'-2" in front of the existing house. The property has a 25' high hill in the back half of the lot. The rear neighbor is on top of this hill. The design of the subject home has minimal windows facing each side neighbor. The west side setback shall be in line with the existing house.

b) The proposed development has been located, planned and designed so as to cause the least intrusion on the views, light, air and privacy of other properties in the vicinity based on the following:

As mentioned, the front of the home will be 4'-2" from the existing frontage. The west side setback will be the same. The east side setback will be increased (currently a garage at zero setback) to 13'-11". The height of the proposed home is lower than the hill at the rear of the property.

c) The design of the proposed development provides an orderly and attractive development in harmony with other properties in the vicinity based on the following:

The design of the project is consistent with homes in the neighborhood. A Spanish Revival aesthetic is proposed. Smooth stucco exterior, clay tile roof with arched openings and wrought iron gates and fences.

d) The design of the proposed development will not have a harmful impact upon the land values and investment of other properties in the vicinity based on the following:

It is hoped that the upgrade to the existing home will increase the value of the surrounding properties.

e) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity based on the following:

There are no foreseen impacts detrimental to public welfare.

f) The proposed development will not cause or result in an adverse cumulative impact on other properties in the vicinity based on the following:

No adverse impacts are foreseen in the development of this project.

2. LIMITATION ON INCREASES IN HEIGHT (SECTION 91.41.10)

This section must be completed if any part of the existing building would increase in height.

a) It is not feasible to increase the size of or rearrange the space within the existing building or structure for the purposes intended except by increasing the height based on the following circumstances:

The owner would like to have more space for their growing family. This requires the addition of a second floor. The existing driveway has determined the location of the proposed garage. With the garage location set, and the existing home location set, the additional area must come from the addition of a second floor.

b) Denial of the Precise Plan of Development would result in an unreasonable hardship to the applicant for the following reason(s):

The denial of the project would limit the space needed for the growth and happiness of the owner's family. The property has a slope in the back which make that area unfeasible to develop. The project, as proposed, is the most technically and financially feasible.

c) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

There is no foreseen negative impact on public welfare.

3. LIMITATION ON INCREASES IN BUILDING SPACE LOT COVERAGE (SECTION 91.41.11)

This section must be completed if the addition would increase the net interior floor area of the existing building so that it exceeds 50% of the lot area, except for commercial uses in a commercial zone.

a) Denial of the Precise Plan of Development would constitute an unreasonable hardship to the applicant for the following reason(s):

N/A 29% lot coverage, .28 FAR

b) Granting approval of the Precise Plan of Development would not be materially detrimental to the public welfare and to other properties in the vicinity for the following reason(s):

N/A

ITEM 8B
ATTACHMENT 4

SILHOUETTE CERTIFICATION FORM



City of Torrance, Community Development Department, Planning Division

3031 Torrance Boulevard, Torrance, CA 90503, Telephone (310) 618-5990

Hillside Overlay Silhouette Certification

I, the undersigned, surveyed the silhouette located at 5320 LINDA DRIVE (7530-005-009)
STREET ADDRESS ASSESSOR PARCEL NUMBER

on 3-27-2025, based on the project plans submitted to the City of Torrance
DATE OF SURVEY

by _____ on _____
NAME OF PROJECT APPLICANT DATE OF APPLICATION SUBMITTAL

The survey was taken from a benchmark located at L&T, NO TAG @ NORTHWEST P.C.
LOCATION OF BENCHMARK

which established a base elevation of 152.01'
BASE ELEVATION

The highest point of the silhouette was determined to have an elevation of 193.75'
HIGHEST ELEVATION POINT OF SILHOUETTE

The project plans indicate the highest point should have an elevation of 193.75'
HIGHEST ELEVATION POINT OF PROJECT PLANS

The existing lowest adjacent grade was determined to have an elevation of 167.53'
EXISTING LOWEST ADJACENT GRADE

The project plans indicate the lowest adjacent grade should have an elevation of 167.78'
PROPOSED LOWEST ADJACENT GRADE

I, the undersigned, hereby certify that the silhouette located at the above-referenced site was constructed and/or surveyed under my supervision and found to be in conformance (± 3 inches) with the design, height, and location shown on the project plans submitted to the Community Development Department and the attached silhouette plan, and that the silhouette was constructed in accordance with the City of Torrance silhouette standards.


SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

4-2-2025
DATE OF SIGNATURE

GARY J. ROEHL
PRINT NAME OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER

R.C.E. 30826
LICENSE NUMBER

OFFICE@DENN.COM
EMAIL ADDRESS

310-542-9433
TELEPHONE NUMBER



FOR STAFF USE ONLY – DO NOT COMPLETE BELOW	
PLANNING RECORD NUMBER(S)	DATE STAMP RECEIVED
REVIEW COMPLETED BY	REVIEW COMPLETED DATE
STAFF DETERMINATION	
<input type="checkbox"/> COMPLETE SILHOUETTE CERTIFICATION <input type="checkbox"/> INCOMPLETE SILHOUETTE CERTIFICATION	

ITEM 8B
ATTACHMENT 5

CODE REQUIREMENTS

ITEM 8B
ATTACHMENT 5

CODE REQUIREMENTS

PLANNING

1. Any fence, wall, or hedge within the required front yard setback area of any lot shall not exceed a height of four (4) feet within the first 10' of the property.
2. That no retaining wall shall be constructed which exceeds five (5) feet in height. If the grade to be retained exceeds five (5) feet, additional retaining walls may be constructed at higher elevations provided a planter area not less than two (2) feet in width is constructed between said retaining walls and is landscaped.

