

In compliance with the Americans with Disabilities Act (ADA), if special assistance is needed to participate in the meeting, please contact the City Clerk's Office at (310) 618-2780. Notification given 48 hours prior to the meeting will enable the City Clerk's Office to make reasonable arrangements to ensure accessibility to the meeting. [28CFR35.102-35.104 ADA Title II]

The Planning Commission serves as an advisor to the City Council and conducts public hearings on matters related to land use and development. Meetings are held monthly on the first and/or third Wednesday at 6:30pm. A limited number of meeting agenda copies will be made available during the Planning Commission meeting. Minutes are available after they are approved by the Planning Commission. Questions may be directed to the Planning Division at (310) 618-5990.

Members of the public may provide comments related to any items on the meeting agenda. Oral comments are limited to two minutes per speaker for items on the agenda and limited to one minute per speaker for items not on the agenda. Everyone interested in speaking on an agenda item will be heard at the meeting. Speakers are asked to come forward to the podium, speak clearly, and provide their name and address for the record. Meetings are audio recorded. Language translation services are not available. If presenting handout material to the Planning Commission, please submit 15 color copies no later than 5:00pm on Tuesday the day before the meeting.

Written comments may be submitted via email to [PlanningCommission@TorranceCA.Gov](mailto:PlanningCommission@TorranceCA.Gov). Comments must include in the subject line "Public Comment" and the record number and project address. Comments must be pertinent to the agenda item and must not include personal remarks. All personal signatures, personal addresses, personal telephone numbers and personal email addresses must be omitted or will be redacted. Repetitive comments and/or duplicate copies of petitions and flyers are neither necessary nor helpful.

Comments that are submitted no later than 5:00pm on Tuesday, the day before the Planning Commission meeting will be included as a supplemental agenda item and will be posted on the City of Torrance webpage. A copy of the supplemental agenda item will be available at the back of the meeting room. Comments that are submitted in writing after 5:00pm on Tuesday, the day before the Planning Commission meeting will be filed with the public record.

**TORRANCE PLANNING COMMISSION AGENDA  
NOVEMBER 5, 2025  
REGULAR MEETING  
6:30 P.M. IN THE LeROY J. JACKSON COUNCIL CHAMBER  
AT 3031 TORRANCE BLVD.**

**PLANNING COMMISSION MAY TAKE ACTION ON ANY ITEM  
LISTED ON THE AGENDA**

**1. CALL MEETING TO ORDER**

**ROLL CALL:** Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

**2. FLAG SALUTE:** Commissioner Yeh

**3. REPORT OF STAFF ON THE POSTING OF THE AGENDA**

The agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City of Torrance webpage on Thursday, October 30, 2025.

**4. ANNOUNCEMENT OF WITHDRAWN, POSTPONED, AND/OR SUPPLEMENTAL ITEMS**

**5. ORAL COMMUNICATIONS**

This portion of the meeting is limited up to a 15-minute period and is reserved for public comments on items listed on the Consent Calendar or that are not listed on the agenda. Under the Ralph M. Brown Act, the Planning Commission cannot act on items raised during public comment but may respond briefly to statements made or questions posed; request clarification; or refer the item to staff. Those members of the public wishing to speak are asked to come forward to the microphone and state their name for the record. All speakers are limited to 1 minute per speaker. If presenting handout material to Commission, please provide 15 color copies to staff before speaking.

**6. CONSENT CALENDAR**

Items listed under the Consent Calendar are considered routine and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired, that item will be removed by a Commissioner from the Consent Calendar and considered separately.

**6A. Approval of Minutes: August 20, 2025, and October 15, 2025**

**7. ADMINISTRATIVE MATTERS**

**7A. Community Development – Conduct a Public Hearing to Consider Approval of DIV25-00004: DENN ENGINEERS (GCS HARLEY LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Division of Lot (DIV25-00004) to allow the consolidation of two parcels into one parcel, on property located in the Hawthorne Boulevard Corridor Specific Plan Walteria Sub-District (H-WT) Zone at 24449 Hawthorne Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15305 – Minor Alterations. (Res. No. 2025-064)

**8. HEARINGS**

**8A. Community Development – Conduct a Public Hearing to Consider Approval of PCR25-00001: RICKY DE LA ROSA (BALDAUF BRIAN A CO TR BALDAUF)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Planning Commission Review (PCR25-00001) to allow one- and two-story additions to an altered-contributing two-story single-family residence on property located within the Torrance Tract Overlay in the Two-Family Residential District (R-2) Zone located at 1609 Amapola Avenue. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-065)

**8B. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00003, DVP25-00001: VISTA HOMES (LW ACQUISITIONS LLC ET AL LIBAW FAMILY LP C/O HOROWITZ GROUP)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00003) and Development Permit (DVP25-00001) in conjunction with a State Density Bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the Hawthorne Boulevard Corridor Specific Plan-Del Amo Business Sub-District One (H-DA1) Zone at 3610 Torrance Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15332 – In-Fill Development. (Res. Nos 2025-066, 2025-067)

**8C. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00016: YURI NAGATA (P.V. FAMILY L.P.)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00016) to allow the operation of a take-out restaurant located in the Solely Commercial District (C-3) Zone with a Precise Plan Overlay (PP) at 2143 182<sup>nd</sup> Street. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-068)

**8D. Community Development – Conduct a Public Hearing to Consider Approval of CUP25-00018: ARMANDO MARES (VISTA APARTMENTS LP)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of Conditional Use Permit (CUP25-00018) to allow an indoor recreation center on property located in the Hawthorne Boulevard Corridor Specific Plan Del Amo Business Sub-District One (H-DA1) Zone at 3700 Torrance Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-069)

**9. RESOLUTIONS**

**10. COMMISSION ORAL COMMUNICATIONS**

**11. ADJOURNMENT**

Adjournment of Planning Commission meeting to Wednesday, November 19, 2025, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber.

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**TORRANCE PLANNING COMMISSION – AUGUST 20, 2025**

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Adjourned at 8:01 PM. to Wednesday, September 3, at 6:30 p.m. in the LeRoy J. Jackson Council Chamber 3031 Torrance Boulevard.

**MINUTES OF A REGULAR MEETING OF THE  
TORRANCE PLANNING COMMISSION**

**1. CALL MEETING TO ORDER**

The Torrance Planning Commission convened in a regular session at 6:32 p.m. on Wednesday, August 20, 2025, in the LeRoy J. Jackson Council Chambers 3031 Torrance Boulevard

**ROLL CALL**

Present: Commissioners Anunson, Obejas, Riggs, Yeh, and Chair Kartsonis

Absent: Commissioners Borgialli and Turner

Also Present: Planning Manager Robert Garcia, Senior Planner Leo Oorts, Planning Assistant Lee Garcia, Planning Assistant Austin Lujan, Planning Associate Dominique Allen, Community Development Director Michelle Ramirez, and Assistant City Attorney Tatia Strader

**MOTION:** Commissioner Riggs moved to excuse the absence of Commissioners Borgialli and Turner. Commissioner Obejas seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner).

**2. FLAG SALUTE**

Pledge of Allegiance led by Chair Kartsonis.

**3. REPORT OF THE COMMUNITY DEVELOPMENT STAFF ON THE POSTING OF THE AGENDA**

Planning Manager Robert Garcia stated that the agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City's Website on Friday, August 15, 2025.

**4. ANNOUNCEMENT OF WITHDRAWN, DEFERRED, AND/OR SUPPLEMENTAL ITEMS**

None.

**5. ORAL COMMUNICATIONS**

Members of the public spoke.

**6. CONSENT CALENDAR**

None

**7. ADMINISTRATIVE MATTERS**

**7A. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF EXT25-00002: DIANA RANGEL**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Time Extension (EXT25-00002) for a previously approved Division of Lot (DIV22-00004) for condominium purposes, on property located in the Two-Family Residential District (R-2) Zone at 1730 Fern Avenue. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15061 – Review for Exemption. (Res. No. 25-047)

Planning Associate Natalie Niemeyer introduced and presented the item.

Applicant wasn't present and no members of the public spoke.

**MOTION:** Commissioner Obejas motioned to approve the time extension. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner).

Planning Associate Niemeyer read by title only Resolution No. 25-047; Resolution of the Planning Commission of the City of Torrance, California, approving a Time Extension for a previously approved division of lot for condominium purposes, on property located in the two-family zone at 1730 Fern Avenue.

**MOTION:** Commissioner Obejas motion to adopt Planning Commission Resolution No. 25-047. Commissioner Riggs seconded the motion; a roll call vote reflected a 5-0 adoption. (Absent: Commissioners Borgialli and Turner)

**8. HEARINGS**

**8A. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP23-00019, DIV23-00004, EAS23-00004: TALINE DEFINO (LINK LOGISTICS)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP23-00019) to allow development of a light industrial business park with the construction of two new light industrial warehouse buildings, in conjunction with a Division of Lot (DIV23-00004) to allow a lot line adjustment between two lots and an Environmental Assessment (EAS23-00004) for the adoption of a Mitigated Negative Declaration (MND), on properties located in the Heavy Manufacturing District (M-2) Zone at 350, 370 Crenshaw Boulevard and 2421, 2441, 2461 205th Street, referred to as The Brisbane Crossing Industrial Project. (Res. Nos. 25-048, 25-049, 25-050)

Senior Planner Oorts introduced and presented the item.

Tatiana Torres, speaking for applicant, gave a brief overview of the project.

Members of the public spoke.

Commissioners Anunson, Riggs, Obejas and Chair Kartsonis all stated they have visited the site and will base their decisions on the evidence presented.

Commissioner Obejas questioned the access road on the corner of Beech Blvd. and 205<sup>th</sup> Street. Applicant, Taline Defino explained this access is for cars, as well as trucks and this access will be gated.

Commissioner Anunson asked what the vision is for trailers loading and unloading. Applicant Taline Defino explained the expectation is for trailers to load and unload at the docks, the docks have been positioned for easy access. The intention is not to have trailers sit and idle for periods of time, limiting trailers sitting idle.

Commissioner Yeh questioned the zoning and the possibility of using the buildings for retail. Senior Planner Oorts stated the site is zoned M-2 in which both advanced and light manufacturing can occur. If a retail business would like to lease one of the buildings, it would be subject to approval. It was stated the buildings will be spec buildings, which would allow for several uses. CBRE representatives stated retail businesses would not likely rent in this area, and the most likely tenant will be for advanced manufacturing and light distribution of own product.

Applicant Taline Defino gave a brief closing statement and requested that condition #21 be struck in its entirety from Resolution No. 25-048.

Senior Planner Oorts stated condition #21 is standard language in the Torrance Municipal Code and this condition was inadvertently added and staff would be willing to remove the condition, because the applicant will still need to comply with the condition, per Torrance Municipal Code and removing from the resolution will not change the requirement.

Commissioner Riggs questioned the “less” traffic statement and asked for an explanation. Alex Gerber, traffic consultant, stated he prepared the traffic memo and stated all square footage was accounted for and traffic was determined to have a negative footprint.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner)

**MOTION:** Commissioner Obejas moved to approve CUP23-00019, DIV23-00004, and EAS23-00004. Commissioner Riggs seconded the motion; *no roll call vote was taken*, Chair Kartsonis put forth a substitute motion.

**MOTION:** Chair Kartsonis moved to approve CUP23-00019 (striking Condition #21), DIV23-00004, and EAS23-00004. Commissioner Obejas

seconded the motion; a roll call vote reflected 4-0 approved (No: Commissioner Yeh, Absent: Commissioners Borgialli and Turner)

**RESOLUTION:** Senior Planner Oorts read by title only Resolution No. 25-048. Resolution of the Planning Commission of the City of Torrance, California approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code to allow redevelopment of a light industrial business park with the construction of two new light industrial warehouse buildings on property located in the heavy manufacturing district (M-2) Zone at 350, 370, Crenshaw Boulevard and 2414, 2441, 2461, 205<sup>th</sup> Street.

**RESOLUTION:** Senior Planner Oorts read by title only Resolution No. 25-049. Resolution of the Planning Commission of the City of Torrance, California approving a division of lot as provided for in Division 9, Chapter 2, Article 29 of the Torrance Municipal Code to allow a lot line adjustment between two lots on property located in the heavy manufacturing district (M-2) Zone at 350, 370, Crenshaw Boulevard and 2414, 2441, 2461, 205<sup>th</sup> Street.

**RESOLUTION:** Senior Planner Oorts read by title only Resolution No. 25-050. Resolution of the Planning Commission of the City of Torrance, California, adopting a mitigated negative declaration for the Brisbane Crossing Industrial project in accordance with the California Environmental Quality Act

**MOTION:** Chair Kartsonis moved to adopt Resolution Nos. 25-048 as amended, 25-049 and 25-050. Commissioner Obejas seconded the motion; a roll call vote reflected 5-0 adoption (Absent: Commissioners Borgialli and Turner)

**8B. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00009: LUIS GOMEZ (REXFORD INDUSTRIAL 21515 S WESTERN, LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of Conditional Use Permit (CUP25-00009) to allow the operation of an automobile sales and service facility, on property located in the Heavy Manufacturing District (M-2) Zone at 21515 Western Avenue. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-051)

Planning Associate Dominique Allen introduced and presented the item.

Luis Gomez (Rexford Industrial) applicant, gave a brief overview of the project. Mr. Gomez requested to remove the wording “the vicinity of” in Condition #8 and strike Condition #22 altogether.

Chair Kartsonis disclosed he visited the site and will base his decisions on the evidence presented.

Commissioner Riggs asked staff their opinion regarding striking Condition #22 from the Resolution. Senior Planner Oorts asked for time to research the item and will answer the question further on in the discussion.

Commissioner Obejas asked staff about the ambiguity of Condition #8 and revising the wording, including deleting “the vicinity of.” Planning Associate Allen stated the wording will be removed. Condition #8 shall now read “That the test drive route shall not take place within a residential area.”

Chair Kartsonis asked a question regarding Condition #10; specifically, vehicles being displayed. Mr. Gomez stated all vehicles will be displayed inside.

Commissioner Riggs asked if all the vehicles will be electric? Mr. Gomez stated all vehicles will be electric and the building is solar powered.

Commissioner Yeh questioned staff regarding Condition #8, since the applicant has a proposed test drive route, can the specific route be used for Condition #8 in place of removing “the vicinity of.” Staff determined this wasn’t advisable due to possible unexpected road closures or traffic conditions.

Planning Associate Allen stated Condition #22 can be removed in its entirety.

Mr. Gomez gave a brief closing statement.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner)

**MOTION:** Commissioner Obejas moved to approve, as amended (Condition #8 “the vicinity of” removed and Condition #22 struck in its entirety). Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner)

**RESOLUTION:** Planning Associate Allen read by title only Resolution No. 25-051. Resolution of the Planning Commission of the City of Torrance, California approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code to allow the operation of an automobile sales and service facility on property located in the Heavy Manufacturing Zone at 21515 Western Avenue.

**MOTION:** Commissioner Obejas moved to adopt Resolution No. 25-051, as amended. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 adoption (Absent: Commissioners Borgialli and Turner)

**8C. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00011: HEE HAN (TJ GARDENA LLC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00011) to allow the sale of beer and wine for on-site consumption at an existing restaurant on property located in the Limited Manufacturing (M-L) Zone at 17905 Western Avenue. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-052)

Planning Assistant Garcia introduced and presented the item.

Applicant Co-owners, Junyu Lin and Hee Han gave a brief presentation on the restaurant and were available to answer questions.

Chair Kartsonis disclosed he spoke to members of the community and visited the location and will base his decision on the evidence presented.

Commissioner Yeh looking forward to visiting the restaurant and wished the applicant's good luck.

Commissioner Yeh asked about the residential area near the restaurant and would this disrupt the residents. Planning Assistant Garcia stated a block wall separates the parking lot from the residents and staff determined no disruptions or issues should occur.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner)

**MOTION:** Commissioner Yeh moved to approve CUP25-00011. Commissioner Riggs seconded the motion; a roll call vote reflected 5-0 approval (Absent: Commissioners Borgialli and Turner)

**RESOLUTION:** Planning Assistant Lee Garcia read by title only Resolution No. 25-052. Resolution of the Planning Commission of the City of Torrance, California, approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code to allow the sale of beer and wine for on-site consumption at an existing restaurant on property located in the Limited Manufacturing Zone at 17905 Western Avenue.

**MOTION:** Commissioner Yeh moved to adopt Resolution No. 25-052. Commissioner Obejas seconded the motion; a roll call vote reflected 5-0 adoption (Absent: Commissioners Borgialli and Turner)

**8D. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00012: DAN LE (MIKIKO KAWAMURA)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00012) to allow the operation of a restaurant on property located in the General Commercial District (C-2) Zone at 2130 Redondo Beach Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 25-053)

Commissioner Yeh recused himself due to owning property within 500 feet of the restaurant and excused himself for the remainder of the meeting.

Planning Assistant Austin Lujan introduced and presented the item.

Spokesperson for the applicant gave a brief presentation on the item.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 4-0 approval (Absent: Commissioners Borgialli and Turner; Commissioner Yeh left the meeting)

Chair Kartsonis disclosed he visited the site and will base his decisions on the evidence presented.

**MOTION:** Commissioner Obejas moved to approve. Commissioner Riggs seconded the motion; a roll call vote reflected 4-0 approval (Absent: Commissioners Borgialli and Turner; Commissioner Yeh left the meeting)

**RESOLUTION:** Planning Assistant Lujan read by title only Resolution No. 25-053. Resolution of the Planning Commission of the City of Torrance, California, approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 3 of the Torrance Municipal Code to allow the operation of a restaurant on property located in the General Commercial District (C-2) Zone at 2130 Redondo Beach Boulevard.

**MOTION:** Commissioner Obejas moved to adopt Resolution No. 25-053. Commissioner Riggs seconded the motion; a roll call vote reflected 4-0 adoption (Absent: Commissioners Borgialli and Turner; Commissioner Yeh left the meeting)

9. **RESOLUTIONS**

None

10. **COMMISSION ORAL COMMUNICATIONS**

Commissioners

11. **ADJOURNMENT**

**MOTION:** At 8:01 p.m., Commissioner Obejas moved to adjourn the meeting to Wednesday, September 3, 2025, at 6:30 p.m. in the Council Chambers. Commissioner Anunson seconded the motion; a roll call vote reflected (Absent: Commissioners Borgialli and Turner; Commissioner Yeh left the meeting)

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**TORRANCE PLANNING COMMISSION – OCTOBER 15, 2025**

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Adjourned at 8:15 PM to Wednesday, November 5, 2025, at 6:30 PM in the LeRoy J. Jackson Council Chamber 3031 Torrance Boulevard.

**MINUTES OF A REGULAR MEETING OF THE  
TORRANCE PLANNING COMMISSION AGENDA**

**1. CALL MEETING TO ORDER**

The Torrance Planning Commission convened in a regular session at 6:31 PM on Wednesday, October 15, 2025, in the Council Chamber.

**ROLL CALL**

Present: Commissioners Anunson, Borgialli, Obejas, Riggs, Turner, Yeh, and Chair Kartsonis

Absent: None

Also Present: Planning Manager Robert Garcia, Community Development Director Michelle Ramirez, Senior Planner Leo Oorts, Planning Associate Dominique Allen, Planning Assistant Austin Lujan, Planning Associate Natalie Niemeyer, Planning Associate Luis E. Velazquez, Senior Fire Prevention Specialist Christopher Rhodes, Supervising Plans Examiner Rigo Torres, Assistant City Manager Danny Santana, and Assistant City Attorney Tatia Strader,

**2. FLAG SALUTE**

Pledge of Allegiance led by Commissioner Turner.

**3. REPORT OF THE COMMUNITY DEVELOPMENT STAFF ON THE POSTING OF THE AGENDA**

Planning Manager Garcia stated that the agenda was posted on the Public Notice Board at 3031 Torrance Boulevard and on the City's Website on Thursday, October 9, 2025.

**4. ANNOUNCEMENT OF WITHDRAWN, DEFERRED, AND/OR SUPPLEMENTAL ITEMS**

Planning Manager Garcia reported the following Supplemental Items:  
Supplemental to Item #8A: letter of support.

**5. ORAL COMMUNICATIONS**

Members of the public spoke.

**6. CONSENT CALENDAR**

**6A. APPROVAL OF MINUTES: August 6, 2025, September 3, 2025, and September 17, 2025**

**MOTION:** Commissioner Yeh moved to approve August 6, September 3, and September 17, 2025 minutes. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

7. **ADMINISTRATIVE MATTERS**

None.

8. **HEARINGS**

8A. **COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF MOD25-00002: SMOG CITY BREWING CO., LLC (AVOIAN PROPERY GROUP LP)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a previously approved Conditional Use Permit (CUP12-00015) to allow an outdoor patio addition to an existing brewery and tasting room, on property located in the Heavy Manufacturing District (M-2 Zone) at 1901 Del Amo Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-060)

**Recommendation:** Approval

Planning Associate Velazquez introduced and presented item 8A.

Lori Porter, owner and applicant, gave a brief report on the item.

Members of the public spoke.

Commissioner Yeh asked about kitchen expansion possibilities; Ms. Porter confirmed the site layout made that impractical.

Commissioner Obejas inquired about bike parking and signage, recommending a 'Bikes Welcome' sign.

Chair Kartsonis disclosed familiarity with the business but stated no conflict of interest.

Commissioner Riggs asked where the name of the Brewery was derived, Ms. Porter stated it was originally the nickname of Los Angeles and that's where the name originated.