BUILDING AND SAFETY

1. Comply with the 2022 California Building Standard Codes (i.e. Building, Electrical, Mechanical, Plumbing, Green Building and etc.) with local amendments. The local amendments can be found at <https://www.codepublishing.com/CA/Torrance/ords/3909.pdf>
2. Provide automatic fire sprinklers, separate permits are required from the Torrance Fire Department.
3. Slope setbacks for the proposed structures and retaining walls shall comply with 2022 California Building Code section 1808.7.

ENGINEERING

1. Retaining wall proposed to accommodate the cuts and fills shall obtain separate building permit from Building and Safety Division per CBC 105, TMC 81.2.47 (J101.3.1) and TMC 81.2.49(J103).
2. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Services Division, for any work in the public right-of-way on Linda Drive (City Code Sec. 74.6.2).
3. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per City Code 81.2.51 (J107.6). If insufficient elevation is available to accommodate gravity drainage, sump pumps are required. Provide supporting calculations and construction details as appropriate. Sump pumps shall be designed per the Los Angeles County Sump Pump Manual by a civil engineer. Sump pumps shall provide check valve, gate/ball valves, alarms. Sump pit shall be comprised of reinforced concrete or reinforced cement masonry units.
4. Per City Code 410.1.070 the owner/owner's agent shall submit an erosion control plan to the Building and Safety Division for review and approval by the Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
 - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
 - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet

season, inspecting graded areas during rain events, planting and maintenance of vegetation on slopes, and covering erosion susceptible slopes.

5. The applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The report should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements, City Code 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7, if applicable.
6. The applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per City Code 81.2.49 (J103) and City Code 81.2.50 (J104). The precise grading plan shall detail compliant paths of travel and accessible parking stalls per 2022 California Building Code (CBC) 11B-201.
7. Install a 4' wide public sidewalk along property frontage on Linda Drive per City of Torrance standards.
8. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per City Code 81.2.52.
9. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface in conformance with California Building Code and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and City Code 81.2.51 (J107.6).
10. Install a street tree in the City parkway every 50' for the width of this lot on Linda Drive (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
11. All undocumented fill shall be removed until competent native soils have been reached, and recompacted from property line to property line per City Code 81.2.50 (J104.5)

WATER

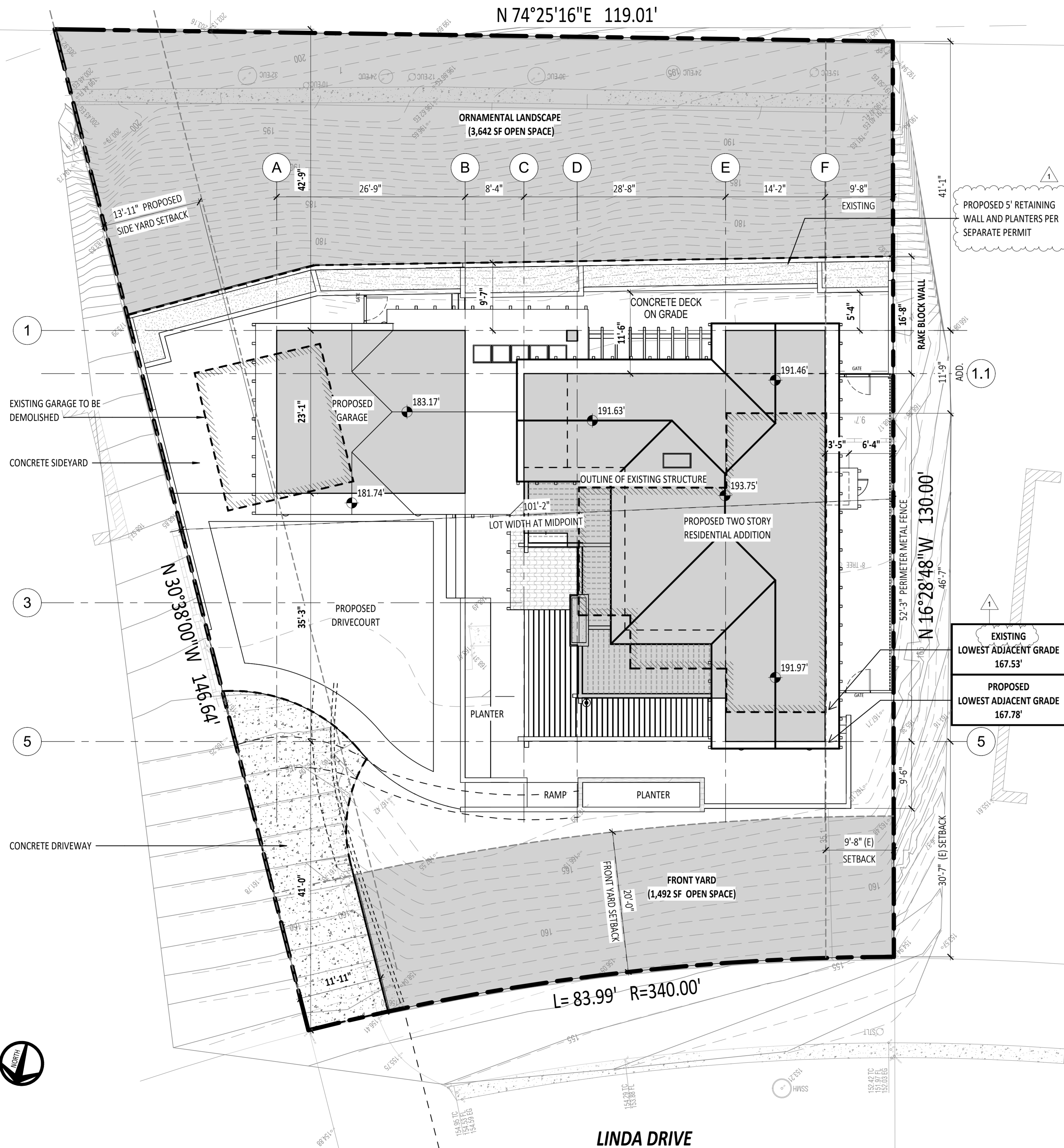
1. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

ITEM 8B
ATTACHMENT 6

PROJECT PLANS

ITEM 8B
ATTACHMENT 6

ITO RESIDENTIAL REMODEL AND ADDITION



PROJECT INFORMATION

SCOPE OF WORK:
MAJOR REMODEL AND SECOND STORY ADDITION TO EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE. NEW RETAINING WALL UNDER SEPARATE PERMIT AND APPROVAL. NEW DETACHED GARAGE.

PROPERTY INFORMATION:
AIN: 7530-005-009
TRACT: 13901 ; LOT 9
BLOCK: 9
OCCUPANCY: R-3/U-1
CONSTRUCTION TYPE: V-B NR (NON-SPRINKLERED)
ZONE: R-1

EXISTING DEVELOPMENT:
LOT AREA: 13,800 SF
EXISTING DWELLING AREA: 1,075 SF
EXISTING GARAGE AREA: 365 SF (18'-3" X 20'-0")
EXISTING LOT COVERAGE AREA: 1,440 SF
EXISTING LOT COVERAGE PERCENTAGE: 10.5 %
HEIGHT OF EXISTING STRUCTURE: 14'-6"

PROPOSED DEVELOPMENT:
PROPOSED ADDITION: 634 SF (1ST FL)
1,513 SF (2ND FL)
NEW TOTAL RESIDENCE: 1,834 SF (1ST FL)
1,513 SF (2ND FL)
3,347 SF (TOTAL NEW RESIDENCE)

PROPOSED GARAGE: 546 SF
PROPOSED LOT COVERAGE AREA: 4,015 SF
PROPOSED LOT COVERAGE PERCENTAGE: 29%

FAR: $3,347 \text{ SF} + 546 \text{ SF} + 248 \text{ SF} = 4,142 \text{ SF}$
 $\Rightarrow 4,142 / 13,800 \text{ SF} = .30$

OPEN SPACE: 13,800 SF / 3 = 4,600 SF REQUIRED
5,134 SF PROVIDED

PROPOSED HEIGHT: 25.97'

SHEET INDEX

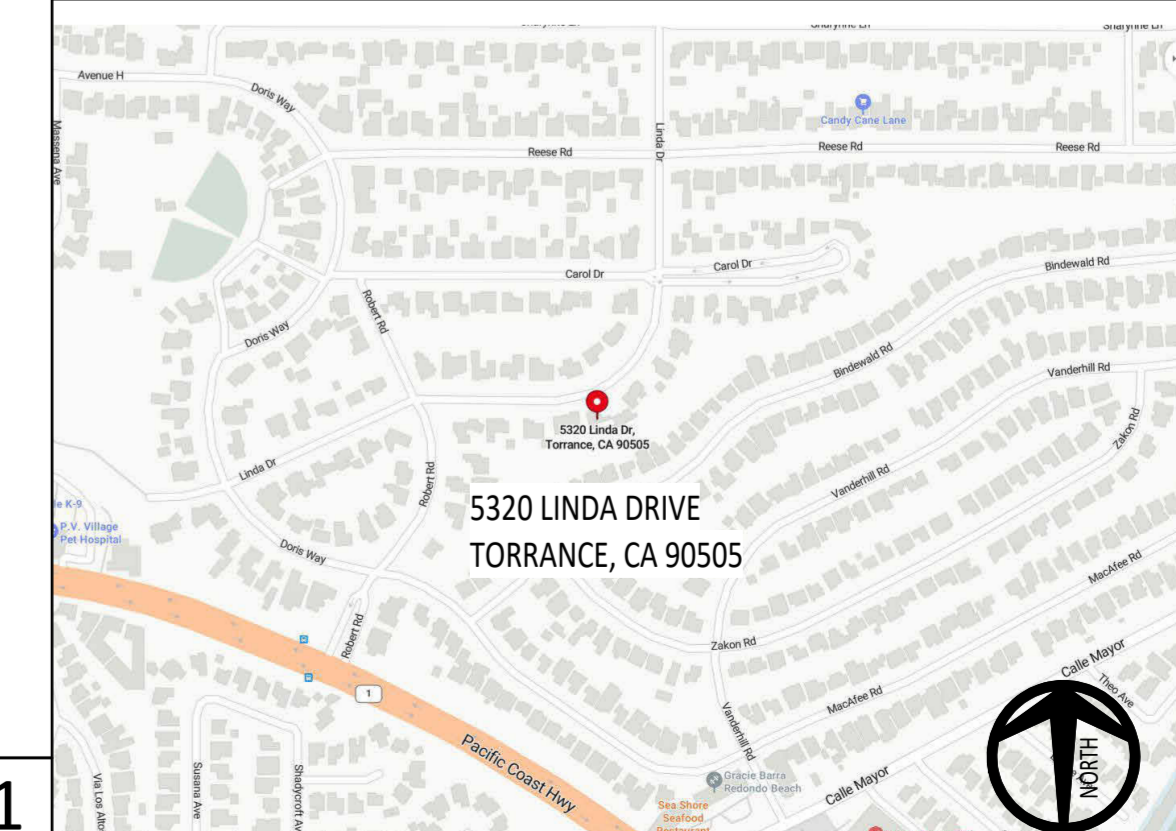
ARCHITECTURAL INDEX	
A-0.1	COVER SHEET, INDEX, MAP, BUILDING DATA, ETC.
A-1.1	DEMOLITION PLAN
A-1.2	GROUND FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-1.4	ROOF PLAN
A-2.0	EXTERIOR ELEVATIONS
A-2.1	EXTERIOR ELEVATIONS
A-3.0	SECTIONS