**MOTION:** Commissioner Borgialli moved to close the public hearing. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

**MOTION:** Commissioner Borgialli moved to approve MOD25-00002. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval. Planning Associate Velazquez read by title only Resolution No. 2025-060; Resolution of the Planning Commission of the City of Torrance, California, approving a modification of a previously approved Conditional Use Permit as provided for in Division 9, Chapter 2, Article 28 of the Torrance Municipal code to allow an addition to an existing outdoor patio at a brewery and tasting room, on property located in the heavy manufacturing district (M-2 Zone) at 1901 Del Amo Boulevard.

**MOTION:** Commissioner Obejas moved to adopt Planning Commission Resolution No. 2025-060. Commissioner Borgialli seconded the motion; a roll call vote reflected 7-0 adoption.

For item #8B; Chair Kartsonis recused himself due to having a financial relationship with his business in the City of Torrance.

Vice Chair Turner chaired the meeting while Chair Kartsonis is recused.

**8B. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00019: SCOTT ELLIOT (CITY OF TORRANCE)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00019) to allow an eleemosynary coffee service trailer outside the Katy Geissert Civic Center Library on property located in the Public Use District (P-U) Zone at 3301 Torrance Boulevard. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15311 (Accessory Structures). (Res. No. 2025-061)

**Recommendation:** Approval

Planning Associate Niemeyer introduced and presented item 8B.

Scott Elliot, applicant, gave a brief overview of the project.

No public comments.

Commissioner Yeh asked where the company's other sites are located? Mr. Elliot stated the company serves hospitals, many cities and events. Will food be served? Mr. Elliot stated yes, they have prepackaged food items, that are both cold and hot. For the hot items, a Turbo Chef will be used.

Commissioner Borgialli asked about power to the trailer, gasoline will power when solar isn't available. Mr. Borgialli asked if it's in the Commissions scope to ask about HVAC? Staff stated this is not in the purview of the Commission, however, if the applicant would like to address the question, they may do so. Mr. Elliot stated they have skylights and HVAC in the trailer. Mr. Elliot stated in the end batteries were too heavy to change in and out. The only thing they will need to do is bring fresh water to the trailer, because they aren't using city power. The trailer does have a hot water heater. Commissioner Borgialli was concerned about the working conditions; however, Mr. Elliot answered all his concerns and wished him the best of luck.

Commissioner Obejas stated the same sentiments as the previous commissioners, stating he believes the company is doing a good thing. Questioned the battery's location, Mr. Elliot stated the batteries are located underneath the cabinetry and machines, HVAC is caged outside, and batteries stored inside. Commissioner Obejas was concerned about the location of the lock due to degrading of locks in sunlight and asked them to be mindful of this situation. Commissioner Borgialli inquired about operating hours; Mr. Elliot stated the hours of operation are planned from 7-3 pm and were set by staff. Community Development Director

Ramirez reiterated there are employees that do begin at 7:00 AM. Commissioner Borgialli was concerned about trash; Mr. Elliot stated trash will be handled by city staff.

Commissioner Riggs thanked Mr. Elliot for choosing the City of Torrance and stated he is concerned about the security of the trailer, Mr. Elliot stated there are 3 cameras operating 24/7. Commissioner Riggs questioned whether others can set up a trailer at any time? Assistant City Manager Santana stated a ground lease is needed, not anyone can set up a business on City of Torrance property without going through the proper channels and stated the trailer will be in a fixed location and not able to move around the property.

Vice Chair Turner thanked Mr. Elliot for bringing this idea to the city and for using the DaVinci high school students to help with the design of the trailer.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 6-0 approval. (Recused: Chair Kartsonis). Commissioner Borgialli made a few final comments; however, the hearing is closed.

**MOTION:** Commissioner Obejas moved to approve CUP25-00019. Commissioner Riggs seconded the motion; a roll call vote reflected 6-0 approval. (Recused: Chair Kartsonis) Planning Associate Niemeyer read by title only Resolution No. PLN 2025-061; Resolution of the Planning Commission of the City of Torrance, California, approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 3 of the Torrance Municipal Code to allow an Eleemosynary coffee service trailer outside the Katy Geissert Civic Center Library on Property located in the Public Use District (P-U) Zone at 3301 Torrance Boulevard.

**MOTION:** Commissioner Obejas moved to adopt Planning Commission Resolution No. 2025-061. Commissioner Riggs seconded the motion; a roll call vote reflected

6-0 adoption. (Recused: Chair Kartsonis)

Commission recessed at 7:28 PM

Chair Kartsonis returned to the dais.

Commission reconvened at 7:34 PM

Roll call vote reflected 7-0; all commissioners present.

Commissioner Turner left the dais due to a financial conflict of interest.

**8C. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00020: MISAKO OHNO (PJ AND B INC)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of a Conditional Use Permit (CUP25-00020) to allow the operation of a restaurant use located in the General Commercial (C-2) Precise Plan of Development (PP) Zone at 4172 Pacific Coast Highway units 115 and 116. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-062)

**Recommendation:** Approval

Planning Associate Allen introduced and presented item 8C.

Applicants architect gave a brief overview of the project.

No public comments.

In response to Commissioner Yeh, Jeremy Lopez, co-owner, stated the restaurant will be a fast casual concept and the food is Americanized with an Asian twist.

**MOTION:** Commissioner Obejas moved to close the public hearing. Commissioner Riggs seconded the motion; a roll call vote reflected 6-0 approval. (Recused: Commissioner Turner)

**MOTION:** Commissioner Obejas moved to approve CUP25-00020. Commissioner Riggs seconded the motion; a roll call vote reflected 6-0 approval. (Recused: Commissioner Turner)

Planning Associate Allen read by title only Resolution No. PLN 2025-062; Resolution of the Planning Commission of the City of Torrance, California, approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code to allow the operation of a restaurant use on Property located in the General Commercial Zone at 4172 Pacific Coast Highway Units 115 and 116.

**MOTION:** Commissioner Borgialli moved to adopt Planning Commission Resolution No. PLN 2025-062. Commissioner Anunson seconded the motion; a roll call vote reflected 6-0 adoption. (Recused: Commissioner Turner)

Commissioner Turner returned to the dais.

Roll call vote reflected 7-0; all commissioners present.

**8D. COMMUNITY DEVELOPMENT – CONDUCT A PUBLIC HEARING TO CONSIDER APPROVAL OF CUP25-00021: MAASAI SINGLETON (HIKARI POWER Z CO., LTD)**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing for consideration of Conditional Use Permit (CUP25-00021) to allow the operation of an arcade on property located in the General Commercial (C2) Zone at 18529 Western Avenue. This project is Categorically Exempt from California Environmental Quality Act (CEQA) per Guidelines Section 15301 – Existing Facilities. (Res. No. 2025-063)

**Recommendation:** Approval

Planning Assistant Lujan introduced and presented the item.

Maasai Singleton, applicant, gave a brief overview of the project.

No public comment.

Commissioner Obejas questioned the business hours of 7 days a week, 12 hours a day with only one employee? Mr. Singleton stated for now this is the plan and could possibly change in the future and stated most arcades adopt this business model. There is no cash, only a card system and I will always be on site for anyone needing assistance.

Commissioner Riggs stated this a great location and will bring a lot to the area and wished Mr. Singleton well.

In response to Commissioner Yeh, Planning Assistant Lujan stated there should not be a noise issue in this area and mentioned there is a wall and an alley between the residential area.

Chair Kartsonis asked about security; Mr. Singleton explained he will be hiring a security guard or guards.

Chair Kartsonis and Commissioner Riggs stated they have both visited the area and are familiar with the location and will base their decisions on the evidence presented.

**MOTION:** Commissioner Borgialli moved to close the public hearing. Commissioner Yeh seconded the motion; a roll call vote reflected 7-0 approval.

Commissioner Borgialli asked a question of staff regarding a condition; is the owner required to be at the site from 11:00 am to 11:00 PM each day. Staff stated that it isn't a condition for approval.

**MOTION:** Commissioner Borgialli moved to approve CUP25-00021. Commissioner Turner seconded the motion; a roll call vote reflected 7-0 approval.

Planning Assistant Lujan read by title only Resolution No. PLN 2025-063; Resolution of the Planning Commission of the City of Torrance, California, approving a Conditional Use Permit as provided for in Division 9, Chapter 5, Article 1 of the Torrance Municipal Code to allow the operation of an arcade on property located in the General Commercial (C-2) Zone at 18529 Western Avenue.

**MOTION:** Commissioner Borgialli moved to adopt Planning Commission Resolution No. PLN 2025-063. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 adoption.

## 9. **RESOLUTIONS**

None.

## 10. **COMMISSION AND STAFF ORAL COMMUNICATIONS**

Commissioner Turner questioned if the Commission had purview over safety, fire, etc. on projects that come before the commission as it was her understanding that was for staff approval; Staff concurred, this is correct; commission will approve the project and staff will move the project forward to completion through various departments.

Commissioner Borgialli asked if certain meeting-minute dates were approved; 3 dates were approved. Requested an excused absence for November 19, 2025.

In response to Commissioner Obejas question about a letter received prior to the meeting; Assistant City Attorney Strader and Community Development Director Ramirez stated the letter was mostly incorrect information regarding the Hillside overlay.

Commissioner Anunson and Riggs commented on the Hillside overlay and letter.

Commissioner Borgialli asked about the workshop regarding the Hillside overlay. Assistant City Attorney Strader stated the workshop will have limits due to the current state of the law.

Planning Manager Garcia mentioned the department is updating conflict of interest maps (Form 700) and if Commissioners have disclosures, please let him know.

Community Development Director Ramirez stated one of the reasons they are waiting on presenting the workshop is due to possible legislation changes. The State Legislative Advocacy Committee Meeting announced on Wednesday, October 22, 2025 at noon in Council Chamber where key legislation will be discussed.

In response to Commissioner Riggs question about RHNA numbers being met, Community Development Director Ramirez responded not until the projects are finished and occupied. Community Director Ramirez stated there are about 1200 units currently under construction and not many of them are low moderate income, probably less than 50 are affordable. She further responded that there is no updates regarding the vacant Sears property.

#### **11. ADJOURNMENT**

**MOTION:** At 8:15 PM Commissioner Borgialli moved to adjourn the meeting to November 5, 2025, at 6:30 PM in the LeRoy J. Jackson Council Chamber. Commissioner Obejas seconded the motion; a roll call vote reflected 7-0 approval.

**AGENDA ITEM NO. 7A**

**DATE:** November 5, 2025  
**TO:** Planning Commission  
**FROM:** Luis E. Velazquez, Planning Associate  
**SUBJECT:** 24449 Hawthorne Boulevard  
24453 Hawthorne Boulevard  
Division of Lot (DIV25-00004)

Consideration of Division of Lot (DIV25-00004) to allow the consolidation of two parcels into one parcel, on property located in the Hawthorne Boulevard Corridor Specific Plan WALTERIA Sub-District (H-WT Zone) at 24449 Hawthorne Boulevard.

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 2025-064 for approval of DIV25-00004 to allow the consolidation of two parcels into one parcel, on property located in the H-WT Zone and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15305 (Minor Alterations).

**EXECUTIVE SUMMARY**

The project applicant, Denn Engineers (GCS Harley LLC), requests approval by the Planning Commission to allow the consolidation of two parcels into one parcel, on property located in the H-WT Zone.

The development standards of the H-WT Zone, and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Division of Lot (DIV) to allow the consolidation of two parcels into one parcel.

Staff has thoroughly reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation of the General Plan and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**General Plan Land Use Designation**

The properties have a General Plan land use designation of C-GEN, which allows a maximum Floor Area Ratio of 0.6. The designation is intended for a wide variety of commercial, retail and service uses, and mixed-use commercial and residential development. The H-WT Zone is consistent with the General Commercial land use designation.

**Zoning Designation and Adjacent Land Uses**

The subject properties are designated as H-WT Zone (Attachment 2). The surrounding parcels in the immediate area share the same zoning designation, other than those along Hawthorne Boulevard, which are designated as H-WT.

NORTH: H-WT Office and Retail Commercial Uses  
SOUTH: H-WT Retail Commercial Uses  
EAST: H-WT Mixed-Use office & Residential, retail commercial Uses  
WEST: R-1 Single Family Residences, Residential Use

## **Background**

On October 21, 2020, the Planning Commission approved DIV20-01003 (DIV20-01003) in conjunction with entitlements for a mixed-use project at 24449 Hawthorne Boulevard. DIV20-01003 consolidated two parcels into one legal parcel.

The applicant requested and received two, one-year extensions, Time Extensions (EXT22-00012) and (EXT23-00009). TMC allows extensions of up to two years. The first extension extended approval to October 21, 2023. The second extension subsequently extended approval to October 21, 2024.

The previously approved DIV20-01003 was tied to Parcel Map No. 83204. Although the map was approved by the Planning Commission, the processing with Los Angeles County was never completed. Because the parcel map was not finalized or recorded, the subdivision action did not take effect.

The TMC allows for extensions of up to two years beyond the initial two-year approval period, providing a maximum of four years. In this case, both extensions were granted, but the map still did not proceed to recordation within the allowed timeframe. As a result, the DIV approval has expired.

Since the map and its extensions have lapsed, a new DIV20-01003 (DIV) is required to re-establish legal lot status and provide the necessary entitlement for the project to move forward.

## **Lot Consolidation**

The applicant proposes to consolidate two parcels into one parcel to proceed with the approved nine unit mixed-use development. The lot consolidation will eliminate underlying parcel lines and create a single buildable lot consistent with current zoning and subdivision standards. The resulting parcel will have a regular rectangular shape with street frontage along Hawthorne Boulevard and alley access at the rear, providing efficient site layout and circulation.

As part of the lot consolidation, an alley dedication totaling approximately 625 square feet is proposed along the rear property boundary. The dedication will bring the right-of-way to City standards and allow for future improvement of the existing alley, which serves both the subject property and adjacent parcels. The additional area will support the extension of public utilities, improved drainage facilities, and safe vehicular access. The dedication will also align the alley with adjoining properties and provide adequate right-of-way for City maintenance and service operations. These improvements will enhance circulation, stormwater management, and long-term public maintenance of the alley segment.

## **ENVIRONMENTAL DETERMINATION**

Lot consolidations not resulting in the creation of any new parcel are Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15305 (Minor Alterations).

## **CONCLUSION**

The prior DIV20-01003 received the maximum two years of extensions permitted under the TMC and has expired. Since the approval and extensions expired, a new DIV is required. The current request is consistent with the subdivision regulations of the TMC. In the judgment of staff, the proposed DIV is consistent with existing improvements and will remain compatible with the land use pattern of the surrounding area. The project area will not be significantly impacted by the proposed lot consolidation, and the project does not affect existing uses. Based on the findings of this report, staff recommends approval of the request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the TMC, a notice for a public hearing was made no less than 10 calendar days before the Planning Commission meeting. This notice was also posted at the project site and mailed on October 24, 2025, to all registered property owners located within a 500' radius of the exterior boundaries of the project site. Additionally, a notice was published in the local newspaper (The Daily Breeze) and posted on the City of Torrance Planning Commission webpage.

## **RIGHT OF APPEAL**

In accordance with TMC 92.29.15, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the adoption of the resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00 a.m. to 5:00 p.m., Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution No. 2025-064
2. Location and Zoning Map
3. Code Requirements
4. Map Exhibit

## **STAFF CONTACT**

Luis E. Velazquez, Planning Associate  
[LVelazquez@TorranceCA.gov](mailto:LVelazquez@TorranceCA.gov)

**ITEM 7A**  
**ATTACHMENT 1**

RESOLUTION NO. 2025-064

**PLANNING COMMISSION RESOLUTION NO. 2025-064**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A DIVISION OF LOT (DIV25-00004) AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 29 OF THE TORRANCE MUNICIPAL CODE TO ALLOW LOT CONSOLIDATION OF TWO PARCELS INTO ONE PARCEL ON PROPERTY LOCATED IN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN WALTERIA SUB-DISTRICT (H-WT ZONE) AT 24449 HAWTHORNE BOULEVARD.

**DIV25-00004: DENN ENGINEERING (GCS HARLEY LLC)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on November 5, 2025, to consider an application for a Division of Lot (DIV25-00004) filed by Denn Engineers (GCS Harley LLC) to allow lot consolidation of two parcels into one parcel, on property located in the Hawthorne Boulevard Corridor Specific Plan Walteria Sub-District (H-WT) Zone at 24449 Hawthorne Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 29 of the Torrance Municipal Code (TMC); and

**WHEREAS**, lot consolidation of two parcels into one is Categorically Exempt pursuant to Section 15305 Minor Alterations in Land Use Limitations of the 2025 Guidelines for the California Environmental Quality Act (CEQA); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the properties for DIV25-00004 are located at 24449 Hawthorne Boulevard;
- b) That the properties are identified as APNs 7534-021-038 and 7534-021-039;
- c) That the proposed is described as TRACT NO 7506 LOTS 1 AND LOT 2 BLK;
- d) That the proposed lot consolidation is consistent with the H-WT Zone and General Commercial (C-GEN) General Plan designation;
- e) That the resulting parcel is physically suitable for the lot consolidation, does not change the existing zoning or land use designation, nor affect the existing uses or intensity of uses. Furthermore, the resulting parcel will remain consistent with the development pattern of the area;
- f) That the lot consolidation will not interfere with the orderly development of the City and will be compatible with the prevailing land use pattern as the resulting parcel will compare to adjacent parcels;
- g) That the lot consolidation will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as the project has been determined to be Categorically Exempt by the Guidelines for Implementation of the CEQA, Article 19, Section 15305;
- h) That the lot consolidation is consistent with the City's Zoning because the existing and current uses are allowed within the H-WT Zone and will not change as part of the request;

- i) That DIV25-00004 will not cause serious public health problems as the Lot Consolidation, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
    - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.
- j) That the lot consolidation will not conflict with any public access or easements.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** DIV25-00004, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that DIV25-00004 filed by DENN ENGINEERING (GCS HARLEY LLC) allow lot consolidation of two parcels into one parcel, on property located in the H-WT Zone at 24449 Hawthorne Boulevard, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That the Lot Consolidation of the subject properties shall be subject to all conditions imposed in DIV25-00004; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of DIV25-00004 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)
3. That all conditions of Conditional Use Permit (CUP20-01008) and Development Permit (DVP20-00001) and subsequent land use entitlements shall continue to apply;

4. That if DIV25-00004 is not used within two years after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC; and
5. That centerline ties be filed with and checked by the Community Development Department, Engineering Division; (Engineering)
6. That the Planning Commission's approval for a tentative map is effective for two years but may be extended if applied for 90 days prior to expiration of said approval. Official modifications of the tentative map will not affect the original date of approval; (Engineering)
7. That the applicant shall dedicate the westerly 10' of the southerly 62.5' of the lot for the purpose of street and highway improvements. Dedication shall be reflected on the final parcel map; (Engineering)
8. That a lot tie agreement shall be recorded providing that multiple lots underlying this property shall not be sold, leased, or financed separately. The lot tie agreement shall be recorded prior to granting of any Building Permits and PARCEL MAP shall be recorded prior to occupancy; (Engineering)
9. That all physical public improvements which are conditions of CUP20-01008 and DVP20-00001 must be completed prior to occupancy; (Engineering)
10. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of November 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**ITEM 7A**  
**ATTACHMENT 2**

**LOCATION AND ZONING MAP**





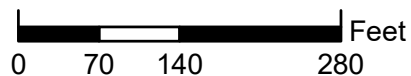
# LOCATION AND ZONING MAP

DIV25-00004  
24449 HAWTHORNE BLVD



## LEGEND

-  Notification Area
-  Parcels



**ITEM 7A**  
**ATTACHMENT 3**  
**CODE REQUIREMENTS**

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### **ENGINEERING**

1. Easements shall be shown on Final Parcel Map.
2. For condominium units, Final Parcel Map must be recorded prior to obtaining occupancy permits.
3. All Final Parcel Maps are to be compiled from field survey data unless otherwise approved by the City Engineer. (City Code Section 92.29.7)
4. All physical public improvements which are conditions of this Planning Case must be completed prior to occupancy.