CONTACT LIST

ARCHITECT:
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TORRANCE, CA 90505

VICINITY MAP



PROJECT:
ITO RESIDENCE - REMODEL

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TORRANCE, CA 90505



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DATE: 2025-08-12
DRAWN: VML
REVIEWED: JB
PROJECT NO: 632936
SCALE: 1/8" = 1'-0"
SHEET TITLE:

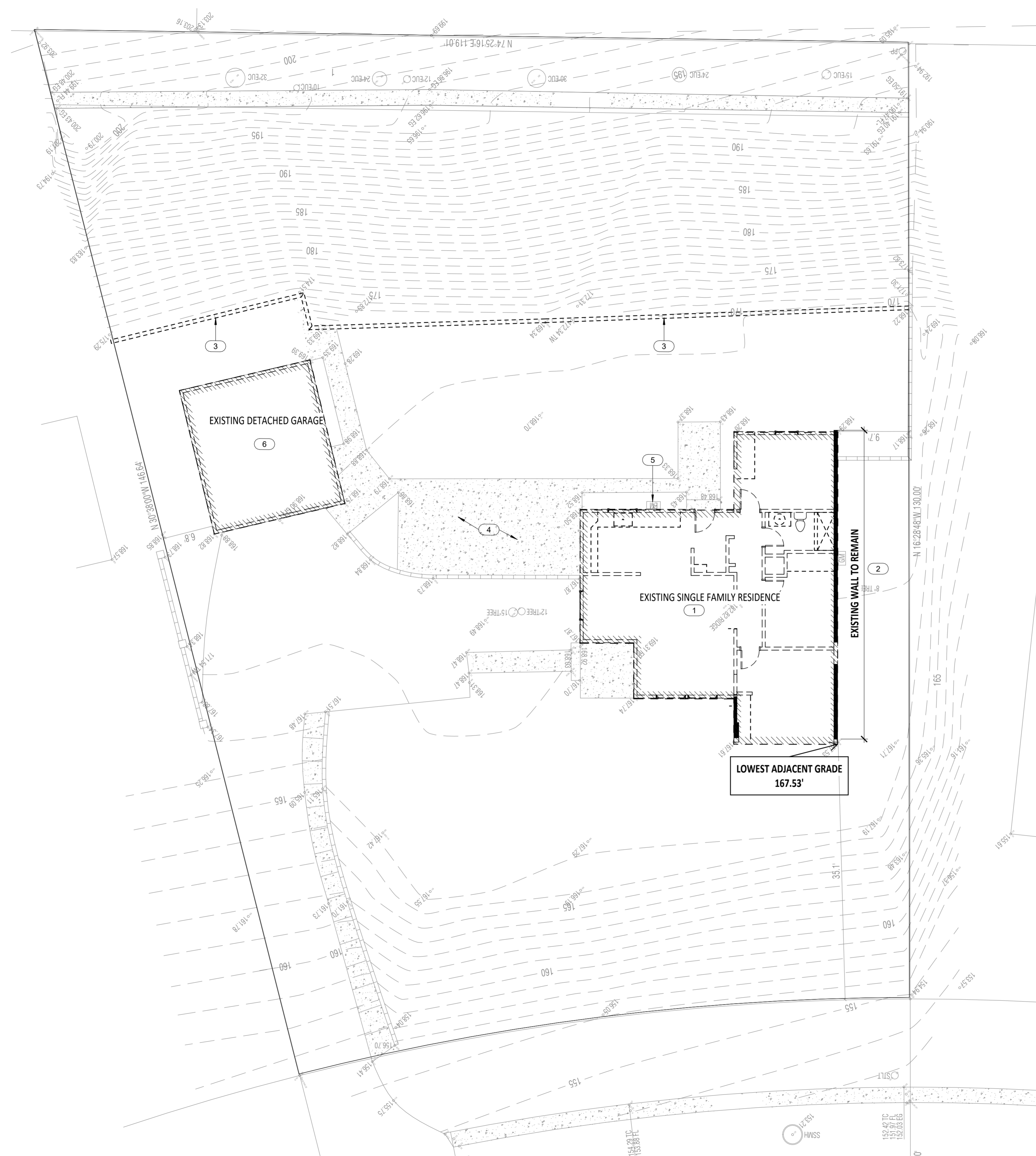
COVER SHEET, INDEX, MAP, BUILDING DATA, ETC.

SHEET NO: **A-0.1**

SITE PLAN SCALE: 1/8" = 1'-0" 1

DEMOLITION PLAN KEYNOTES

- 1 EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED.
- 2 PORTION OF EXISTING WALL TO REMAIN
- 3 REMOVE EXISTING RETAINING WALL
- 4 REMOVE EXISTING CONCRETE SLAB
- 5 RELOCATE EXISTING ELECTRICAL METER
- 6 REMOVE EXISTING DETACHED GARAGE



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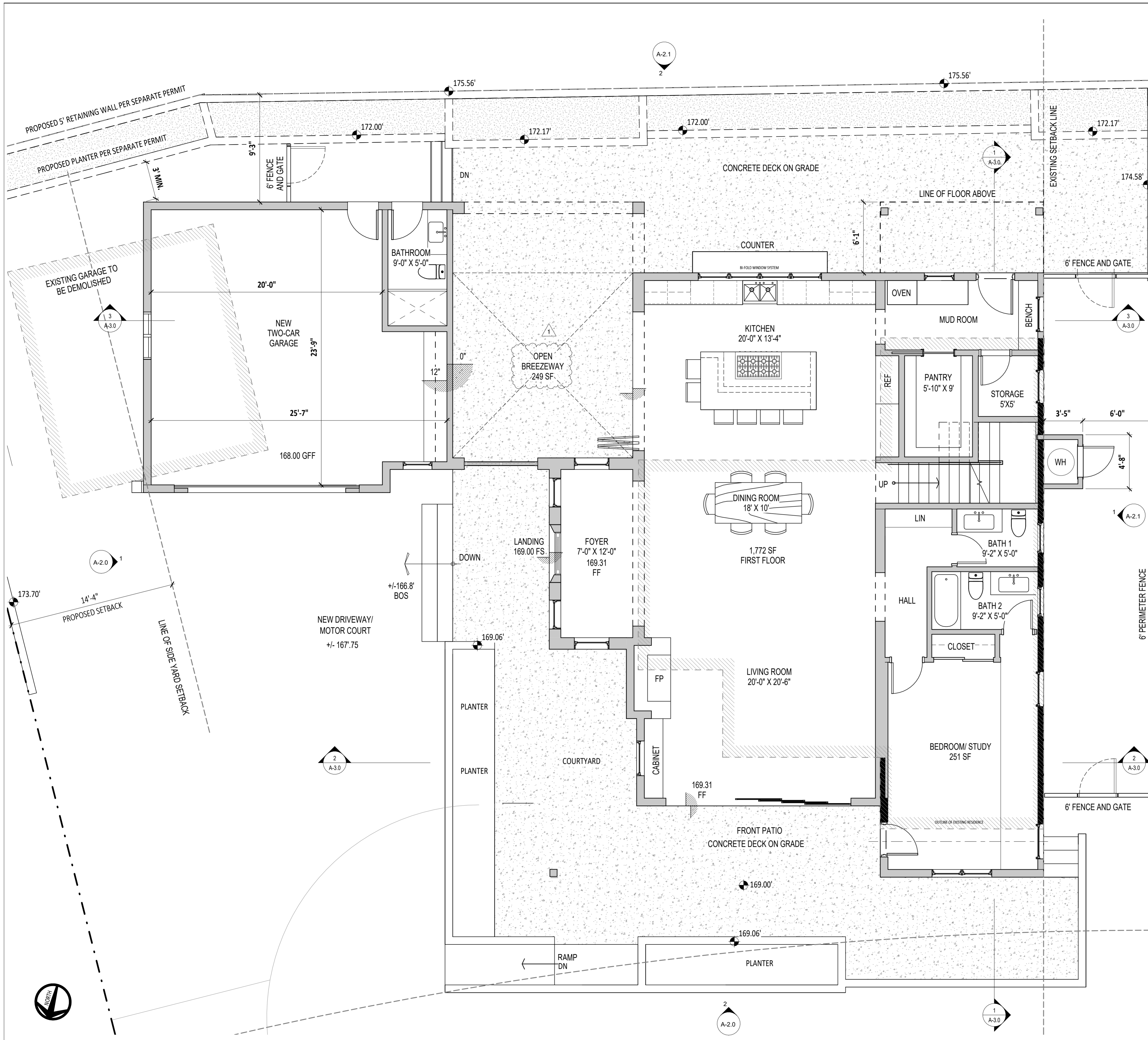
DATE:	2025-08-12
DRAWN:	VML
REVIEWED:	JB
PROJECT NO.:	632936
SCALE:	As indicated
SHEET TITLE:	

DEMOLITION PLAN

SHEET NO.:

A-1.1

DEMOLITION PLAN SCALE: 1/8" = 1'-0" 1



LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION, TYPICAL PARTITION UNLESS OTHERWISE NOTED.
	EXISTING DOOR, DOOR FRAME AND DOOR HARDWARE IS TO REMAIN AT LOCATION SHOWN.
	NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
	KEYNOTE REFER TO KEYNOTE LIST HEREIN
	WINDOW TYPE MARK REFER TO SHEET A-4.0
	DOOR TYPE MARK REFER TO SHEET A-4.0
	SMOKE ALARM REFER TO E SHEET FOR ADDITIONAL INFORMATION. INSTALL AS REQUIRED BY CBC 907.2.9
	CARBON MONOXIDE DETECTOR REFER TO E SHEET FOR ADDITIONAL INFORMATION. INSTALL AS REQUIRED BY CBC 915
	DETAIL DETAIL REFERENCE SHEET REFERENCE
	SPOT ELEVATION
	ENERGY STAR EXHAUST FAN WITH HUMIDISTAT CONTROL. REFER TO KEYNOTE FOR ADDITIONAL INFORMATION
	SMART THERMOSTAT
	THRESHOLD 1-1/2" MAX UNO