**ITEM 7A**  
**ATTACHMENT 4**

**MAP EXHIBIT**

SCALE: 1" = 20'

VESTING TENTATIVE

SHEET 1 OF 1 SHEET

LEGAL DESCRIPTION

PARCEL 1:  
LOTS 1&2, BLOCK B, TRACT NO. 7506, M.B. 90-31-33, APN 7534-021-038

PARCEL 2:  
LOTS 8, 9 AND 10 IN BLOCK "B" OF WALTERIA, IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGES 55 TO 56 OF MISCELLANEOUS RECORDS OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THE SOUTH HALF OF SAID LOT 10, TOGETHER WITH THE EASTERLY 12.50 FEET OF THAT PORTION OF THE VACATED ALLEY (25 FEET WIDE) AS SHOWN ON THE MAP OF SAID WALTERIA TRACT, ADJOINING SAID LOTS ON THE WEST, LYING SOUTHERLY OF THE WESTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID LOT 8 AND NORTHERLY OF THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE NORTH HALF OF SAID LOT 10. APN 7534-021-039

OWNERSHIP AT TIME OF SURVEY

GCS HARLEY LLC  
302 THE STRAND  
HERMOSA BEACH, CA 90254  
PHONE 310-373-0935

SUBDIVIDER

CINDI AND GARY WELLS  
ABC POOL & PATIO, INC.  
24449 HAWTHORNE BOULEVARD  
TORRANCE, CA 90505  
PHONE 310-373-0935

JOB ADDRESS

24453 HAWTHORNE BOULEVARD  
TORRANCE, CA 90505

# PARCEL MAP NO.83204

IN THE CITY OF TORRANCE  
COUNTY OF LOS ANGELES  
STATE OF CALIFORNIA

FOR LOT CONSOLIDATION PURPOSES

ENGINEER  
DENN ENGINEERS  
3914 DEL AMO BLVD., STE. 921  
TORRANCE, CA 90503  
PHONE (310) 542-9433



*Gary J. Roehl*  
GARY J. ROEHL R.C.E. 30826

DATE MAY 21, 2025

19-122B

**LEGEND**

- EXISTING BUILDING
- CONCRETE
- 106.76 EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- A.C. ASPHALT CONCRETE
- E'LY EASTERLY
- EG EDGE OF GUTTER
- FH FIRE HYDRANT
- FL FLOW LINE
- L&T LEAD AND TAG
- N'LY NORTHERLY
- PP POWER POLE
- S&W SPIKE AND WASHER
- S'LY SOUTHERLY
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DWY APRON
- W'LY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

NOTES:

- EXISTING LOT HAS BEEN CLEARED - VACANT LAND.
- ALL UTILITIES AND SANITARY SEWER ARE LOCATED IN ADJACENT STREETS.
- THIS MAP IS FOR LOT CONSOLIDATION PURPOSES.
- EXISTING SITE DRAINAGE IS SURFACE FLOW WITH DISCHARGE TO ADJACENT STREETS.
- PROPOSED SITE DRAINAGE IS COLLECTING ON-SITE FLOW WITHIN THE LOT AND DRAIN TO HAWTHORNE BOULEVARD THROUGH A PARKWAY DRAIN WITH SUMP PUMP.
- PROPOSED SANITARY SEWER IS TO CONNECT EXISTING CITY MAIN ON PUBLIC ALLEY THROUGH 6" PIPES.

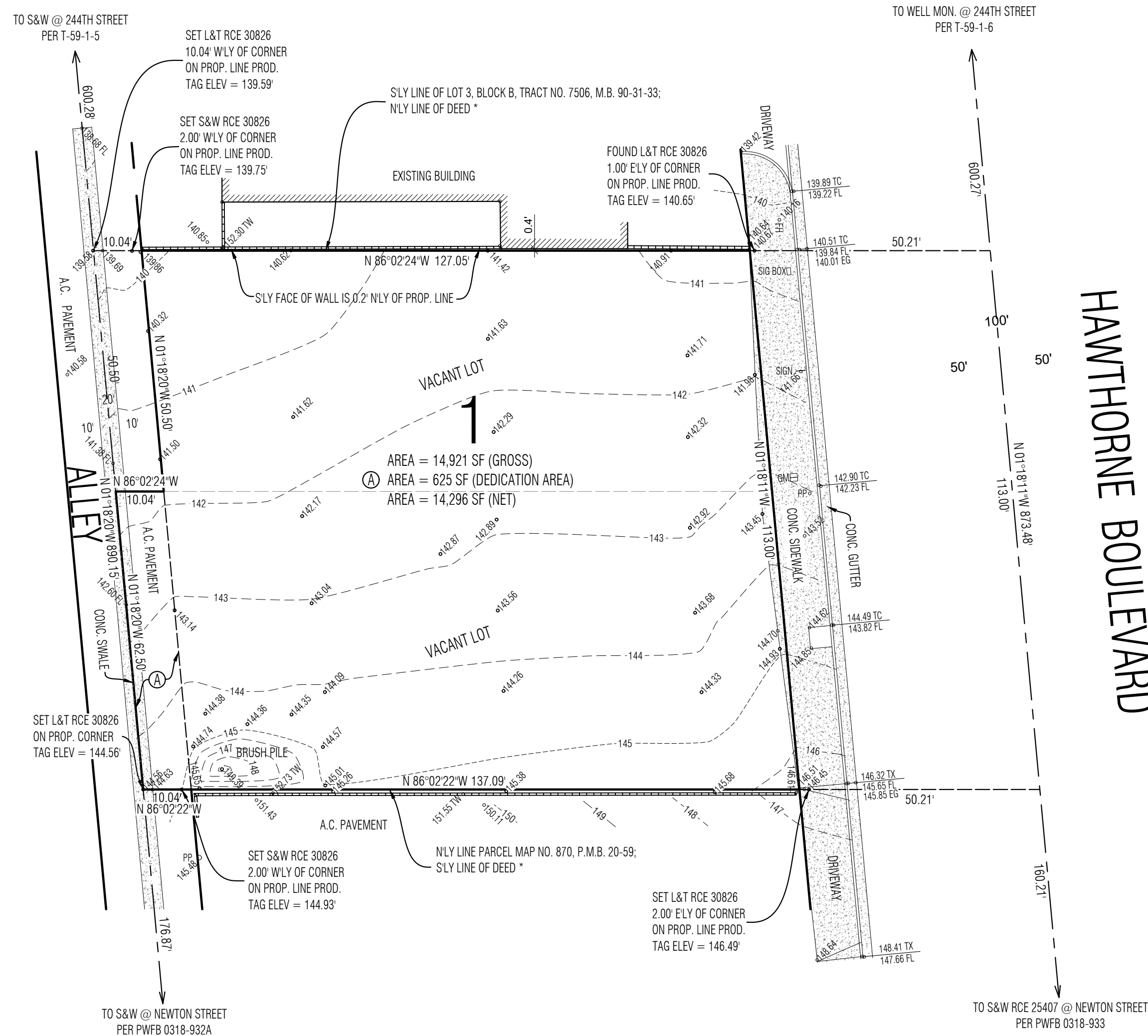
\* INSTRUMENT RECORDED DECEMBER 20, 2019 AS INSTRUMENT NO. 20191424104, O.R.

TITLE NOTE:

A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

ITEM #5 - EASEMENT FOR PIPE LINE AND RIGHTS INCIDENTAL PURPOSES RECORDED IN BOOK 5647, PAGE 97 OF OFFICIAL RECORDS (INDETERMINATE IN NATURE; NOT PLOTTED)

USA NATIONAL TITLE COMPANY, INC.  
ORDER NO. 072240018-40  
DATED MARCH 21, 2025



**AGENDA ITEM NO. 8A**

**DATE:** November 5, 2025

**TO:** Planning Commission

**FROM:** Brice Kennedy, Planning Assistant

**SUBJECT:** 1609 Amapola Avenue  
Planning Commission Review (PCR25-00001)

Request for approval of a Planning Commission Review (PCR25-00001) to allow one- and two-story additions to an altered-contributing two-story single-family residence on property located within the Torrance Tract Overlay in the Two Family Residential District (R-2) Zone located at 1609 Amapola Avenue (APN 7355-016-003).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 2025-065 for approval of PCR25-00001 to allow one- and two-story additions to an altered-contributing two-story single family residence on property located within the Torrance Tract Overlay in the R-2 Zone, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicant, Ricky de la Rosa, requests approval by the Planning Commission to allow one- and two-story additions to an altered-contributing two-story single-family residence on property located within the Torrance Tract Overlay in the R-2 Zone. Per the Historic Resources Survey Summary, the property is considered an altered-contributor structure.

As the property is developed with a single-family residential use, the development standards of the R-1 Zone apply. In addition to the R-1 Zone development standards, the Torrance Tract Overlay and the Torrance Municipal Code (TMC) are applicable to the project. Discretionary review and approval of the following entitlement is required:

- Planning Commission Review (PCR) to allow alterations to the exterior facade of an altered-contributing structure.

Staff has reviewed the project and determined the project is consistent with the Low-Medium Density Residential (R-LM) land use designation of the General Plan and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**General Plan Land Use Designation**

The project site has a General Plan land use designation of R-LM, which is characterized by the development of small-lot single-family homes, duplexes, attached multi-unit developments, and mobile home parks within a density range of 9.1 to 18 dwelling units per acre. This designation is implemented by the R-2 Zone.

The existing single-family residence is consistent with the R-LM designation. The proposed one- and two-story additions to an altered-contributing structure are allowed with the approval of a Planning Commission Review.

### **Zoning Designation and Adjacent Land Uses**

The project site is designated as R-2 Zone (Attachment 2). The subject property is surrounded by the following land uses and zoning designations, summarized below.

NORTH:	R-2, Torrance Tract Overlay	Single Family Residences
SOUTH:	R-2, Torrance Tract Overlay	Single Family Residences
EAST:	R-2, Torrance Tract Overlay	Single Family Residences
WEST:	R-2 and R-3, Torrance Tract Overlay	Single and Multiple-Family Residences

### **Project Site**

The property is currently developed with a 1,507-square foot two-story single-family residence originally built in 1927, a 578-square foot detached rumpus room that was converted from a detached two-car garage, and a 420-square foot two-car garage. The subject parcel is a rectangular shaped lot that measures 40 feet in width, 140 feet in depth, is approximately 5,560 square feet in area, and abuts an alley along the rear (westerly) property line.

### **Project Description**

The applicant is proposing the construction of a 240-square foot one-story addition in conjunction with 94-square feet of covered entryway and patio, and a 420-square foot two-story addition in conjunction with a 150-square foot roof deck.

### **Building Setbacks**

The project plans provide a side setback of 4 feet along the southern property line, a front yard setback of 20 feet, and a rear setback of approximately 70 feet. Staff notes the project plans provide an existing legal non-conforming side setback of 3 feet along the northern property line and that all setbacks of the additions meet or exceed the minimum setback requirements of the TMC.

The one-story addition to the rear of the main house will provide an 11-foot building separation from the existing detached rumpus room.

### **Building Height**

The highest ridge point of the proposed two-story main house addition will measure 24 feet 6 inches in height which complies with the height limit for a two-story residence of 27 feet.

### **Building Architecture**

According to the Historic Resources Survey, the architectural style of the existing main residence is Spanish Colonial Revival originally constructed in 1927 and considered as an altered contributor. Exterior modifications have been made over time that are in-keeping with the Spanish Colonial Revival style. The survey and staff note that the existing windows have been modified and are not original to the home.

Exterior elevations show the proposed one- and two-story main house additions will match the existing Spanish Colonial Revival character, new exterior cement plaster walls and new concrete roof tiles are designed to match the existing improvements, and new windows are designed with similar height, size, and spacing as the existing main house. A condition of approval has been included to require that Spanish Colonial Revival style design elements maintained.

### **Building Floor Plan**

The remodeled main residence will consist of four bedrooms, four bathrooms and one powder room, living room, kitchen, dining room, and walk-in closet in one of the bedrooms. All bedrooms will be over 100 square feet in area, and two of the bedrooms are over 120 square feet in area, which complies with the minimum size requirement for a four-bedroom dwelling.

### **Lot Coverage, Open Space, and Floor Area Ratio**

The floor area ratio of the proposed residence, including the existing detached rumpus room and two-car garage, will be 0.54, which is below the 0.60 maximum allowed. The total lot coverage of the proposed improved residence will be 40%, which is the maximum allowed for a two-story dwelling. 2,641 square feet of usable open space will be provided, which exceeds the minimum requirement of 1,866 square feet.

### **Parking**

The existing detached two-car garage complies with the minimum 18 feet wide by 20 feet deep interior dimensions that are required by Code.

### **Statistical Information**

Lot Area	5,600 square feet (s.f.)
Existing Main Residence	1,507 square feet
Existing Detached Rumpus Room	578 square feet
Existing Detached Two-Car Garage	420 square feet
Proposed Addition	655 square feet
Total Floor Area	3,023 square feet
Floor Area Ratio	0.54 (5,600 s.f./3,023 s.f.)
Lot Coverage	40% (5,600 s.f./2,234 s.f.)
Usable Open Space	2,641 square feet
Height of Proposed Addition	24 feet 6 inches

### **Torrance Tract Overlay/Compliance with Historic Preservation Plan**

The subject residence was identified as an altered-contributing structure of the Spanish Colonial Revival architectural style in the Historic Resources Survey performed between 2011 and 2013. Planning Commission Review approval is required for proposed alterations to the exterior façade of contributing or altered-contributing residential structure in the Torrance Tract Overlay.

In addition to the criteria set forth in the Torrance Tract Overlay ordinance, this project is reviewed for consistency with the Historic Preservation Plan. In 2017, the Torrance Tract Overlay was established on a permanent basis to further implement the programs and goals of the Preservation Plan. The primary purpose of the Preservation Plan is to encourage the designation of historic landmarks and districts in order to preserve the Torrance Tract's unique place in the City's history, maintain its neighborhood character, manage appropriate change, and promote a sense of place. Although the subject property is not designated as a historic landmark or within a historic district, the Preservation Plan strives to protect contributing and altered-contributing structures, regardless of the property's historic status, from whole or partial demolition, prevent incompatible alterations, and preserve the neighborhood character of the Torrance Tract.

In staff's judgment, the proposed additions to the existing altered-contributing Spanish Colonial Revival structure are consistent with the Preservation Plan's purpose of contributing and altered-contributing structuring and maintaining neighborhood character of the Torrance Tract as it relates

to design, size, scale, profile, and massing found with residences constructed during the period of significance (1912-1945).

### **Environmental Determination**

Additions to existing structures are Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

### **CONCLUSION**

In the judgment of staff, the proposed one- and two-story story additions, as conditioned, are compatible with the land use and the architectural character of the surrounding area. The proposed one- and two-story additions, as conditioned, will comply with R-1 development standards.

As of the preparation of this report, no written correspondence has been received pertaining to the request.

### **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

### **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

### **PUBLIC NOTICE**

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 23<sup>rd</sup>, 2025 to the registered owner of properties located within a 500-foot radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

### **RIGHT OF APPEAL**

In accordance with TMC Section 96.2.5, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the Planning Commission decision. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

### **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution No. 2025-065
2. Location and Zoning Map
3. Code Requirements
4. Project Plans

## **STAFF CONTACT**

Brice Kennedy, Planning Assistant  
[BKennedy@TorranceCA.gov](mailto:BKennedy@TorranceCA.gov)

**ITEM 8A**  
**ATTACHMENT 1**

RESOLUTION NO. 2025-065

**PLANNING COMMISSION RESOLUTION NO. 2025-065**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A PLANNING COMMISSION REVIEW AS PROVIDED FOR IN DIVISION 9, CHAPTER 1, ARTICLE 49 OF THE TORRANCE MUNICIPAL CODE TO ALLOW ONE- AND TWO-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED WITHIN THE TORRANCE TRACT OVERLAY IN THE TWO FAMILY RESIDENTIAL DISTRICT (R-2) ZONE AT 1609 AMAPOLA AVENUE.

**PCR25-00001: RICKY DE LA ROSA (BALDAUF BRIAN A CO TR BALDAUF)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on November 5, 2025, to consider an application for a Planning Commission Review filed by Ricky de la Rosa (Brian Baldauf) to allow first- and second-story additions to an existing two-story single-family residence on property located within the Torrance Tract Overlay in the Two Family Residential District (R-2) Zone at 1609 Amapola Avenue; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 1, Article 49 of the Torrance Municipal Code (TMC); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property address is 1609 Amapola Ave (APN 7355-016-003);
- b) That the property is located on Lot 2, Block 52 of the Torrance Tract as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That construction of an addition on this property is Categorically Exempt pursuant to Section 15301 (Existing Facilities) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA);
- d) That the proposed first- and second-story additions to an existing two-story single-family residence will tend to preserve the neighborhood characteristics because elements of the original Spanish Colonial Revival style architecture will be maintained as part of this project;
- e) That the use and intensity of the project will be compatible with the properties in the vicinity because the proposed addition to the residence will be similar in design and scale with other single-family residential properties in the neighborhood;
- f) That the proposed addition will be done in such a way as to minimize the need for curb-cut because the residence will utilize the existing curb-cut and driveway to the property and no new curb cuts are proposed;
- g) That the proposed addition and residence will provide the required off-street parking and that the existing garage is compliant because the proposed additions are less than 50% of the original square footage;
- h) That the project will provide suitable open space, both in size and configuration, for the property because over one-third of the lot will be provided as usable open space in the front and rear yard areas; and

- i) That the proposed addition will provide sufficient storage space for personal effects so that the occupants will be encouraged to use the garage spaces.

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** PCR25-00001, subject to conditions:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that PCR25-00001, filed by Ricky de la Rosa (Brian Baldauf) to allow to allow a first- and second-story additions to an existing two-story single-family residence on property located within the Torrance Tract Overlay in the R-2 Zone at 1609 Amapola Avenue is hereby **APPROVED** subject to the following conditions:

1. That the use of the subject property for single-family residence shall be subject to all conditions imposed in PCR25-00001 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if this PCR25-00001 is not used within one (1) year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC;
3. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this Planning Commission Review or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)
4. That a copy of the signed Resolution, with all conditions of approval shall be incorporated to the set of plans submitted for plan check; (Planning)
5. That Spanish Colonial Revival style design elements are incorporated for the proposed main house additions in order preserve and match the architectural character of the existing main house to the satisfaction of the Community Development Director; (Planning)
6. That the front yard of any property zoned for residential use shall not be more than 50%-paved as provided for in Section 92.5.14 of the TMC; (Planning)

7. That the water heater, washer, and dryer shall not encroach into the required parking area; (Planning)
8. That the interior dimensions of a two-car garage shall be eighteen (18) feet wide by twenty (20) feet deep with no encroachments as provided for in Section 93.5.2 of the TMC; (Planning)
9. That the property shall be landscaped prior to final inspection as provided for in Section 92.21.9 of the TMC; (Planning)
10. That the maximum height of the residence at the highest point of the roof shall not exceed eighteen (18) feet in height for single-story dwelling and twenty-seven (27) feet in height for two-story dwelling; (Planning)
11. That the site plan submitted for Building Plan Check shall accurately reflect the location of all property lines and be based on a survey map prepared by a licensed surveyor or civil engineer; (Planning)
12. That within 30 days of the final public hearing, the applicant shall remove the "Public Notice" sign to the satisfaction of the Community Development Director; (Planning)
13. That the owner/developer shall replace portions of grinded and cracked sidewalks along the property frontage on Amapola Avenue; (Engineering)
14. That the owner/developer shall reconstruct existing driveway on Amapola Avenue adherent to Standard Plans for Public Works Construction (SPPWC) standards; (Engineering)
15. That the owner/developer shall install a street tree in the City parkway every fifty (50) feet for the length of this lot on Amapola Avenue as provided for in Section 74.3.2 of the TMC; (Engineering)
16. That the owner/developer shall acquire a Construction and Excavation Permit (C&E Permit) from the Community Development Department, Engineering Services Division, for any work in the public right-of-way on Amapola Avenue and public alley as provided for in Section 74.6.2 of the TMC; (Engineering)
17. That the owner/developer shall repair the damaged and cracked concrete slab in the alley. The section of the slab in the public right of way shall be replaced with asphalt concrete (AC) as provided by City of Torrance standards; (Engineering) and
18. That all conditions of other City departments received prior to or during the meeting shall be met.

Introduced, approved and adopted this 5th day of November 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chair, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

AYES:           COMMISSIONERS:

NOES:           COMMISSIONERS:

ABSENT:         COMMISSIONERS:

ABSTAIN:        COMMISSIONERS:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

**ITEM 8A**  
ATTACHMENT 2

LOCATION AND ZONING MAP





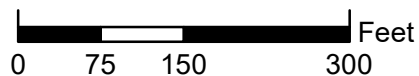
# LOCATION AND ZONING MAP

PCR25-00001  
1609 AMAPOLA AVENUE



# LEGEND

-  Notification Area
-  1609 Amapola



**ITEM 8A**  
**ATTACHMENT 3**  
**CODE REQUIREMENTS**

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements. They are provided for information purposes only.

### **BUILDING AND SAFETY**

1. Comply with 2022 California Residential Code, California Building Code, California Mechanical Code, California Electrical Code, California Plumbing Code, and California Green Building Code.

### **ENGINEERING**

2. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Services Division, for any work in the public right-of-way on Amapola Avenue and public alley (City Code Sec. 74.6.2).
3. Replace portions of grinded and cracked sidewalks along the property frontage on Amapola Avenue.
4. Reconstruct existing driveway on Amapola Avenue per SPPWC standards. Install a street tree in the City parkway every 50' for the length of this lot on Amapola Avenue (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area.
5. The damaged and cracked concrete slab in the alley shall be repaired. The section of the slab in the public right of way shall be replaced with AC per City of Torrance standards.

### **PLANNING**

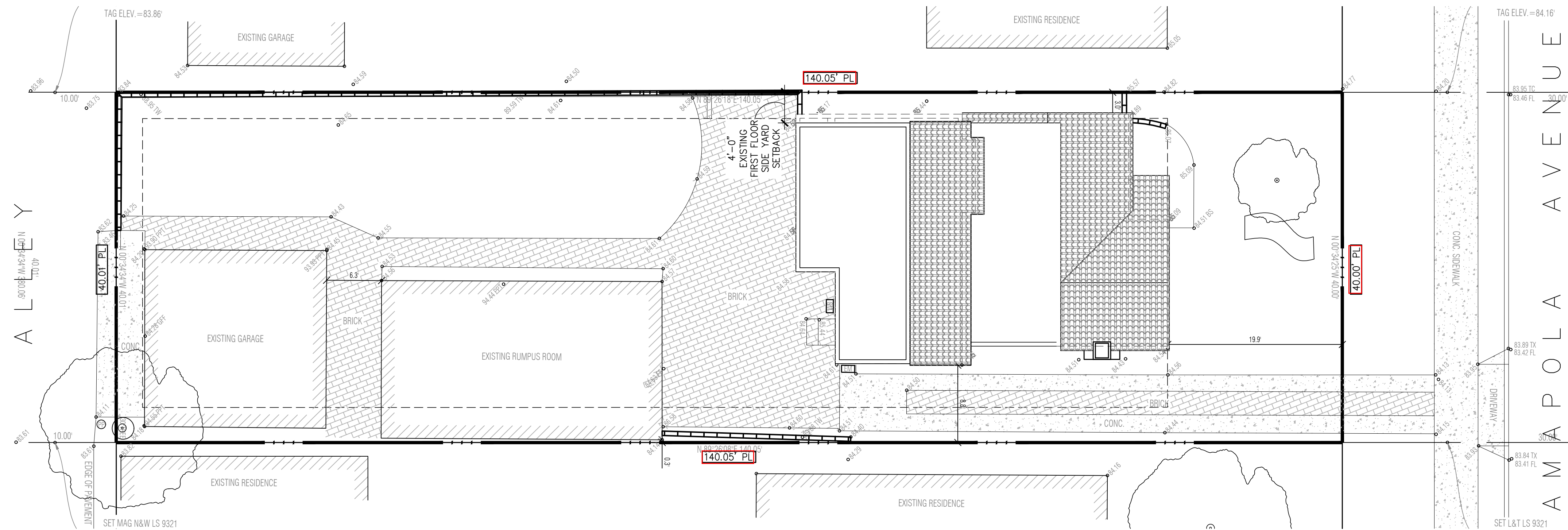
1. The front yard of any property zoned for residential use shall not be more than 50%-paved per Torrance code (92.5.14).
2. Water heater shall not encroach into the required parking area.
3. Washer and dryer shall not encroach into the required parking area.
4. For residential uses, the interior dimensions of a two-car garage shall be 18 ft. wide x 20 ft. deep with no encroachments per Torrance code(93.5.2).
5. The property shall be landscaped prior to final inspection per Torrance code(92.21.9).
6. The maximum height of the residence at the highest point of the roof shall not exceed 18' for single story and 27' for 2 story.

**ITEM 8A**  
**ATTACHMENT 4**  
**PROJECT PLANS**

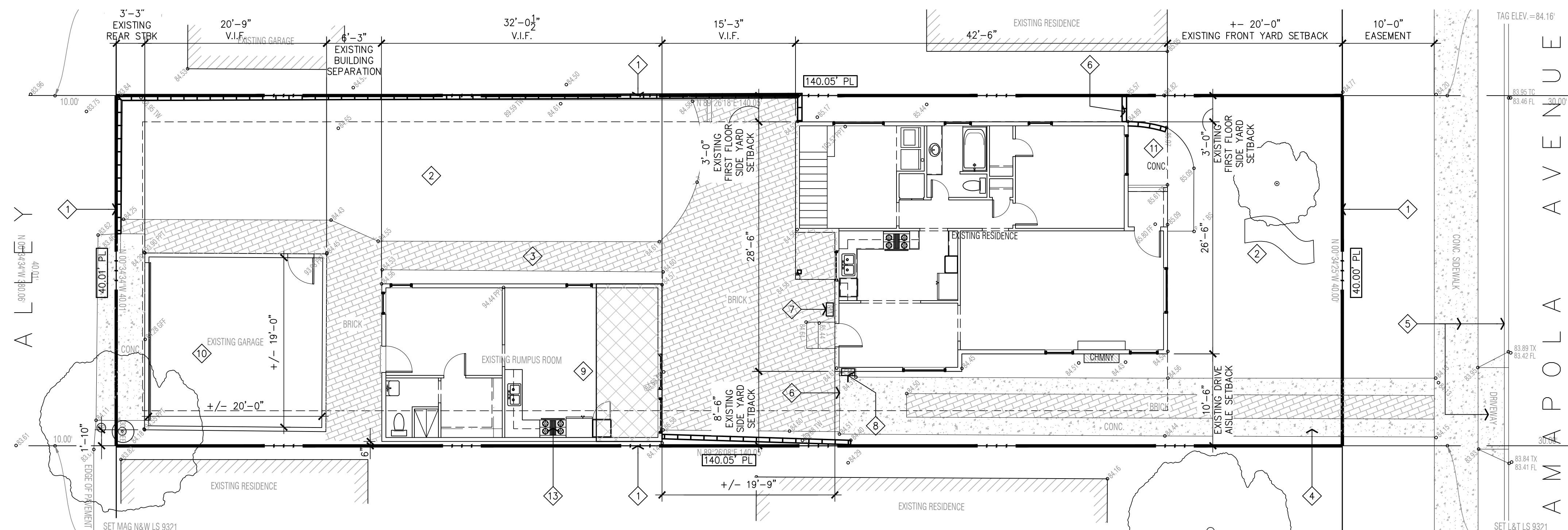
**NOTE:**  
 1. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.  
 2. APPROVAL IS REQUIRED BY PUBLIC WORKS DEPARTMENT FOR STREET IMPROVEMENTS, CURB CORES, CURBS / GUTTERS, ETC.  
 3. SEPARATE PUBLIC WORKS PERMITS IS REQUIRED FOR DRIVEWAYS, APPROACH TO DRIVEWAY, SEWER LATERALS AND WORK TO BE PERFORMED OR LOCATED IN THE PUBLIC RIGHT OF WAY.

SHEET INDEX	CODE INFORMATION
E1.0 - EXISTING SITE PLAN & TABULATIONS	BUILDING CODE: 2022 CRC, 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC,
E2.0 - EXISTING FLOOR PLAN	CITY ORDINANCES & 2022 CA ENERGY STANDARDS
E3.0 - EXISTING EXTERIOR ELEVATIONS	
P1.0 - PROPOSED SITE PLAN & TABULATIONS	
P2.0 - PROPOSED FLOOR PLAN	OCCUPANCY CLASS.: R-3
P3.0 - PROPOSED EXTERIOR ELEVATIONS	
P4.0 - PROPOSED BUILDING SECTIONS	CONSTRUCTION TYPE: TYPE V / NON-RATED (B)
P5.0 - PROPOSED CONCEPTUAL PERSPECTIVE	
<b>P5.1 - PROPOSED CONCEPTUAL PERSPECTIVE</b>	<b>NUMBER OF STORIES:</b> TWO W/ DETACHED 2-CAR GARG.
<b>P5.2 - PROPOSED CONCEPTUAL PERSPECTIVE</b>	

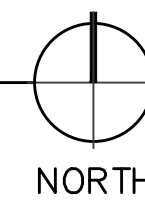
PROJECT INFORMATION	
OWNER	
BRIAN & RUTH BALDAUF 1609 AMAPOLA AVE., TORRANCE, CA. 90501	
PROJECT DESCRIPTION	
ADDITION / REMODEL TO A PROPERTY LOCATED AT 1609 AMAPOLA AVENUE. THE EXISTING SFR, 3-BR. + 2-BA. RESIDENCE SITS ON A 5,600 SF PROPERTY, CURRENTLY ZONED R2. THE EXISTING STRUCTURES ON THE PROPERTY ARE AS FOLLOWS: 2-STORY DETACHED SFR - 1,532 SF RUMPUS ROOM - 578 SF GARAGE - 420 SF TOTAL = 2,530 SF FAR = 0.45	
THE PROJECT CONSISTS OF REMODELING AND REMOVING +/- 137 SF FROM THE RUMPUS ROOM, REMODELING AND ADDING +/- 655 SF TO THE SFR, MAKING IT A 4-BR. + 3.5 BA. WITH AN FAR OF 0.54.	



existing site / roof plan  
 1/8" = 1'-0"



existing site plan  
 1/8" = 1'-0"



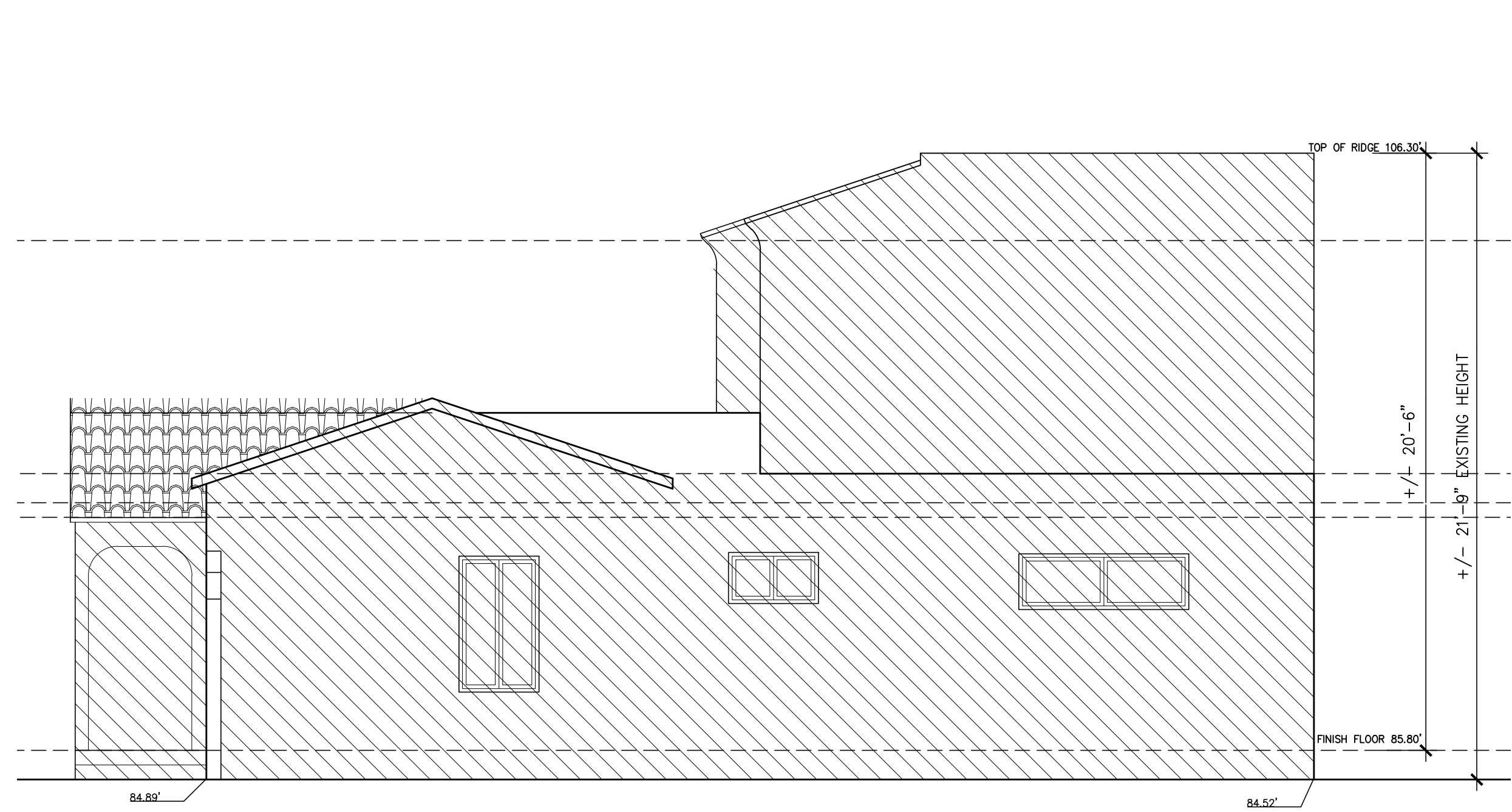
TABULATIONS	
LOT AREA	+/- 5,600 S.F.
LOT COVERAGE ANALYSIS	
existing lot coverage (res.+rump. rm+gar.):	2,079 S.F. (37.1%)
proposed lot coverage (res.+rump. rm+gar.):	2,234 S.F. (39.9%)
EXISTING BUILDING FLOOR AREA	
residence (livable):	+/- 1,507 S.F.
garage:	+/- 420 S.F.
rumpus room:	+/- 578 S.F.
TOTAL EXISTING BUILDING FLOOR AREA:	+/- 2,505 S.F.
EXISTING F.A.R.	0.45
REMOVED AREA	
residence (livable):	(-) S.F.
garage:	(-) S.F.
rumpus room:	(-137) S.F.
TOTAL REMOVED BUILDING FLOOR AREA:	(-137) S.F.
ADDITIONAL BUILDING FLOOR AREA	
residence (livable)- level 1:	240 S.F.
residence (livable)- level 2:	415 S.F.
covered patio:	61 S.F.
covered entry:	33 S.F.
roof deck:	100 S.F.
TOTAL ADDITIONAL BUILDING FLOOR AREA:	849 S.F.
PROPOSED FLOOR AREA	
existing building floor area: (residence)	+/- 1,507 S.F.
additional building floor area: (residence)	655 S.F.
TOTAL PROPOSED LIVABLE FLOOR AREA:	2,162 S.F.
existing building floor area: (rumpus room)	+/- 578 S.F.
removed building floor area: (rumpus room)	(-137) S.F.
PROPOSED RUMPUS ROOM FLOOR AREA:	441 S.F.
TOTAL PROP. FLR AREA (res+gar+rumpus rm):	3,023 S.F.
PROPOSED F.A.R.	0.54
USABLE OPEN SPACE	
required: (1/3 lot area min.) =	1,866 S.F. MIN.
proposed:	
Area 1 (1,690 S.F.) + Area 2 (246 SF) + Area 3 (705 S.F.) =	2,641 S.F.

SITE PLAN KEY NOTES	
1	PROPERTY LINE
2	EXISTING LANDSCAPING TO REMAIN
3	EXISTING HARDSCAPE TO REMAIN
4	EXISTING DRIVEWAY TO REMAIN
5	EXISTING CURBOUT & SIDEWALK TO REMAIN
6	EXISTING ACCESS GATE TO REMAIN
7	RELOCATED GAS METER
8	RELOCATED ELECTRIC METER
9	EXISTING RUMPUS ROOM TO BE REMODELED
10	EXISTING GARAGE TO REMAIN
11	NEW CONCRETE STEPS
12	NEW CONCRETE WALKWAY
13	EXISTING RANGE TO BE REMOVED

SITE PLAN LEGEND	
	REMOVED FLOOR AREA
	REMODELED FLOOR AREA
	ADDITIONAL LIVABLE FLOOR AREA
	NEIGHBOR BUILDING FOOTPRINT

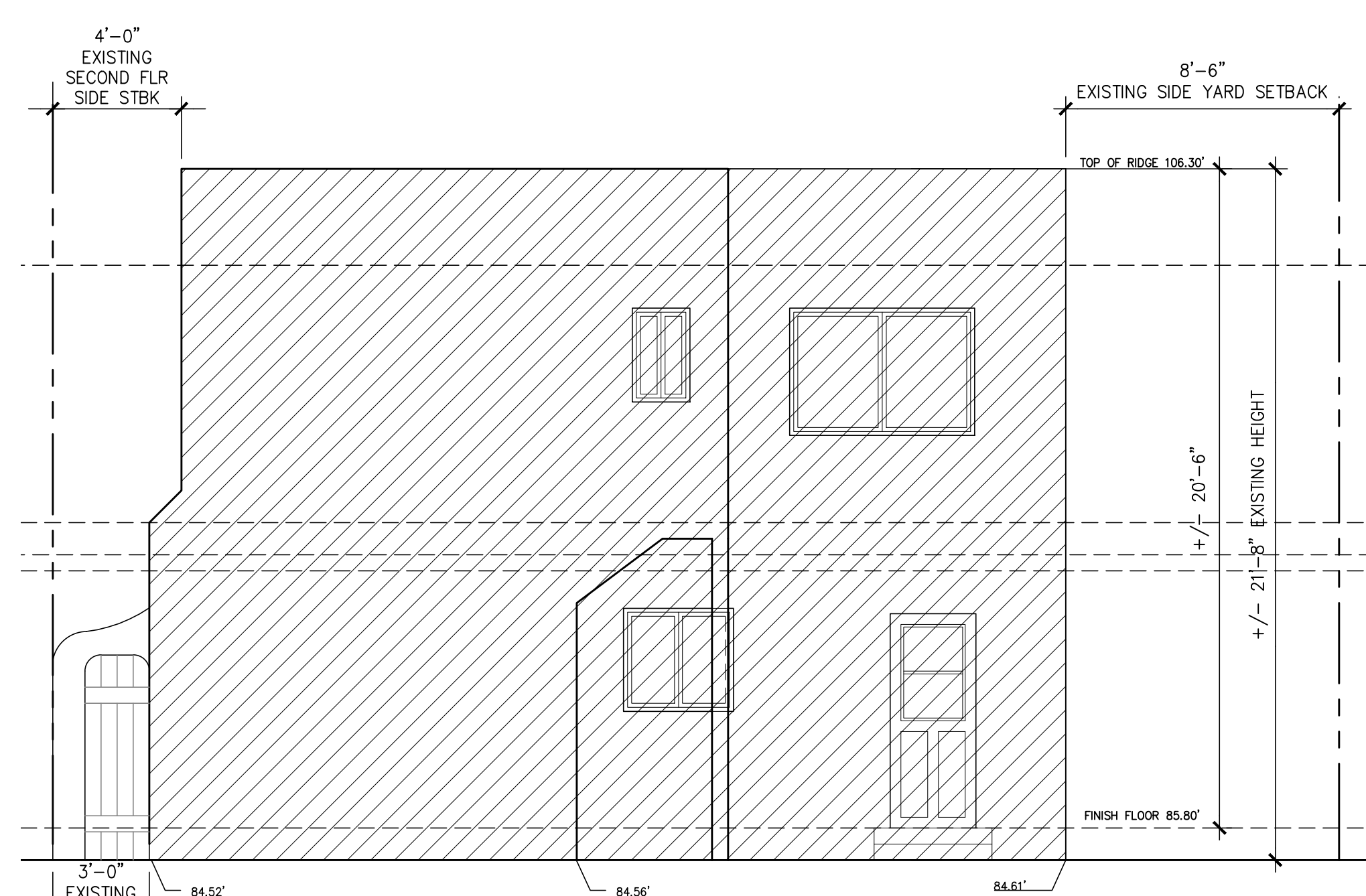
**CLIENT:** Brian & Ruth Baldauf  
 2040 Lomita Blvd., Suite 104  
 Lomita, CA 90247  
 (310) 341-3436  
 rickydlrosa@gmail.com  
**RESIDENCE**  
 BALDAUF  
 1609 Amapola Ave.  
 Torrance, CA 90501  
**EXISTING SITE PLAN**  
**E1.0**  
**R 24-03**  
**cR Design Inc.**  
**OCTOBER 20, 2025**