KEYNOTES

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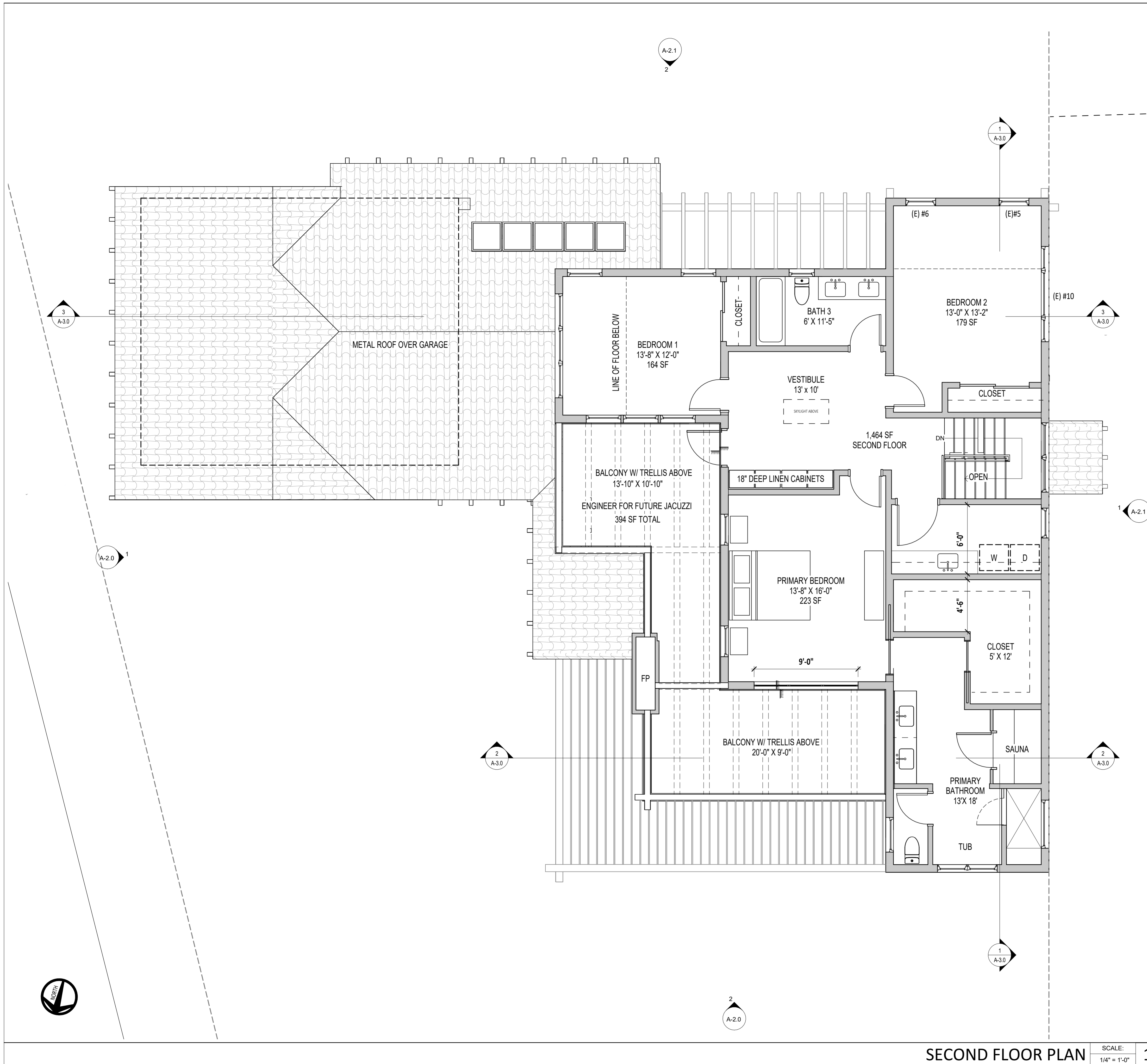
DATE: 2025-08-12
DRAWN: VML
REVIEWED: JB
PROJECT NO: 632936
SCALE: 1/4" = 1'-0"
SHEET TITLE:

GROUND FLOOR PLAN

SHEET NO:

GROUND FLOOR PLAN SCALE: 1/4" = 1'-0" 1

A-1.2



LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION, TYPICAL PARTITION UNLESS OTHERWISE NOTED.
- EXISTING DOOR, DOOR FRAME AND DOOR HARDWARE IS TO REMAIN AT LOCATION SHOWN.
- NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW TYPE MARK
REFER TO SHEET A-4.0
- DOOR TYPE MARK
REFER TO SHEET A-4.0
- SMOKE ALARM
REFER TO E SHEET FOR ADDITIONAL INFORMATION.
INSTALL AS REQUIRED BY CBC 907.2.9
- CARBON MONOXIDE DETECTOR
REFER TO E SHEET FOR ADDITIONAL INFORMATION.
INSTALL AS REQUIRED BY CBC 915
- DETAIL
DETAIL REFERENCE SHEET REFERENCE
- SPOT ELEVATION
- ENERGY STAR EXHAUST FAN WITH HUMIDISTAT CONTROL.
REFER TO KEYNOTE FOR ADDITIONAL INFORMATION
- SMART THERMOSTAT
- THRESHOLD 1-1/2" MAX UNO

KEYNOTES

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PROJECT NO.:	632936
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SHEET TITLE:	