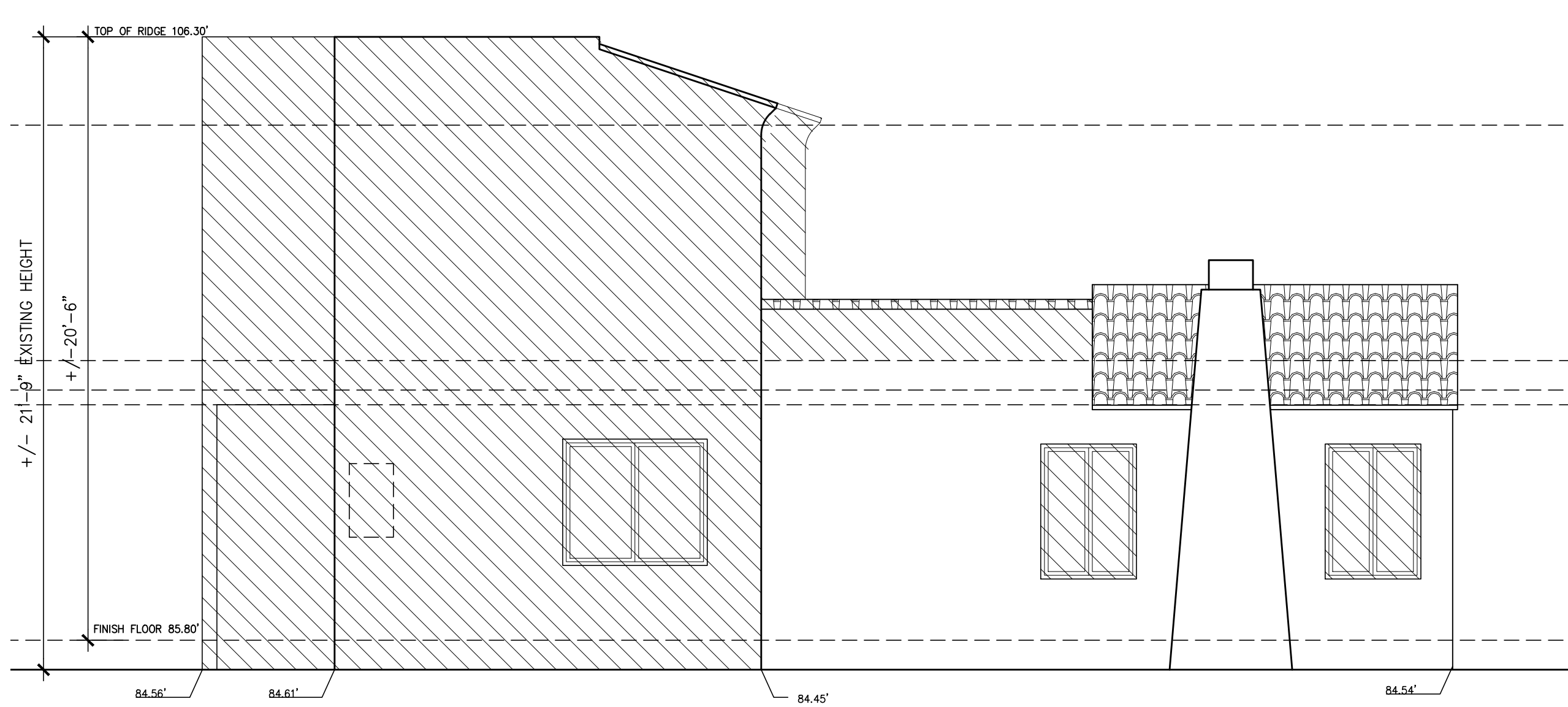
Side elevation - North

4



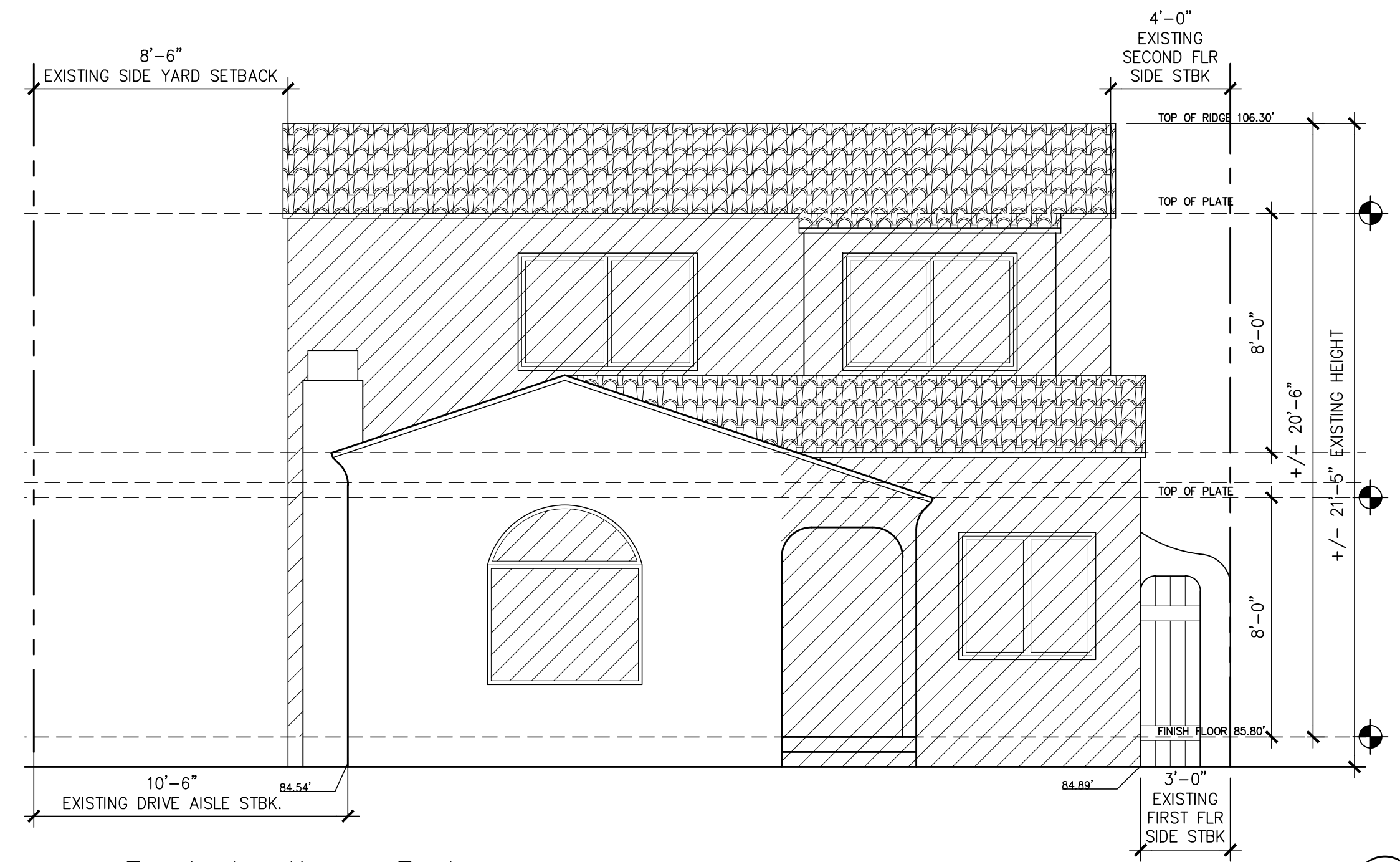
Rear elevation - West

2



Side elevation - South

3



Front elevation - East

1

### DEMOLITION KEY NOTES

EXISTING WINDOW TO BE REPLACED
EXISTING WALL TO BE REMOVED
- PATCH AND REPAIR DAMAGE TO ADJACENT SURFACES
- FINISH TO MATCH EXISTING
EXISTING DOOR TO BE REPLACED
- PATCH AND REPAIR DAMAGE TO ADJACENT SURFACES
EXISTING GARAGE DOOR TO REMAIN
EXISTING TILE ROOF TO REMAIN
EXISTING ELECTRIC METER TO REMAIN
EXISTING WATER HEATER TO REMAIN

### DEMOLITION KEY NOTES

	EXISTING TO BE REMOVED
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**PLAN NOTES:**

- PROVIDE 5/8" THICK GYPSUM BOARD THROUGHOUT.
- ALL FINISHES AND FINISH MATERIALS TO BE SELECTED BY CLIENT.
- FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A 153.
- INSULATION WITH A MINIMUM RATING OF R-15 INSTALLED IN WALL STRUCTURAL SPACES WITH MINIMUM 2x6 FRAMING. FOR 2x4 FRAMING R-13 CAVITY WITH R-5 CONTINUOUS INSULATION MAY BE USED TO ACHIEVE THE PRESCRIPTIVE U-FRACTION PF 0.065. FOR ADDITIONS OF 700 SF OR MORE WITH 2x4 FRAMING, R-15 WITH U-VALUE OF 0.102 IS REQUIRED.
- ALL EXTERIOR JOINTS, PENETRATIONS AND OPENING IN THE BUILDING ENVELOP SHALL BE CAULKED AND SEAL.
- ALL DOORS AND SWINGING WINDOWS WEATHER STRIPPED
- TWO LAYERS OF GRADE 'D' PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH
- THE SMOKE AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

**WALL LEGEND:**

SYM	DESCRIPTION
	EXISTING 2X WALL TO REMAIN
	EXISTING 2X WALL TO BE DEMOLISHED

**GENERAL NOTE:**

NOTE: THIS PROJECT SHALL COMPLY WITH THE WOOD FRAME PROVISIONS FOR ONE STORY RESIDENTIAL CONSTRUCTION INFORMATION BULLETIN REFERENCE LARC DOCUMENTS NO. P/BC 2014-004

**DEMOLITION NOTES:**

- ALL EXISTING DIMENSIONS NOTED ARE TO THE FACE OF FINISH. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB.
- ALL DAMAGE TO EXISTING SURFACES THAT IS TO REMAIN SHALL BE PATCHED & REPAIRED TO MATCH EXISTING.

**INSULATION:**

- EXTERIOR WALLS = R-13
- LEVEL 1 ROOF ATTIC = R-19
- LEVEL 2 ROOF ATTIC = R-30
- FLOOR NO CRAWLSPACE = R-19

**ROOF PLAN NOTES:**

- ALL DAMAGED WOOD FASCIA TO BE REPLACED.
- ALL DAMAGE TO EXISTING ROOF SURFACES THAT IS TO REMAIN SHALL BE PATCHED & REPAIRED TO MATCH EXISTING.

**CITY NOTES:**

- ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.
- APPROVAL IS REQUIRED BY PUBLIC WORKS DEPARTMENT FOR STREET IMPROVEMENTS, CURB CORES, CURBS / GUTTERS, ETC.
- SEPARATE PUBLIC WORKS PERMITS IS REQUIRED FOR DRIVEWAYS, APPROACH TO DRIVEWAY, SEWER LATERALS AND WORK TO BE PERFORMED OR LOCATED IN THE PUBLIC RIGHT OF WAY.

**2040 Lomita Blvd., Suite 104**  
**Lomita, CA 90247**  
**(310) 341-3436**  
**rickydlrosa@gmail.com**  
**OCTOBER 20, 2025**

**CLIENT:**  
**Brian & Ruth**  
**Baldauf**

**BALDAUF**  
**RESIDENCE**  
**1609 Amapola Ave.**  
**Torrance, CA 90501**

**EXISTING ELEVATIONS**  
**E3.0**  
**R 24-03**



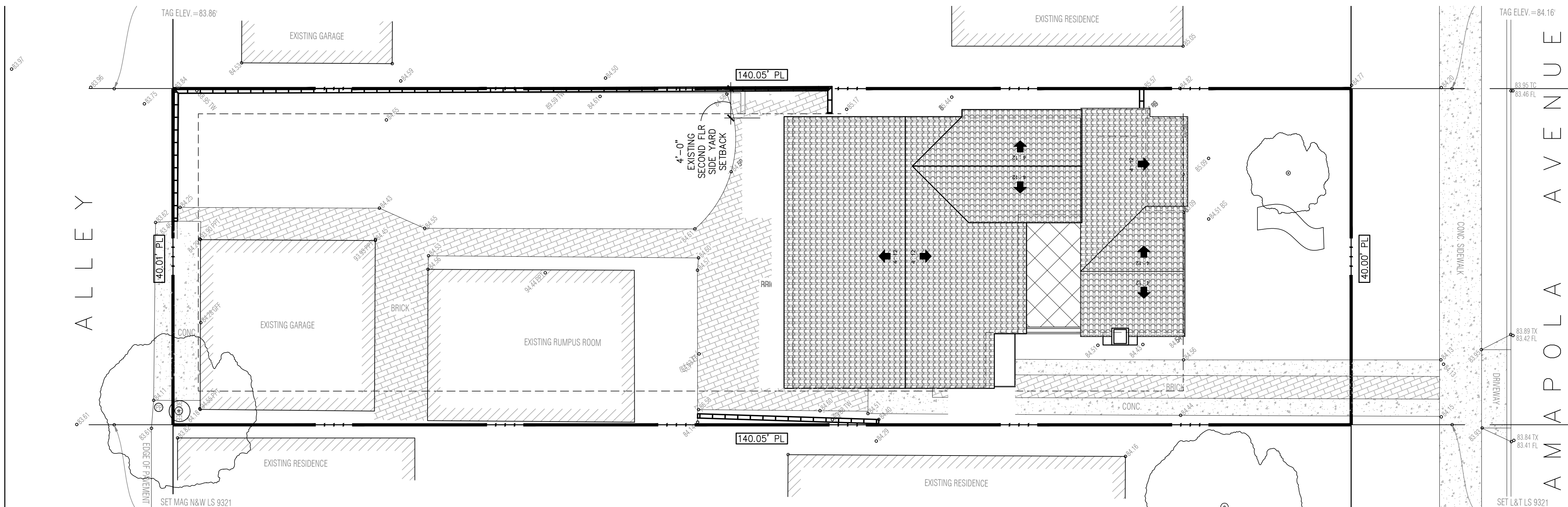
DEVELOPMENT STANDARDS			
	EXISTING	R.1	PROPOSED
LOT AREA: 5,600 SF			
HEIGHT	27'	1 (18')   2 (27')	24'-6'
YARD	F: 27'	F: 20'	F: 20'
	S: 3'	S: 10% (4')	S: 4'
	R: 54'	R: 15'-20' AVG.	R: 73'-6" (2ND LEVEL)
LOT COVERAGE	37%	1 (50%)   2 (40%)	39.9%
OPEN SPACE		10'x15' (1/3 LOT AREA MIN.) 1,866 SF MIN.	2,641 SF
F.A.R.	0.45 2,505 SF	0.60 (INCLUDES GARAGE) 3,360 SF	0.54 (INCLUDES GARAGE) 3,023 SF

**NOTE:**  
 1. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.  
 2. APPROVAL IS REQUIRED BY PUBLIC WORKS DEPARTMENT FOR STREET IMPROVEMENTS, CURB CORES, CURBS / GUTTERS, ETC.  
 3. SEPARATE PUBLIC WORKS PERMITS IS REQUIRED FOR DRIVEWAYS, APPROACH TO DRIVEWAY, SEWER LATERALS AND WORK TO BE PERFORMED OR LOCATED IN THE PUBLIC RIGHT OF WAY.

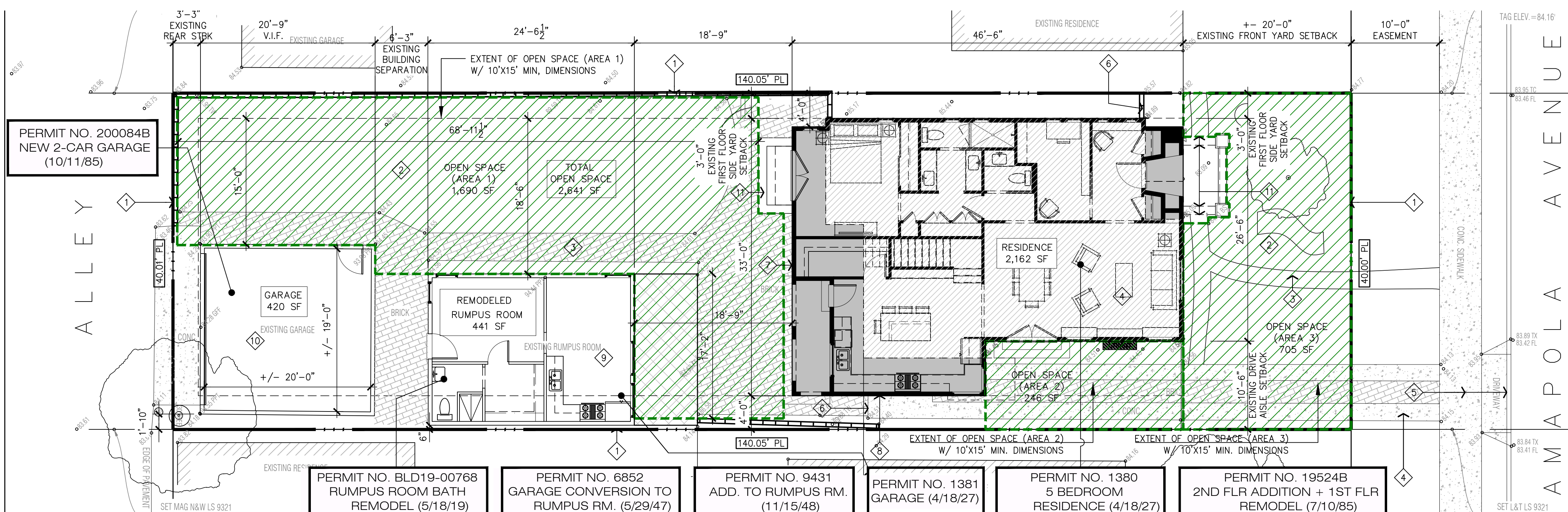
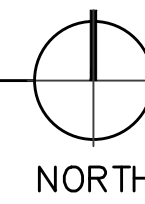
SHEET INDEX	
E1.0 - EXISTING SITE PLAN & TABULATIONS	
E2.0 - EXISTING FLOOR PLAN	
E3.0 - EXISTING EXTERIOR ELEVATIONS	
P1.0 - PROPOSED SITE PLAN & TABULATIONS	
P2.0 - PROPOSED FLOOR PLAN	
P3.0 - PROPOSED EXTERIOR ELEVATIONS	
P4.0 - PROPOSED BUILDING SECTIONS	
P5.0 - PROPOSED CONCEPTUAL PERSPECTIVE	
P5.1 - PROPOSED CONCEPTUAL PERSPECTIVE	
P5.2 - PROPOSED CONCEPTUAL PERSPECTIVE	

CODE INFORMATION	
BUILDING CODE:	2022 CRC, 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC, CITY ORDINANCES & 2022 CA ENERGY STANDARDS
OCCUPANCY CLASS.:	R-3
CONSTRUCTION TYPE:	TYPE V / NON-RATED (B)
NUMBER OF STORIES:	TWO W/ DETACHED 2-CAR GARG.

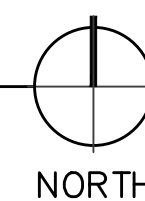
PROJECT INFORMATION	
OWNER	BRIAN & RUTH BALDAUF 1609 AMAPOLA AVE., TORRANCE, CA. 90501
PROJECT DESCRIPTION	ADDITION / REMODEL TO A PROPERTY LOCATED AT 1609 AMAPOLA AVENUE. THE EXISTING SFR, 3-BR. + 2-BA. RESIDENCE SITS ON A 5,600 SF PROPERTY, CURRENTLY ZONED R2. THE EXISTING STRUCTURES ON THE PROPERTY ARE AS FOLLOWS: 2-STORY DETACHED SFR - 1,532 SF RUMPUS ROOM - 578 SF GARAGE - 420 SF TOTAL = 2,530 SF FAR = 0.45 THE PROJECT CONSISTS OF REMODELING AND REMOVING +/- 137 SF FROM THE RUMPUS ROOM, REMODELING AND ADDING +/- 655 SF TO THE SFR, MAKING IT A 4-BR. + 3.5 BA. WITH AN FAR OF 0.54.



site / roof plan  
1/8" = 1'-0"



site plan  
1/8" = 1'-0"

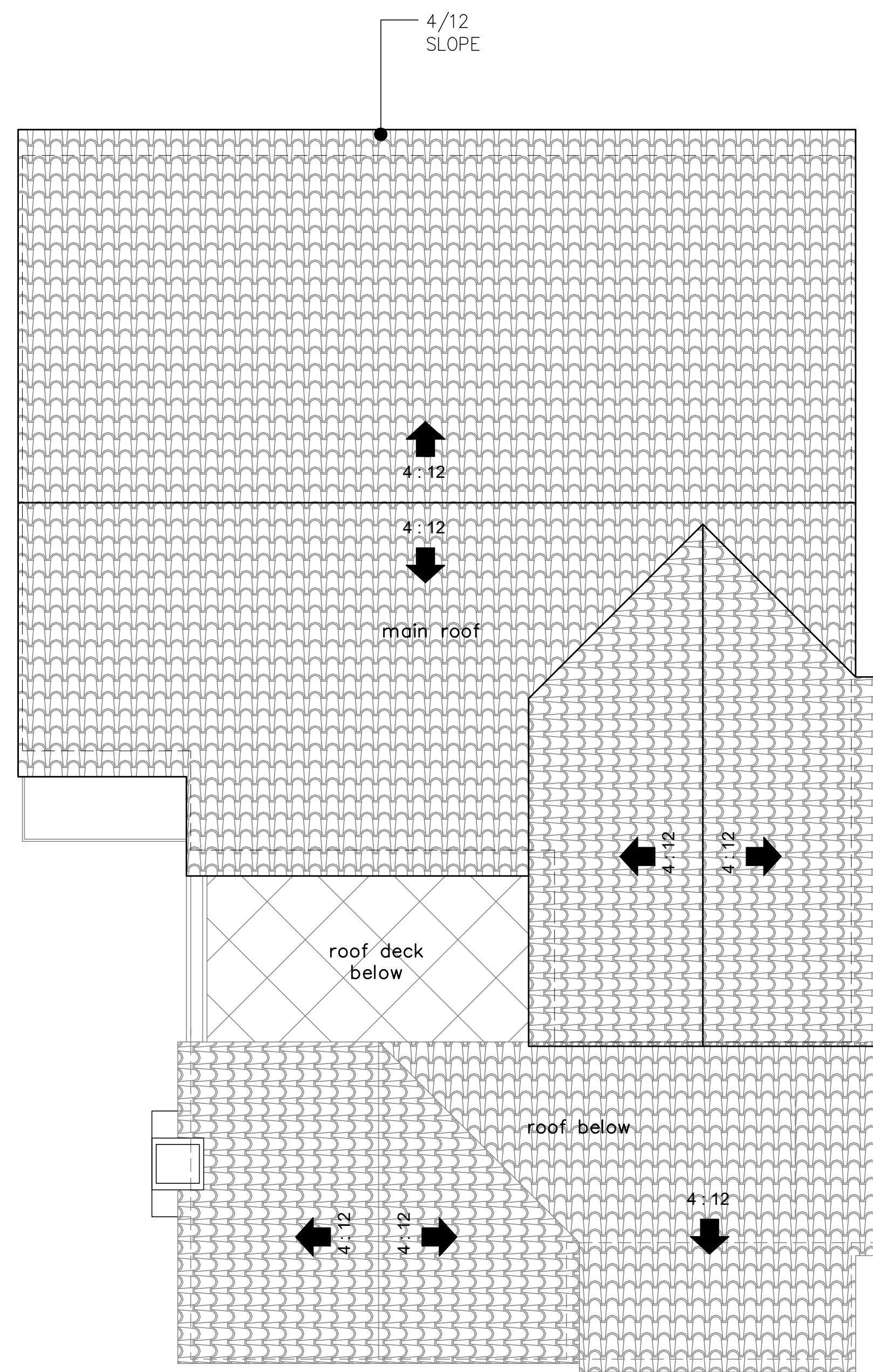


TABULATIONS	
LOT AREA	+/- 5,600 S.F.
LOT COVERAGE ANALYSIS	
existing lot coverage (res.+rump. rm+gar.):	2,079 S.F. (37.1%)
proposed lot coverage (res.+rump. rm+gar.):	2,234 S.F. (39.9%)
EXISTING BUILDING FLOOR AREA	
residence (livable):	+/- 1,507 S.F.
garage:	+/- 420 S.F.
rumpus room:	+/- 578 S.F.
TOTAL EXISTING BUILDING FLOOR AREA:	+/- 2,505 S.F.
EXISTING F.A.R.	0.45
REMOVED AREA	
residence (livable):	(-) S.F.
garage:	(-) S.F.
rumpus room:	(-137) S.F.
TOTAL REMOVED BUILDING FLOOR AREA:	(-137) S.F.
ADDITIONAL BUILDING FLOOR AREA	
residence (livable)- level 1:	240 S.F.
residence (livable)- level 2:	415 S.F.
covered patio:	61 S.F.
covered entry:	33 S.F.
roof deck:	100 S.F.
TOTAL ADDITIONAL BUILDING FLOOR AREA:	849 S.F.
PROPOSED FLOOR AREA	
existing building floor area: (residence)	+/- 1,507 S.F.
additional building floor area: (residence)	655 S.F.
TOTAL PROPOSED LIVABLE FLOOR AREA:	2,162 S.F.
existing building floor area: (rumpus room)	+/- 578 S.F.
removed building floor area: (rumpus room)	(-137) S.F.
PROPOSED RUMPUS ROOM FLOOR AREA:	441 S.F.
TOTAL PROP. FLR AREA (res+gar+rumpus rm):	3,023 S.F.
PROPOSED F.A.R.	0.54
USABLE OPEN SPACE	
required: (1/3 lot area min.) =	1,866 S.F. MIN.
proposed:	
Area 1 (1,690 S.F.) + Area 2 (246 SF) + Area 3 (705 S.F.) =	2,641 S.F.

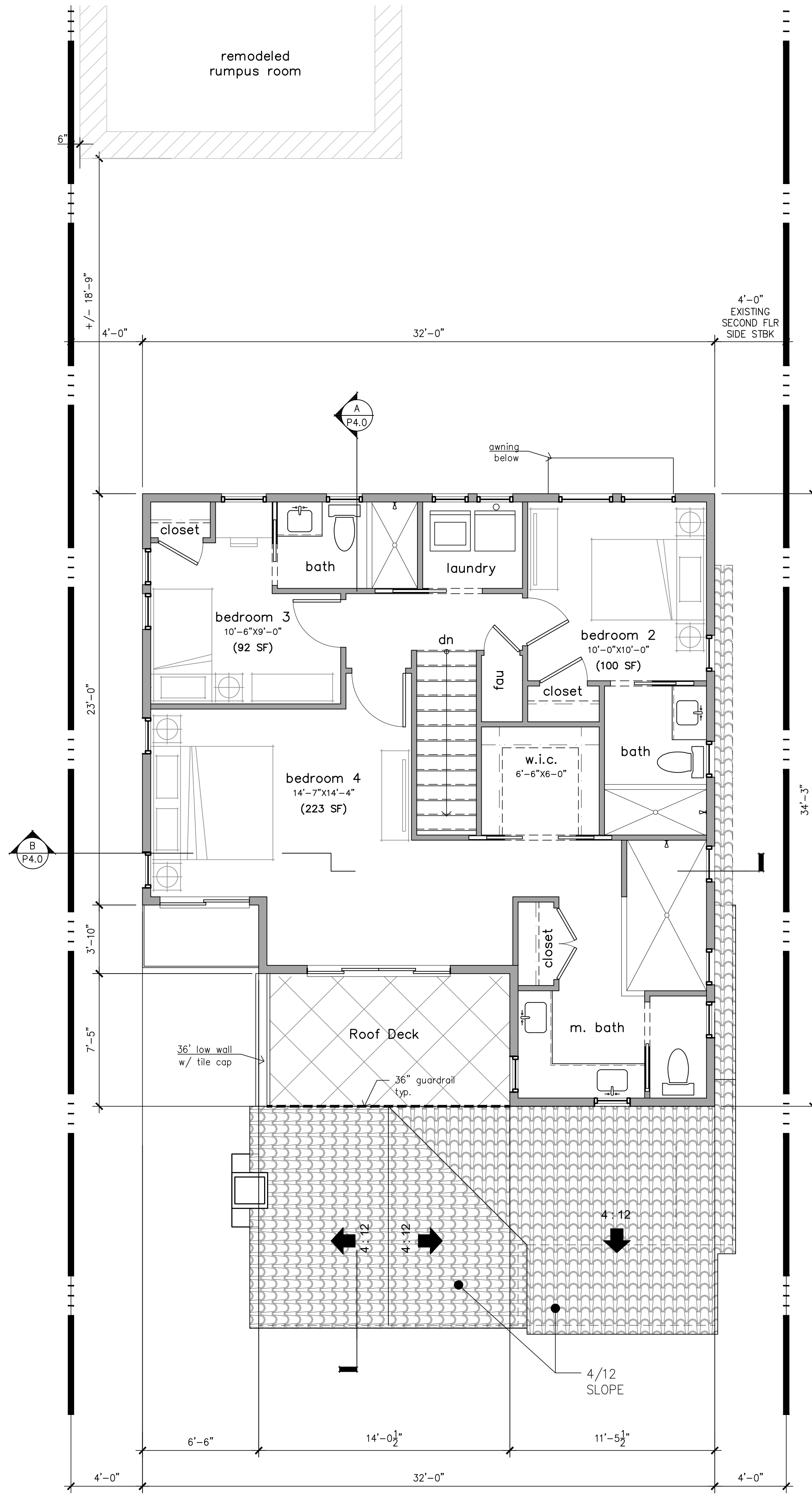
SITE PLAN KEY NOTES	
1	PROPERTY LINE
2	EXISTING LANDSCAPING TO REMAIN
3	EXISTING HARDSCAPE TO REMAIN
4	EXISTING DRIVEWAY TO REMAIN
5	EXISTING CURB CUT & SIDEWALK TO REMAIN
6	EXISTING ACCESS GATE TO REMAIN
7	RELOCATED GAS METER
8	RELOCATED ELECTRIC METER
9	EXISTING RUMPUS ROOM TO BE REMODELED
10	EXISTING GARAGE TO REMAIN
11	NEW CONCRETE STEPS
12	NEW CONCRETE WALKWAY
13	EXISTING RANGE TO BE REMOVED

SITE PLAN LEGEND	
	REMOVED FLOOR AREA
	REMODELED FLOOR AREA
	ADDITIONAL LIVABLE FLOOR AREA
	NEIGHBOR BUILDING FOOTPRINT

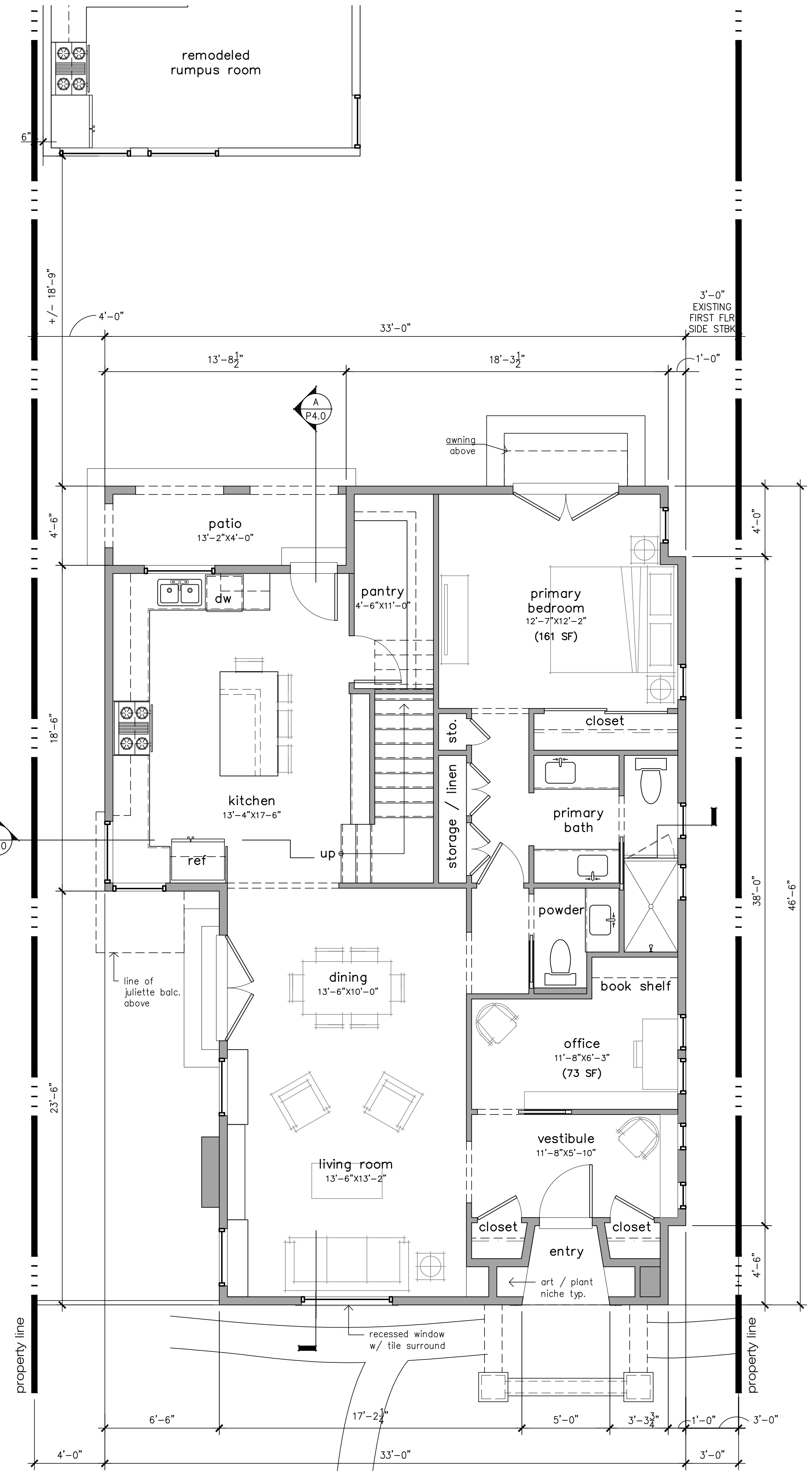
**CLIENT:** Brian & Ruth Baldauf  
**PROPOSED SITE PLAN**  
**P1.0**  
**R 24-03**  
**2040 Lomita Blvd., Suite 104**  
**Lomita, CA 90247**  
**(310) 341-3436**  
**rickydlrosa@gmail.com**  
**OCTOBER 20, 2025**  
**1609 Amapola Ave.**  
**Torrance, CA 90501**  
**BALDAUF RESIDENCE**  
**cR Design Inc.**



PROPOSED ROOF PLAN



PROPOSED LEVEL 2  
LIVABLE GROSS: 884 SF



PROPOSED LEVEL 1  
LIVABLE GROSS: 1,278 SF TOTAL LIVABLE GROSS: 2,162 SF



CLIENT:  
**BALDAUF**  
Brian & Ruth  
Baldauf

1609 Amapola Ave.  
Torrance, CA 90501

**RESIDENCE**

PROPOSED FLOOR PLAN

P2.0

R 24-03

2040 Lomita Blvd., Suite 104  
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OCTOBER 20, 2025

ELEVATION KEY NOTES

1	3 COAT EXTERIOR CEMENT PLASTER OVER METAL LATH AND BUILDING PAPER - PATCH TO MATCH EXISTING
2	- MANUF: BY OWNER - COLOR: BY OWNER
3	- FINISH: MATCH EXISTING - EDGES: SQUARE
4	EXISTING CONCRETE TILE TO REMAIN
5	NEW CONCRETE TILE TO MATCH EXISTING
6	SCUPPER AND DOWNSPOUTS
7	ACCENT VENT TILES
8	NEW FRONT DOOR
9	NEW RECESSED VINYL WINDOW (MILGARD V400 TUSCANY SERIES, ESPRESSO - CASEMENT)
10	NEW FRENCH DOOR-WOOD, PAINT TO MATCH WINDOW

11	EXISTING ARCHED WINDOW TO BE REPLACED BY OPERABLE SECTIONS; RECESSED
12	EXTERIOR LIGHT FIXTURE
13	'JULIETTE BALCONY' WITH WROUGHT IRON GUARDRAILS
14	ELECTRIC METER
15	WATER HEATER
16	AWNING
17	TEMPERED GLASS
18	LINE OF FINISH GRADE
19	TILE SURROUND
20	WINDOW SILL - WOOD
21	ACCENT TILED ADDRESS PLAQUE

EXTERIOR FINISHES

1.	ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE. FIRE TREATED
2.	ALL EXPOSED WOOD TRIM, PLYWOOD, POST AND CORBELS TO BE RESAWN. U.N.O.

ELEVATION NOTES

1.	SHADED WINDOWS AND DOORS INDICATE TEMPERED GLASS
2.	UNDER-FLOOR VENTS SHALL - HAVE ONE VENTILATION OPENING PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING - HAVE NET FREE VENTILATING AREA NOT LESS THAN 1/150 OF CRAWL SPACE AREA - HAVE OPENING WITH CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MINIMUM AND 1/4" MAXIMUM OPENING



Side elevation - North

4



Rear elevation - West

2



Side elevation - South

3



Front elevation - East

1

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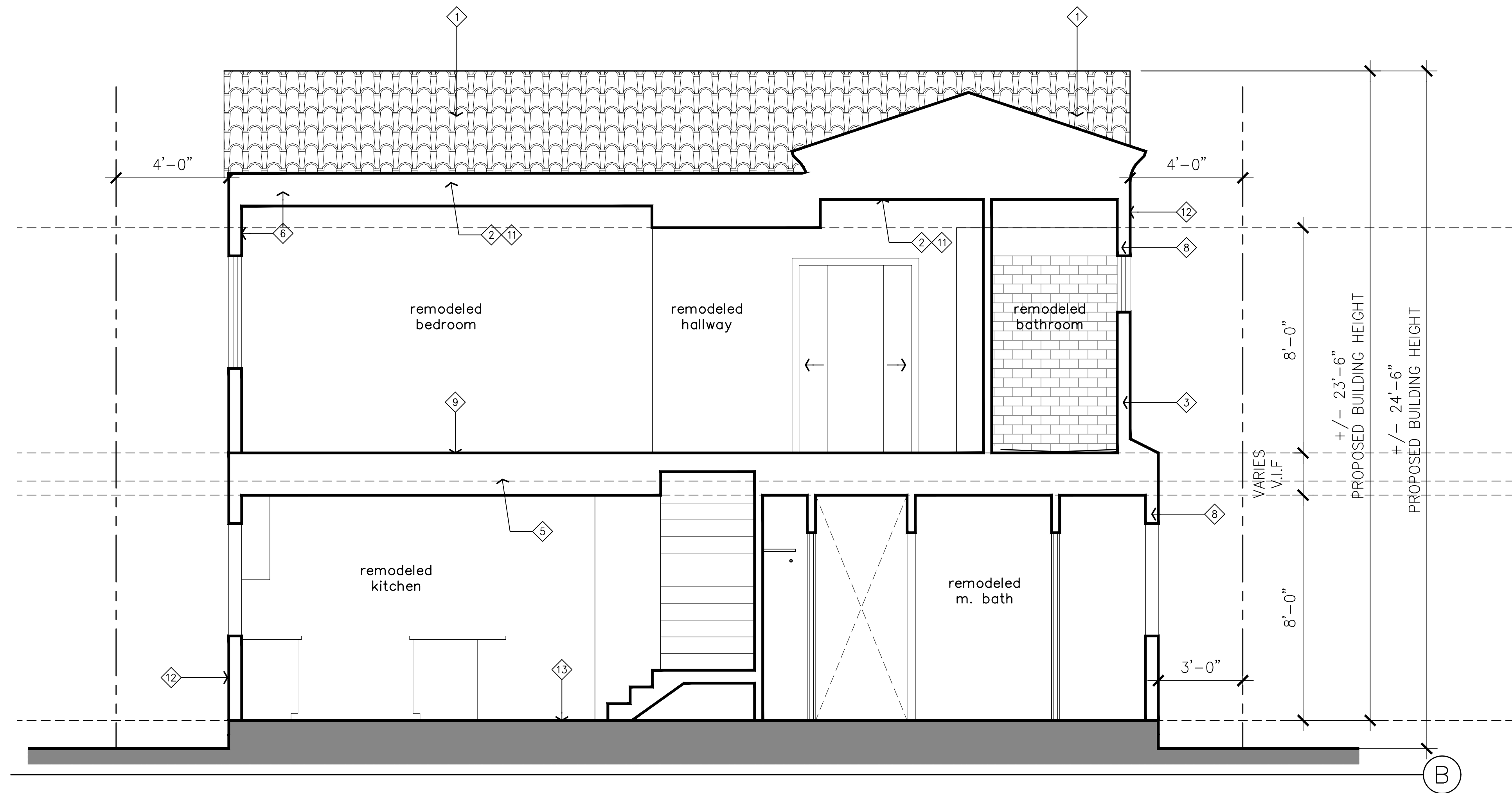
BALDAUF  
RESIDENCE

CLIENT:  
Brian & Ruth  
Baldauf

PROPOSED  
ELEVATIONS

P3.0

R 24-03

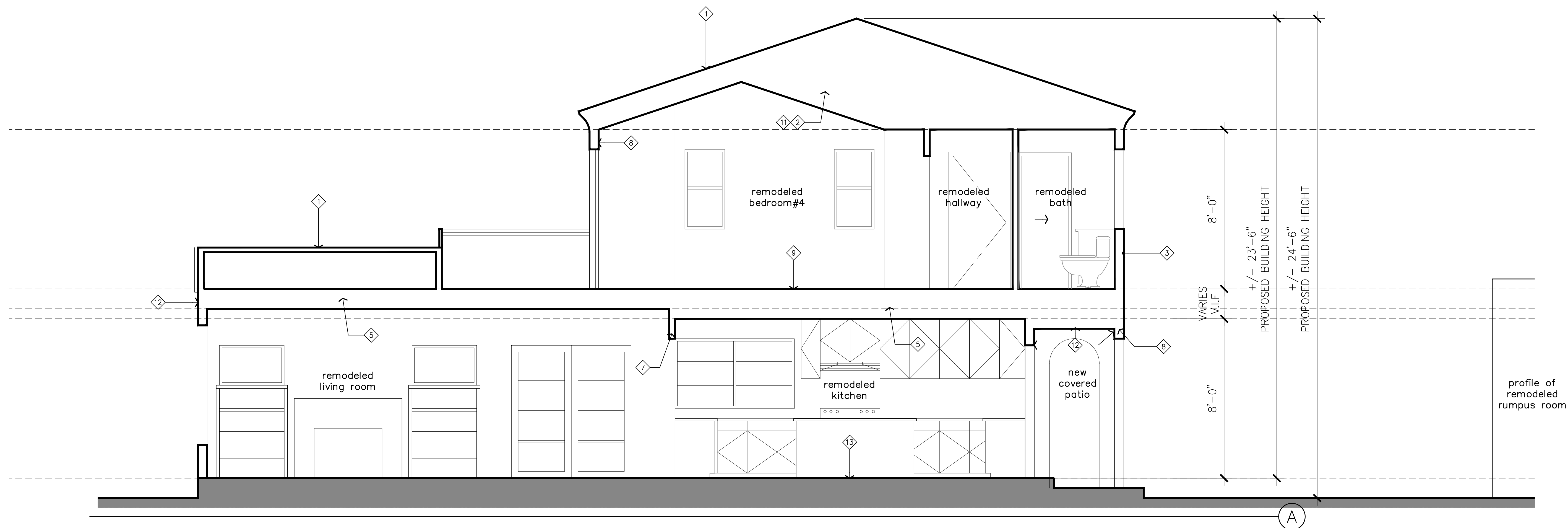


SECTION KEY NOTES

1	CLASS 'A' CONCRETE 'S' TILE ROOFING OVER TYPE 30 UNDERLAYMENT OVER ROOF SHEATHING
2	2X ROOF FRAMING - SEE STRUCT.
3	2X STUDS @ 16" O.C. (EXTERIOR)
4	2X STUDS @ 16" O.C. (INTERIOR)
5	2X FLOOR ASSEMBLY
6	5/8" GYP. BOARD, TYPICAL UNLESS NOTED OTHERWISE
7	BEAM, SEE STRUCTURAL DRAWINGS
8	HEADER, SEE STRUCTURAL DRAWINGS
9	FLOOR SHEATHING, SEE STRUCTURAL DRAWINGS
10	2X FIRE BLOCKING
11	NEW RAFTERS
12	EXTERIOR CEMENT PLASTER
13	FINISH FLOOR

INSULATION

1	EXTERIOR WALLS = R-13
2	LEVEL 1 ROOF ATTIC = R-19
3	LEVEL 2 ROOF ATTIC = R-30
4	FLOOR NO CRAWLSPACE = R-19



**CLIENT:** Brian & Ruth Baldauf  
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**OCTOBER 20, 2025**  
**cR Design Inc.**  
**P4.0**  
 R 24-03



front perspective #2

2



front perspective #1

1

3



rear perspective #1

**AGENDA ITEM NO. 8B**

**DATE:** November 5, 2025

**TO:** Planning Commission

**FROM:** Luis E. Velazquez, Planning Associate

**SUBJECT:** 3610 Torrance Boulevard  
Conditional Use Permit (CUP25-00003)  
Development Permit (DVP25-00001)

Consideration of a Conditional Use Permit (CUP25-00003) and Development Permit (DVP25-00001) in conjunction with a density bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the Hawthorne Boulevard Corridor Specific Plan-Del Amo Business District One (H-DA1 Zone) at 3610 Torrance Boulevard (APN 7366-019-101).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution Nos. 2025-066 and 2025-067 for approval of CUP25-00003 and DVP25-00001 in conjunction with a density bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the H-DA1 Zone, and determine a Categorical Exemption for the project in accordance with the California Environmental Quality Act (CEQA); Article 19, Section 15332 (In-Fill Development).