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" **1**

SECOND FLOOR PLAN

SHEET NO: A-1.3

ROOFING NOTES

NEW GALVALUME STANDING SEAM CLASS "A" COOL ROOFING
2:12 PITCH TYPICAL

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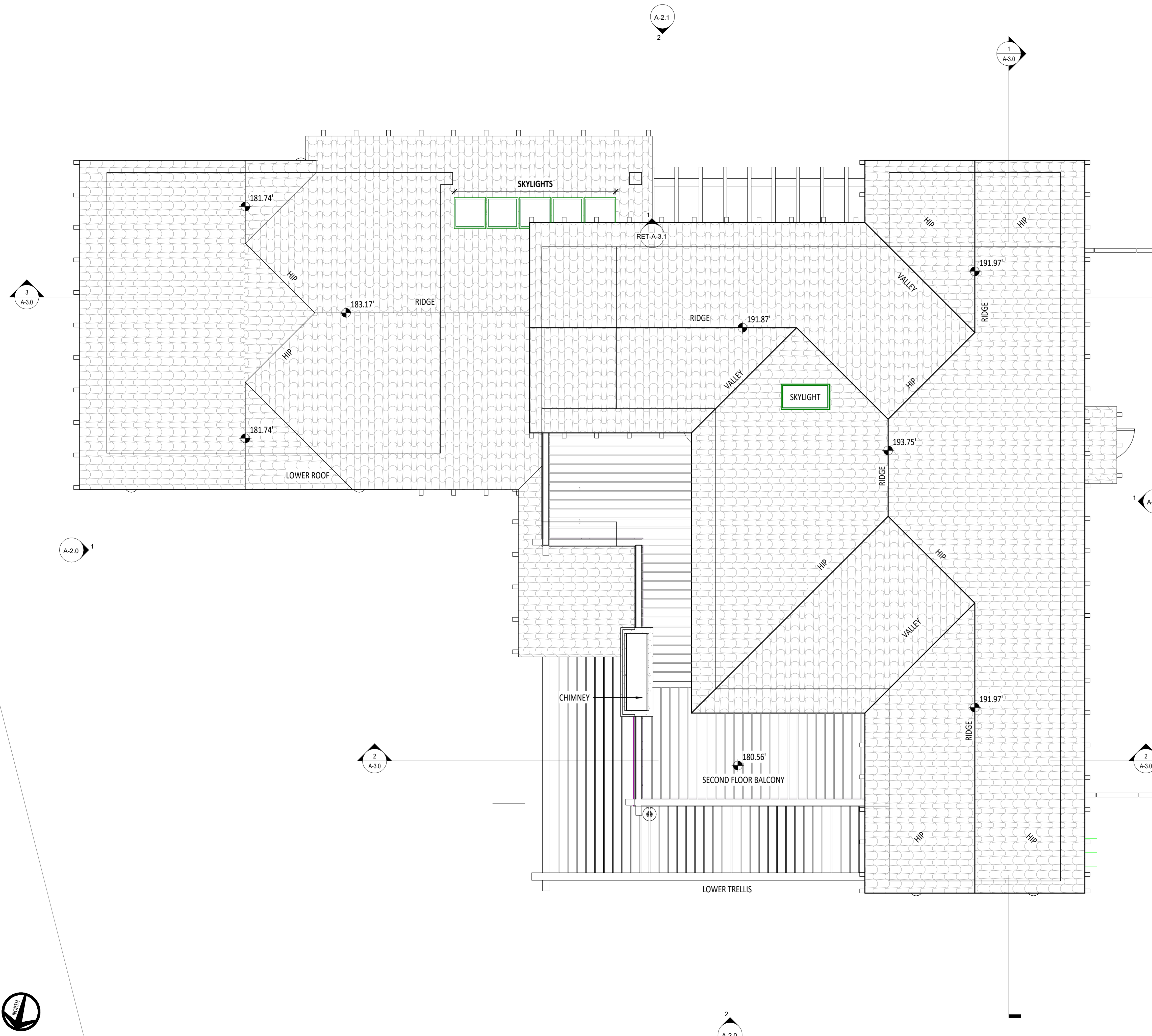
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ROOF PLAN

SHEET NO:

A-1.4



ROOF PLAN SCALE: 1/4" = 1'-0" 1

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SCALE: 1/4" = 1'-0"
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO: **A-2.0**



NORTH ELEVATION SCALE: 1/4" = 1'-0" 2



EAST ELEVATION SCALE: 1/4" = 1'-0" 1

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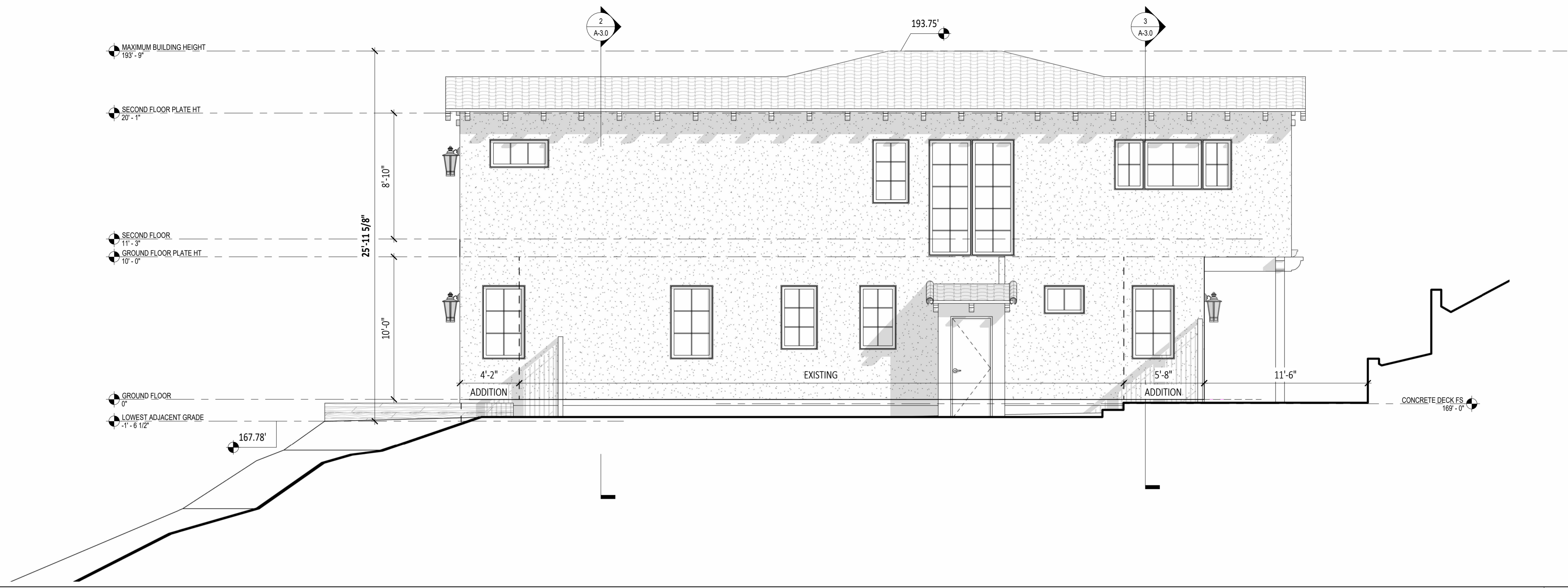
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SHEET TITLE:	