**EXECUTIVE SUMMARY**

The project applicant, Vista Homes (LW Acquisitions LLC ET Al Libaw Family LP C/O Horowitz Group), requests approval by Planning Commission to allow the construction of a new residential development consisting of 449 residential units, on property located in the H-DA1 Zone.

The project complies with the design guidelines of the Hawthorne Boulevard Corridor Specific Plan (HBCSP), which promote appropriate scale, placement, and visual appeal compatible with surrounding development. The proposal features a multi-story building of varying heights, consisting of 449 residential units and includes 45 units reserved for low-income households. The floor plans offer a mix of one, two, and three bedroom configurations, providing a range of housing options consistent with current residential development trends.

Pursuant to the HBCSP, multi-family residential development within the H-DA1 Zone requires a CUP. The development standards of the Torrance Municipal Code (TMC) as well as the HBCSP are applicable to the project, and therefore require discretionary review and approval by the Planning Commission for the following entitlements:

- Conditional Use Permit (CUP25-00003) to allow a multi-family residential development;
- Development (DVP25-00001) to allow new development within the HBCSP.

Staff has reviewed the project and determined compliance with the objective development standards of the TMC and the Commercial Center (C-CTR) land use designation of the General Plan. The proposal also includes requests for waivers and parking provisions consistent with State Density Bonus Law.

**DISCUSSION**

**General Plan Land Use Designation and Zoning Designation**

The project site has a General Plan land use designation of C-CTR and a zoning designation of H-DA1. Multi-family residential developments are conditionally permitted in this zone through a Conditional Use

Permit. The project is consistent with both the C-CTR land use designation and the H-DA1 development standards, which allow unlimited density and a maximum Floor Area Ratio (FAR) of 1.0.

As part of the City's urban center, new development in the area is expected to enhance the visual character of the corridor by providing generous landscaped setbacks, promoting pedestrian activity, and supporting transit use. The DA-1 zone permits the largest scale of development within the HBCSP, allowing mid-rise to high-rise buildings with a mix of uses including office, hotel, entertainment, and residential. Mixed-use projects are encouraged, and stand-alone residential uses are allowed. Development in the C-CTR designation is characterized by commercial centers and higher-density residential and mixed-use projects, and as such the proposed residential development is consistent with the land use designation.

The Torrance General Plan also calls for a variety of housing types and sizes to meet community needs and provide housing opportunities for a range of incomes and lifestyles. The addition of 449 dwelling units, including 45 low-income units, supports the City's 6th Cycle (2021–2029) Regional Housing Needs Assessment (RHNA) allocation of 4,939 units, contributing toward Torrance's share of regional housing production goals.

### **Adjacent Land Uses and Zoning Designations**

The project site is located adjacent to different land uses that are consistent with various zoning designations. To the north of the property is professional office and hotel, to the east are residential apartments, to the south is a hotel building, and to the west is a commercial building.

NORTH:	H-DA2	Church/Professional Office/Hotel
SOUTH:	H-DA1	Hotel
EAST:	H-DA1	Restaurants/Apartments
WEST:	H-DA1	Commercial Buildings

### **Existing Site and History**

The project site is irregularly shaped located on the southwest corner of Amie Avenue and Torrance Boulevard and is oriented north toward Torrance Boulevard. The property measures approximately 175,605 square feet (4.03 acres) and has a generally flat topography with a slight grade change below street level along portions of the perimeter. The site is currently developed with a large, single-story commercial building centrally located on the parcel, surrounded by surface parking areas. There are no prominent natural features on the site. An oil well exists within the property, which has been previously abandoned.

The site is located within an urbanized area and is bounded by hotel and commercial uses. Access is provided from Torrance Boulevard, Amie Avenue, and a private driveway along the southern property line. The site is also served by public transit stops located along Torrance Boulevard, consistent with the corridor's designation as a high activity commercial and mixed-use area.

As part of the proposed project, a portion of land along Amie Avenue will be dedicated to the City for street and highway purposes, which will result in a reduction in overall parcel size to 175,546 square feet.

The property was originally developed in 1994 through Conditional Use Permit (CUP93-0040), Modification (MOD93-0029), and Division of (Lot DIV93-0011), which authorized the construction of two retail buildings and associated parking areas.

### **Project Overview**

The project is representative of current urban housing development trends and features two semi subterranean parking levels, four and six residential floors, and a mix of open space and amenity areas. A portion of the development is proposed to be six stories, and a portion is proposed to be eight stories inclusive of the parking levels. Common space and amenities are located on the lower level of the residential complex. Additional amenities will be located on the rooftop of the highest level of the project.

The residential project will consist of 449 units will be made up of one, two and three bedroom units. The proposed gross building area is 466,856 square feet and would have a FAR of 2.7 on a 4.03 acres site. As part of this proposal, the project will be using State Density Bonus Law and will be allocating 45 units to

low-income households. In return, the project is requesting waivers of setback, parking, FAR, and open space development standards per State Density Bonus Law.

Access to the site will be provided on the southern private driveway served by four vehicle driveways and pedestrian access is located throughout the perimeter of the proposal. In addition, the applicant will dedicate a portion of the property along Amie Avenue to the City for public right-of-way purposes. The project will be providing a total 815 parking spaces across two parking levels.

### **Density Bonus**

The project qualifies under the State Density Bonus Law by providing 10 percent of the total units, or 45 units, as affordable to low-income households. In accordance with the law, qualifying projects are entitled to request waivers or reductions of development standards that would physically preclude construction at the permitted density and incentives to support the inclusion of affordable housing.

The applicant is requesting four waivers under the Density Bonus provisions: (1) a reduction of the east street setback from 20 feet to 1 foot; (2) a reduction of parking stall dimensions from 8.5 feet by 19 feet to 8.5 feet by 18 feet; (3) an increase in the FAR from 1.0 to 2.7; and (4) a reduction in the required open space from 134,700 square feet (300 square feet per unit) to 59,623 square feet (133 square feet per unit). These waivers are necessary to achieve the proposed unit count and site design while maintaining on-site amenities and parking efficiency.

Under the Density Bonus Law, the project is also eligible for the reduced parking ratios prescribed by State law, requiring no more than 1 space for one-bedroom units and 1.5 spaces for two and three-bedroom units and may be in tandem arrangement. Overall parking requirements are discussed further in the report.

In accordance with the State Density Bonus Law, the applicant will be required to record a to memorialize the approved density bonus allowance, incentives, concessions, waivers of development standards, parking allowances, development standards and uses, and any other terms and conditions relative to the project that have been included in the attached resolutions (Attachment 1).

### **Building Architecture and Design**

The proposed development features a contemporary urban multifamily architectural style that is consistent with the design guidelines with the of the H-DA1 Zone and the C-CTR land use designation, which encourages scale, placement, and appeal that is compatible with character of the surrounding area and that blend with existing uses. The design promotes compatibility with the surrounding context by integrating a mix of materials, varied building massing, and articulation that reduce the perceived scale of the structure and contribute to a cohesive streetscape. Overall, the design achieves a cohesive appearance that aligns with the HBCSP's design objectives for high quality, pedestrian-oriented development.

The building design emphasizes horizontal and vertical modulation through alternating wall planes, balconies, and the use of contrasting materials and colors. Exterior finishes include a combination of light stucco and wood-look siding that create a balanced composition and visual warmth. Large window openings and corner glazing enhance transparency and provide visual connection between the interior spaces and the public realm.

The elevations reflect enhanced modulation through new 3.5- foot wall pop-outs, recessed balconies, and expanded window openings up to 8 by 8 feet on upper floors to improve visual balance and natural light. The design incorporates a mix of smooth stucco finishes, wood-look siding, and accent tile panels that add depth and texture. The color palette of light neutral tones with warm accents provides contrast and visual warmth

The design of the ground and second floor levels distinguish the base from the upper residential levels through a change in materials and color, reinforcing a pedestrian scale along the street frontage. The project also incorporates landscaping and street trees that soften the building edge and complement the architectural form.

Overall, the architectural design supports a modern and inviting residential character that contributes positively to the surrounding built environment. The project demonstrates a high level of visual interest,

quality materials, and thoughtful massing consistent with current urban design standards and community expectations.

**Building Setbacks**

The HBCSP requires a 20-foot setback along public street frontages and does not establish a minimum setback for side or rear property lines. The proposed setbacks are designed to create a defined transition between the development and Torrance Boulevard by providing a landscaped front yard setback consistent with plan objectives. The HBCSP also requires that all areas not occupied by structures, walkways, driveways, or parking spaces be permanently landscaped with a combination of trees, shrubs, and groundcover. A condition of approval has been included to ensure the required street setback and landscape improvements are maintained and enforced through the landscape plan review process.

In addition, the project includes an irrevocable offer to dedicate an easement for street and highway purposes along the west side of Amie Avenue, consistent with Engineering requirements. This dedication ensures adequate public right-of-way width, improves vehicular and emergency access, and supports future street improvements along Amie Avenue.

Staff notes that the applicant has also requested a density bonus waiver to reduce the setback standard along the eastern property line.

<b>Building Setback Summary</b>			
	<b>Project Setback</b>	<b>Required Setback</b>	<b>Density Bonus Law</b>
North Street Setback (Torrance Blvd)	20'	20'	N/A
East Street Setback (Amie Ave)	1'	20'	Reduction Allowed
West Side Setback	10'	0'	N/A
South Rear Setback	15'	0'	N/A

**Building Height**

The project features building heights consistent with the HBCSP and C-CTR development standards, providing an appropriate transition and scale relative to nearby structures. The building steps from a six-story section to an eight-story structure along Torrance Boulevard, with a maximum height of approximately 92 feet, including the stair and roof enclosure. This height composition reduces bulk along the street frontage and maintains a balanced relationship with surrounding commercial and hotel properties.

The proposed height is well within the 200-foot limit allowed under the HBCSP for projects in the DA-1 Zone and aligns with the HBCSP's intent to concentrate mid-rise and high-rise development which includes high-density residential development within the corridor. The HBCSP envisions buildings with a defined street presence, active ground-floor uses, and upper floors that accommodate residential density to support walkability and transit access. The project's massing and scale advance these objectives by introducing a modern residential form that complements the existing urban framework and contributes to the corridor's gradual transformation into a more walkable, mixed-use environment.

<b>Building Height Summary</b>		
	<b>Building Height</b>	<b>Height Limit</b>
6-Story Section	65'	200'
8-story Section	92'	200'

**Access, Circulation and Parking**

The project is consistent with the design guidelines of the HBCSP, which promote clear and efficient access and circulation for vehicles and pedestrians while minimizing potential traffic conflicts along Torrance Boulevard. The two-level parking structure provides sufficient on-site parking to serve residents and visitors while maintaining a clean and active street frontage.

As previously mentioned, the project site is located on a corner lot with an existing driveway on Amie Avenue and a shared private driveway on Torrance Boulevard. The proposal includes removing the Amie Avenue driveway and providing four new garage entry points accessed from the existing private rear driveway. Additional access will continue to be provided through the private driveway along Torrance Boulevard, which leads to a ramp connecting the two parking levels. The building design conceals parking areas with the use of frontages, effectively screening them from public view.

A Traffic Circulation Analysis (TCA) was prepared to evaluate trip generation, distribution, and site access. The study determined that project-related traffic would not create significant impacts at surrounding intersections and that all intersections would continue to operate at acceptable levels of service. The analysis also confirmed that the proposed driveways, internal circulation, and emergency access routes comply with City standards. As a condition of approval, the applicant is required to continue working with the Public Works Department to finalize the TCA for review and approval. The final analysis shall confirm that the project does not result in negative effects, or the applicant shall complete any off-site improvements deemed necessary by the City to offset such effects, to the satisfaction of the Public Works Director.

The applicant is requesting to apply the parking standards permitted under State Density Bonus Law, which allow 1 space for studio or one-bedroom units, 1.5 spaces for two and three bedroom units, and 2.5 spaces for four bedroom units. On-site spaces may include tandem or uncovered parking but exclude on-street spaces. This request does not count as an incentive or concession under the law. The applicant has also requested a waiver of standard parking stall dimensions to increase parking capacity. A total of 633 parking spaces are required, and 815 are provided, including 22 guest parking spaces.

<b>Parking Summary</b>			
	<b>Residential Units</b>	<b>Guest Parking</b>	<b>Total</b>
<b>Parking Provided</b>	793	22	815**
<b>Parking Required</b>	633*	N/A***	633
<i>*Per the State Density Bonus Law, parking ratio for residential units is reduced to: 1 space per studio unit; 1 space per one bedroom unit; 1.5 spaces per two bedroom unit; 1.5 spaces per three bedroom unit; and guest parking is not required</i>			
<i>**Total parking includes: 111 standard spaces, 686 tandem spaces, 18 ADA spaces</i>			
<i>***Guest Parking Not Required</i>			

**Floor Area, Unit Floor Plans and Building Layout**

The project proposes a six to eight-story residential building totaling approximately 466,856 square feet on a 4.03-acre site, resulting in a 2.7 Floor Area Ratio (FAR). The HBCSP allows multifamily residential development within the DA-1 Zone with unlimited density and a maximum FAR of 1.0. The applicant requests a waiver of this standard under the State Density Bonus Law. For reference, the City Council approved a 272-unit project on June 18, 2024, with a 2.0 FAR, and the City Council recently approved a 106 unit mixed-use project with a 1.5 FAR. Staff finds that the proposed FAR aligns with current residential development trends, which frequently exceed 1.0 FAR. The total unit floor area is 454,414 square feet (2.58 FAR), and the common area totals 12,442 square feet (0.07 FAR).

The project includes five unit types: one bedroom (Plan A), two bedroom (Plans B, C, and D), and three bedrooms (Plan E). Units range from 718 to 1,400 square feet and include private decks between 63 and

100 square feet. The building transitions from six stories along Torrance Boulevard to eight stories toward the east, with residential units above a two-level parking structure. Ground floor amenities include a leasing office, lobby, and mailroom that activate the frontage along Amie Avenue and creates a defined pedestrian entry.

The building layout emphasizes efficiency, accessibility, and visual interest. Residential floors are organized around three large open courtyards that provide light, air, and common recreation space. Vertical circulation is provided through multiple elevators and stairways that ensure convenient access to each floor. Pedestrian pathways connect the street frontage, lobby, and amenity areas, maintaining ADA accessibility and direct fire access from both Torrance Boulevard and Amie Avenue.

<b>Floor Area and Unit Summary</b> (sf = square feet)			
	<b>Total Square Feet</b>	<b>Floor Area Ratio</b>	
Residential Floor Area	454,414 sf	2.58	
Common Area	12,442 sf	0.07	
<b>Total Gross Building Area</b>	<b>466,856* sf</b>	<b>2.65</b>	
<b>Unit Type</b>	<b>Unit Size</b>	<b>Unit Count</b>	<b>Total Square Feet</b>
One-Bedroom	718 sf	82	58,876 sf
Two-Bedroom	1072 -1087 sf	365	392,738 sf
Three-Bedroom	1,400 sf	2	2,800 sf
<b>Total Residential Units</b>		<b>449</b>	<b>454,414 sf</b>

*\*Final project floor areas may vary at building permit issuance, not to exceed project gross floor area. For purposes of calculating the FAR, the parking structure surface area is not counted.*

### **Open Space and Landscaping**

The project provides a total of 59,623 square feet of open space, consisting of both private and common areas designed to meet the recreational and aesthetic needs of residents. Private open space totals 30,549 square feet and is provided through individual unit decks ranging from 63 to 100 square feet per unit, depending on floor plan type.

Common open space areas are distributed throughout the development and include 9,464 square feet of landscaped ground level areas, 19,380 square feet of third floor courtyards, and a 230 square foot pool and spa area. These areas accommodate a mix of active and passive recreation, including landscaped courtyards, outdoor seating, and gathering spaces that promote social interaction and contribute to the project's overall livability.

The applicant is requesting a waiver of the City's open space requirement under State Density Bonus Law. The TMC requires 300 square feet per unit, or approximately 134,700 square feet for the proposed 449 units. The project provides 59,623 square feet, or approximately 41 percent of the required total. The open space design remains functional and well-integrated, consistent with the intent of the HBCSP and City design guidelines to promote usable and accessible open space.

The preliminary landscaping plan incorporates a mix of trees, shrubs, and groundcover to soften the building's massing and enhance pedestrian areas. Existing mature trees along Torrance Boulevard will be

preserved to maintain continuity with the corridor streetscape. The open space and landscape design are consistent with the HBCSP’s intent to create visually appealing, pedestrian-friendly environments.

<b>Open Space Summary</b> (sf = square feet)	
<b>Type</b>	<b>Area</b>
Private Open Space	30,549 sf
Common Open Space (Ground Level)	9,464 sf
Common Open Space (Courtyards)	19,380 sf
Pool and Spa	230 sf
<b>Total Open Space Provided</b>	<b>59,623 sf</b>
<b>Total Open Space</b>	<b>134,700 sf</b>

In September 2024, the City Council adopted an ordinance amending the TMC to authorize the formation of a Community Facilities District (CFD). The CFD requires applicants of new development projects to participate in, or annex into, a Community Facilities District to fund a portion of the additional costs for ongoing City services generated by new development.

Staff has included a condition of approval requiring the applicant to coordinate with the City Manager’s Office, Finance Department, and City Attorney’s Office to complete the necessary steps for participation in the CFD prior to issuance of a building permit.

The formation or annexation into the CFD will ensure that the proposed residential development contributes proportionally toward the long-term maintenance and service costs associated with public infrastructure, safety services, and other municipal operations impacted by new growth.

**Conclusion**

In the judgment of staff, the project is consistent with the H-DA1 Zone and the C-CTR land use designation. The project design builds on the existing character of the surrounding area by introducing a high-density residential development within the City’s urban core. The project incorporates a single multi-story building with articulated elevations, varying heights, and quality materials that contribute to visual interest and compatibility with adjacent commercial and hotel uses. Additional features, including landscaped courtyards, private decks, and open space areas, promote a quality residential environment and enhance the project’s overall livability.

The project complies with the development standards of the HBCSP to the extent applicable and complies with State Density Bonus Law. The project would also not have a significant effect on the environment and no further environmental review is required, as substantiated by the various technical studies (i.e. air quality, noise, sewer, traffic, and water quality).

In addition, the proposed 449-unit development, including 45 units affordable to low-income households, supports the City’s goal of providing a variety of housing types and contributes toward meeting Torrance’s 6th Cycle (2021–2029) Regional Housing Needs Allocation (RHNA) of 4,939 units. The project also represents an efficient reuse of an underutilized commercial site within a highly accessible, transit-served corridor.

Based on the findings of this report and set forth in the attached Resolutions, staff recommends approval of the request, as conditioned.

## **ENVIRONMENTAL DETERMINATION**

The project meets the criteria for a Categorical Exemption (Class 32 – In-Fill Development) as follows:

- a. The project is consistent with the C-CTR land use designation and the H-DA1 zone, which allow residential and mixed-use development subject to discretionary approval. The project complies with the applicable development standards of the TMC and the HBCSP.
- b. The project site is located within the City of Torrance limits and consists of an approximate 4.03-acre parcel located at 3610 Torrance Boulevard. The site is bounded by hotel and commercial uses to the south and east, commercial uses to the north, and Amie Avenue to the west. The site is located within a fully urbanized area and is served by existing streets and public infrastructure.
- c. The project site is not a habitat for endangered, rare, or threatened species. The site is fully developed with a single-story commercial building and surface parking, with no natural or environmentally sensitive features. One abandoned oil well exists on the property; records from the California Geologic Energy Management Division (CalGEM) and the City confirm it has been properly capped and poses no development constraints. The General Plan does not identify any candidate, sensitive, or special-status species that occupy the site.
- d. The potential traffic, noise, air quality, cultural resources, biological, and water quality effects associated with the project were evaluated in consultation with the Torrance Community Development Department and the Public Works Department. A preliminary TTCA prepared for the project found that traffic generated by the proposed 449-unit residential development would not result in significant impacts to the surrounding roadway network. In accordance with the City's Traffic Impact Analysis Guidelines and CEQA Guidelines Section 15064.3, the project qualifies for a Vehicle Miles Traveled (VMT) screening exemption as it is located within one-half mile of a high-quality transit corridor along Torrance Boulevard. As such, a detailed VMT analysis was not required. The final TCA will be reviewed and approved by the Public Works Department prior to issuance of building permits, and the applicant will be required to implement any improvements or measures identified in the approved study. The project site is not included on any hazardous waste or substances sites list (Cortese List) compiled pursuant to Section 65962.5 of the Government Code.
- e. The project site is served by existing utilities and public services, including water, sewer, electricity, and solid waste collection. The project proposes to demolish the existing commercial building and redevelop the site with a multi-story residential building containing 449 dwelling units, including 45 units affordable to low-income households. The site can be adequately served by all required utilities and public services.