EXTERIOR ELEVATIONS

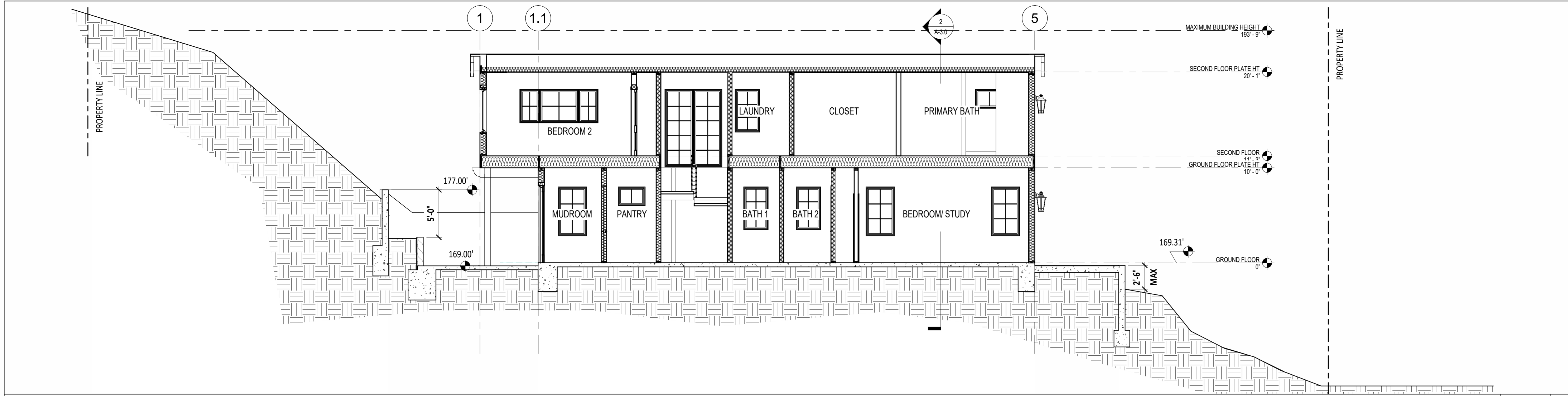
SHEET NO: **A-2.1**



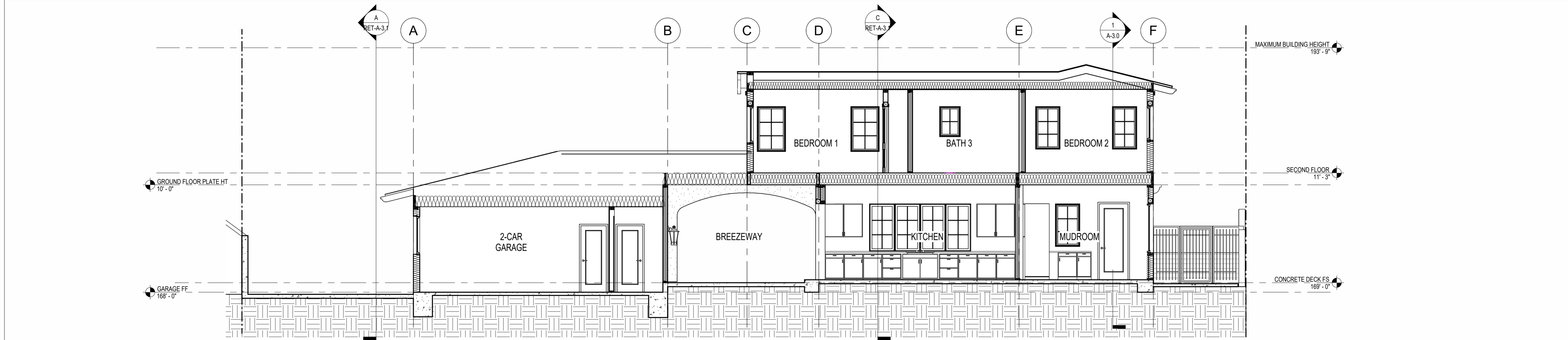
WEST ELEVATION SCALE: 1/4" = 1'-0" 1



SOUTH ELEVATION SCALE: 1/4" = 1'-0" 2



TRANSVERSE SECTION AT STAIRS SCALE: 3/16" = 1'-0" 1



SECTION AT GARAGE SCALE: 3/16" = 1'-0" 3



SECTION AT PORCH SCALE: 3/16" = 1'-0" 2

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DRAWINGS ISSUE DATE	DESCRIPTION	DELTA

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DATE:	2025-08-12
DRAWN:	VML
REVIEWED:	JB
PROJECT NO.:	632936
SCALE:	3/16" = 1'-0"
SHEET TITLE:	

SECTIONS

SHEET NO:

A-3.0