In the judgment of staff, based on the assessment contained in the technical studies provided, no new substantial environmental issues have been identified, and the project is not expected to result in any significant environmental impacts.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolutions (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the TMC, a notice for a public hearing was made no less than 10 calendar days before the Planning Commission meeting. This notice was also posted at the project site and mailed on October 24, 2025, to all registered property owners located within a 500' radius of the exterior boundaries of the project site. Additionally, a notice was published in the local newspaper (The Daily Breeze) and posted on the City of Torrance Planning Commission webpage.

## **RIGHT OF APPEAL**

In accordance with TMC Section 95.1.7, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the Planning Commission determination. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00am to 5:00pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990. In addition, the project plans and all related documents are readily available for public review on the City webpage <https://www.torranceca.gov/our-city/community-development/planning-division/reports-land-use-studies/environmental-documents/vista-homes-residential-project>

## **ATTACHMENTS**

1. Planning Commission Resolutions Nos. 2025-066, 2025-067
2. Location and Zoning Map
3. Code Requirements
4. CEQA Memo (<https://www.torranceca.gov/our-city/community-development/planning-division/reports-land-use-studies/environmental-documents/vista-homes-residential-project>)
5. Project Plans and Renderings

**ITEM 8A**  
**ATTACHMENT 1**

PLANNING COMMISSION RESOLUTIONS NOS. 2025-066, 2025-067

**PLANNING COMMISSION RESOLUTION NO. 2025-066**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE APPROVING A CONDITIONAL USE PERMIT IN CONJUNCTION WITH A STATE DENSITY BONUS TO ALLOW THE CONSTRUCTION OF A NEW RESIDENTIAL DEVELOPMENT CONSISTING OF 449 RESIDENTIAL UNITS, ON PROPERTY LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-DEL AMO BUSINESS SUB-DISTRICT ONE (H-DA1 ZONE) AT 3610 TORRANCE BOULEVARD.

**CUP25-00003: VISTA HOMES (LW ACQUISITIONS LLC ET AL LIBAW FAMILY LP C/O HOROWITZ GROUP)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on November 5, 2025 to consider an application filed by VISTA HOMES (LW Acquisitions LLC ET AL Libaw Family LP C/O Horowitz Group) for approval of Conditional Use Permit (CUP25-00003) and Development Permit (DVP25-00001) in conjunction with a State Density Bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the Hawthorne Boulevard Corridor Specific Plan-Del Amo Business Sub-District One (H-DA1 Zone) at 3610 Torrance Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code (TMC); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the project site is located at 3610 Torrance Boulevard (APN 7366-019-101);
- b) That the project site is described as “P M 234-79-81 LOT 2” in the Office of the Los Angeles County Recorder, State of California;
- c) That the project will not have a significant effect on the environment and is declared Categorically Exempt (Class 32) from further environmental review in accordance with the 2025 Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15332 – Infill Development. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code;
- d) That the project is conditionally permitted within the H-DA1 Zone, and that the project, as conditioned, complies with the provisions of Hawthorne Boulevard Corridor Specific Plan to the extent applicable;
- e) That the project, as conditioned, will not impair the integrity and character of the H-DA1 Zone because the project is compatible with the surrounding uses. For example, the project is situated on a lot adjacent to a commercial and multifamily residential uses. The project design builds on the existing character of the surrounding area by blending the commercial and residential uses;
- f) That the project site is physically suitable for the project, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- g) That the project, as conditioned, will be compatible with existing and proposed future land uses within the H-DA1 Zone and the general area in which the project is to be located because the project site is surrounded by similar uses;
- h) That the project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan and the Hawthorne Boulevard Corridor Specific Plan (HBCSP) because the project is located within the H-DA1 Zone and the Commercial Center (C-CTR) land use designation;

- i) That the project, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the project represents an improvement to the area. For example, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Additional features and design enhancements include a courtyard, common areas and private balconies that promote quality experience and increased value;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the project is not detrimental to public health and safety because the project site is located within an urbanized area already served by existing utility and service infrastructure. The project will connect to existing water, sewer, and storm drain facilities and does not require the extension of new off-site infrastructure. The development of 449 apartment units represents a modest incremental increase in demand that will be accommodated within existing system capacities. In addition, the applicant is required to pay all applicable development impact fees and school district fees to offset the project's contribution to public service and facility demand.;
- k) That there will be adequate provisions for public access to serve the project, as conditioned, because access will continue to be provided from Torrance Boulevard and Amie Avenue, with improved internal circulation designed to meet City standards. The project includes an irrevocable offer to dedicate an easement for street and highway purposes along the west side of Amie Avenue to improve public right-of-way width and emergency access. The design allows for full fire department access around the structure, and the site remains well served by public transit stops along Torrance Boulevard.;
- l) That the location, size, design, and operating characteristics of the project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the H-DA1 Zone to the extent applicable, and is consistent with the Commercial Center land use designation;
- m) That the project, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** CUP25-00003, subject to conditions:

- AYES: COMMISSIONERS:
- NOES: COMMISSIONERS:
- ABSENT: COMMISSIONERS:
- ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that applications filed by VISTA HOMES (LW Acquisitions LLC ET AL Libaw Family LP C/O Horowitz Group) for approval of CUP25-00003 and DVP25-00001 in conjunction with a State Density Bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the DA1 Zone at, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for the residential development shall be subject to all conditions imposed in CUP25-00003 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance, and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if CUP25-00003 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1;
3. That all Conditions and Code requirements of DVP25-00001 shall be met.
4. That a copy of Planning Commission Resolution Nos. 2025-066 and 2025-067 shall appear on all grading plans, building plans, construction specifications, and bid documents associated with the project to facilitate coordination and effective implementation of the conditions of approval;
5. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of CUP25-00003 and DVP25-00001 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award;
6. That the applicant shall submit, in order to ensure with compliance with Government Code Section 65915 (c)(1)(A) (or successor statute) a Density Bonus Housing Agreement or similar named agreement, complete with attachment and exhibits, as appropriate, to memorialize the approved density bonus allowance, incentives, concessions, waivers of development standards, parking allowances, development standards and uses, the City Monitoring Fee, and any other terms and conditions relative to the approved project. The applicant shall submit a draft Density Bonus Housing Agreement (DBH Agreement) no less than 90 days prior to the anticipated date for issuance of the first building permit for the project, and the DBH Agreement shall be final and executed by the applicant and the City, in recordable form, prior to issuance of the first building permit for the project. The DBH Agreement shall be presented to the Community Development Department and City Attorney's Office for review and approval and shall be in a form approved by the Community Development Department and City Attorney's Office, prior to issuance of the first building permit. The DBH Agreement may be executed by the City Manager on behalf of the City, subject to any preference of the City Manager or legal requirement for the DBH Agreement to be approved by the City Council. The applicant may request from the City a form to be used for the DBH Agreement, and the applicant shall reimburse the City for the cost of legal review. The DBH Agreement shall be executed and recorded with the County of Los Angeles Recorder prior to occupancy of units;
7. That the 45 affordable units reserved for low-income households shall remain affordable for 55 years from the date of initial occupancy. The applicant, property manager, or owner shall provide an annual compliance report to the Community Development Department including tenant income verification, rent rolls, and rent calculations including utility allowances;
8. That for purposes of defraying City monitoring activities, the property owner shall pay a City Monitoring Fee annually. The City shall invoice the owner each year. Failure to issue an invoice waives payment for that year only. The monitoring fee and reporting requirements shall be included in the DBH Agreement;
9. That during all construction activities, the applicant or developer shall provide a toll-free hotline for complaints. The hotline shall be staffed with a live operator who can immediately contact a construction supervisor. Signs displaying the hotline number shall be posted at the site perimeter before grading permit issuance; (Planning)
10. That the construction site shall be secured with decorative temporary fencing, maintained throughout construction to the satisfaction of the Community Development Director; (Planning)
11. That a roof plan shall be submitted with the building plan set for review before permit issuance, identifying parapet heights and setbacks to ensure all roof appurtenances and mechanical equipment

- are screened from public view; (Planning) That a digital sample board of exterior building materials, finishes, and colors shall be submitted with the building plan set for review before permit issuance, including gates, fencing, and outdoor furniture, to ensure cohesive design; (Planning)
12. That the project shall incorporate the district color "Eggplant" (Pantone 255) as an accent on trim, lighting fixtures, furniture, or other hardware to the satisfaction of the Community Development Director; (Planning)
  13. That a landscape plan shall be submitted to the Community Development Department for approval, prior to the issuance of any Building Permits associated with the subject project. The landscape plan shall be implemented prior to occupancy and shall be maintained to the satisfaction of the Community Development Director. That all required street setbacks must be maintained in permanent landscaping and maintained. The plan shall utilize drought resistant California friendly vegetation, shade-producing trees, and shall provide state-of-the-art water saving irrigation system and/or drip irrigation for all landscape areas. That trash enclosures, transformers, all aboveground equipment and parking lot shall be screened with vegetation of sufficient height and texture to provide an effective screen, to the satisfaction of the Community Development Director. That the landscape plan shall comply with the latest State Water Efficient Landscape Ordinance; (Planning)
  14. That a striping and signage plan for all drive aisles and parking areas shall be submitted with the building plan set prior to permit issuance, showing stop and yield controls, directional signage, and accessible parking designations; (Planning)
  15. That a final photometric lighting plan shall be submitted for review and approval prior to building permit issuance demonstrating compliance with City lighting standards and ensuring no light spillover beyond property lines; (Planning)
  16. That electrical transformers shall not be located within front setback areas and that applicants shall continue to work with Fire, Engineering, and Planning Staff for the siting and painting of all exterior equipment, including, but not limited to, electrical transformers and double-check detectors/backflow assembly equipment, and shall be shown on the final Building Plans; and that any equipment that is required to be sited aboveground shall be screened with enclosures that match the materials and finishes of the main building facades and/or vegetation, to the satisfaction of the Community Development Director; (Planning)
  17. That all electrical switchgear cabinets, fire risers, etc., shall be designed within the interior of the subject building, and shall be shown on the final Building Plans, and that any exterior doors/walls for this equipment shall be designed as an integral part of the façade, matching color and materials to the satisfaction of the Community Development Director; (Planning)
  18. That a utility management plan shall be submitted with the building plan set for review prior to permit issuance. The plan shall identify the placement, design, and screening of all utility equipment, including but not limited to transformers, meters, and backflow preventers; (Planning) That any exterior utility or mechanical equipment shall be screened using materials consistent with the building design or dense landscaping to the satisfaction of the Community Development Director; (Planning)
  19. That a wall and fencing detail shall be submitted prior to building permit issuance, showing design consistent with building materials. Chain-link, barbed wire, and razor wire are prohibited; (Planning)
  20. That a graffiti-proof finish shall be used on walls where applicable, including building walls, fence walls, and screen walls; (Planning)
  21. That all residential parking spaces shall be maintained for resident use only and shall not be leased or rented to nonresidents; (Planning)
  22. That decorative paving materials complementary to the development design shall be provided at driveways, walkways, and guest parking areas to the satisfaction of the Community Development Director; (Planning)
  23. That all persons associated with the use shall park onsite, including residents, visitors, employees, and deliveries; (Planning)

24. That each apartment unit shall be provided with a washer and dryer appliance (laundry) as noted on the floor plans; (Planning)
25. That all open space and landscape areas located at ground level shall be provided for resident use, maintained, and kept free of trash and vandalism; (Planning)
26. That no vending machines, publication racks, telephones, kiosks, donation bins, or similar items shall be permitted outside of the buildings; (Planning)
27. That no outdoor sound-amplifying equipment or similar devices shall be permitted outside the building; (Planning)
28. That any future request for a Wireless Telecommunications Facility (WTC) shall require separate approval, and all equipment shall be screened from public view; (Planning)
29. That the applicant shall continue to work with the Public Works Department for the approval of the Traffic Circulation Analysis (TCA). The applicant must complete any off-site improvement that the City deems appropriate to offset any negative effects identified in the approved TCA to the satisfaction of the Public Works Director prior to issuance of Certificate of Occupancy; (Public Works-Traffic Engineering);
30. The applicant must install an ADA compliant east-west pedestrian crosswalk for the intersection of Amie Ave and Fashion Way prior to issuance of Certificate of Occupancy; (Public Works-Traffic Engineering)
31. That any modifications to the approved building footprint or elevation shall require review and approval by the Community Development Director prior to issuance of building permits; (Planning)
32. That the applicant shall submit detailed architectural elevations and colored renderings consistent with the approved conceptual elevations for review and approval prior to building permit issuance; (Planning)
33. That all balcony railings, window proportions, façade articulation, and exterior materials shall be constructed in a manner consistent with the approved architectural plans and renderings, to the satisfaction of the Community Development Director; (Planning)
34. That all retaining walls, podium walls, and exposed parking structure elevations shall be finished in materials and colors consistent with the primary building elevations; (Planning)
35. That loading and delivery operations shall occur entirely onsite and shall not obstruct the public right-of-way; (Planning)
36. That any modifications to the approved plans, including but not limited to adjustments to window size, material changes, or relocation of doors, shall require review and approval by the Community Development Director prior to building permit issuance; (Planning)
37. That prior to the issuance of a Building Permit, the applicant shall enter into negotiations for the formation of, participate in, or annex into, a Community Facilities District (CFD) to fund a portion of the additional costs for ongoing City services, including but not limited to roadway maintenance, park maintenance, lighting, and public safety. The final CFD participation shall be to the satisfaction of the Community Development Director and Finance Director; (Planning/Finance)
38. The applicant shall, upon completion of the project, retain a Certified Access Specialist (CASp) to verify compliance with the current California Building Code (CBC). Any deficiencies identified in the CASp report shall be corrected to the satisfaction of the Building Official; (Building & Safety)
39. That the Torrance Municipal Water shall be the service provider for the proposed development; (Public Works)
40. That the proposed Ductile Iron Pipe (DIP) water main and appurtenances shall be designed and installed through the west side of the project lot, and through the southerly neighboring lots to connect to the existing 12" water main on Fashion Way; (Public Works)
41. That the applicant/developer shall design and construct a mainline sewer to public standards. The sewer plans, prepared by a professional engineer, shall be submitted by the applicant/developer to the

Engineering Services Division of Community Development Department for review and approval prior to issuance of grading permit. Sewer main to be constructed prior to occupancy; (Engineering)

42. That the applicant shall submit a sewer study discussing the new development's impact on the public sewer system. The study shall include flow monitoring data and be approved by the Engineering Services Division of the Community Development Department prior to issuance of grading permit. The applicant shall design and construct improvements to the public sewer system as per recommendations of the approved study prior to occupancy; (Engineering)
43. That the applicant shall record an irrevocable offer to dedicate an easement for street and highway purposes along the west side of Amie Avenue along the property frontage; (Engineering)
44. That the applicant shall submit a detailed geotechnical report prepared by a registered design professional. The geotechnical report must specifically address the proposed improvements including engineering calculations for all graded slopes, foundations, retaining walls, temporary excavations and other aspects as required by the proposed development. The report shall present detailed geotechnical recommendations for design and construction of the proposed project and improvements. The report should be in accordance with the County of Los Angeles standards and to the satisfaction of the City of Torrance Building and Safety Division standards and requirements, City Code 81.2.50 and CBC 1803. Slope setbacks shall comply with 2022 California Building Code section 1808.7, if applicable; (Engineering)
45. That the applicant shall have a final drainage study prepared by a registered civil engineer. The drainage study shall be prepared in report format and include sections addressing on-site and off-site drainage areas, existing and developed conditions hydrology, the design hydraulics for the on-site drainage system, including sizing of inlets, conduits, v-ditches, down drains and other structures, and associated calculations and conclusions. The drainage study shall demonstrate project compliance with the current Los Angeles County Public Work Department's Hydrology Manual and Hydraulic Design Manual; however the minimum design flow for sizing onsite drainage devices shall be 25 year recurrence (Q25) or 50 year storm for sump conditions. The drainage study shall be submitted to the Building and Safety and approved by the Building official prior to the issuance of a grading permit per City Code 81.2.50 (J104.9); (Engineering)
46. That the applicant shall apply for a grading permit and provide precise grading plan prepared by a Registered Civil Engineer for approval by the Building and Safety Division. The plans shall address the specific grading, drainage, and geotechnical design parameters for design of the proposed construction. The plans should include, but not be limited to: specific elevation grades, keyways, subdrains, limits of removals, retaining walls callouts every 15 to 30 feet, and other information necessary to establish in detail the horizontal and vertical geometric design. The plans shall reference the approved geotechnical report, and reflect cut, fill, compaction and over-excavation requirements contained therein. The plans shall reflect all proposed drainage facilities, including storm drains, area drains, catch basins/inlets, swales, and other drainage devices necessary for the interception, conveyance and disposal of on-site and offsite drainage consistent with the project drainage report per City Code 81.2.49 (J103) and City Code 81.2.50 (J104). The precise grading plan shall detail compliant paths of travel and accessible parking stalls per 2022 California Building Code (CBC) 11B-201; (Engineering)
47. That the applicant shall replace portions of grinded, lifted, and damaged sidewalk along the property frontage on Torrance Boulevard per City of Torrance standards; (Engineering)
48. That the applicant shall provide evidence of reciprocal cross access easement for ingress, egress, sewer, drainage and utilities with adjacent properties; (Engineering)
49. That the applicant shall install a street tree in the City parkway every 50' for the length of this lot on Torrance Boulevard (City Code sec. 74.3.2). Contact the Streetscape Division of the Torrance Public Works Department at 310-781-6900 for information on the type and size of tree for your area; (Engineering)
50. That the final project plans shall include a cover sheet including area (acres) of disturbed soil. Disturbed soil of 1 acre or more requires the owner to file a Notice of Intent with the Division of Water Quality of

State Water Resources Control Board and prepare a SWPPP per City Code 410.1.070, if applicable; (Engineering)

51. That all proposed and/or existing water meters larger than 2", double check detector assemblies and reduced pressure backflow assemblies shall be located above ground on private property near the public right-of-way, shall be screened from public view with approved plant material, and shall be constructed per City of Torrance standards. Final location of said facilities and landscape screening shall be incorporated into water, fire and landscape plan for review prior to BUILDING PERMIT ISSUANCE. Landscape screening shall provide access to water and fire department at all times and be maintained diligently to the satisfaction of the Fire Marshal; (Water)
52. That a dedicated water meter and reduced pressure assembly shall be provided for landscape irrigation; (Water)
53. If any pumps are required onsite, that all domestic services shall be protected by a reduced pressure principle assembly; (Water)
54. That the project site shall be served by master public water meter (meter larger than 2" shall be located above ground on private property adjacent to public right-of-way) with privately owned, operated, maintained and administered submetering system for each dwelling unit. Common areas shall be served by a separate meter; (Water)
55. That the project site shall be served by master public water meter (meter larger than 2" shall be located above ground on private property adjacent to public right-of-way) with privately owned, operated, maintained and administered submetering system for each dwelling unit. Common areas shall be served by a separate meter; (Water)
56. That a hydrology study shall be submitted to and approved by the Community Development Department, Engineering Services Division prior to approval of the grading plan. The study shall include method of detaining the difference between the 10-year and 50-year storm. Determine proposed building finished floor elevation with adequate freeboard; (Engineering)
57. That a fire meter and double check valve assembly shall be installed at each fire connection to the public main if on-site fire hydrants are installed; (Water)
58. That the business name and address shall be clearly visible from the street frontage to the satisfaction of the Torrance Police Department; (Police)
59. That non-glare security lighting shall be installed and maintained for all parking areas and pedestrian pathways to provide adequate visibility and safety while preventing glare or spillover onto adjacent properties; (Police)
60. That the property shall be secured with Knox Box locks providing access to the Torrance Police and Fire Departments at all secured vehicle gates and common entry doors of the residential building; (Police)
61. That a video surveillance system shall be installed to monitor all parking areas, building entry points, vehicle access gates, and primary pedestrian entrances to the satisfaction of the Torrance Police Department; (Police)
62. That a site map shall be posted at the entrance of the multi-unit residential community identifying unit numbers, addresses, and locations, and that the residential complex map shall be installed at all main accessways; (Police)
63. That visible residential building nomenclature shall be provided to facilitate emergency response; (Police)
64. That a housing unit directory and map identifying the locations of elevators and stairwells shall be posted in visible areas within the building; (Police)
65. That all security cameras shall be maintained in proper working order at all times, and that recorded footage shall be made available to the Torrance Police Department upon request; (Police)

66. That surveillance footage shall be stored for a minimum of sixty (60) days, and that the Torrance Police Department strongly recommends that the video surveillance system be Open Network Video Interface Forum (ONVIF) compatible; (Police)
67. That the applicant shall install a vapor barrier system to prevent vapor intrusion in all garage areas and residential units, to the satisfaction of the Environmental Division; (Environmental)
68. That all signs, including new, modified, or revised signage, shall be reviewed and approved by the Environmental Division or shall comply with the previously approved sign program. Appeals of Environmental Division decisions may be made to the Planning Commission; (Environmental)
69. That rooftop identification numbers shall be installed to assist emergency personnel in locating the property. The numbers shall be 4 feet high and 2 feet wide, spaced 12 inches apart, parallel to the street, and painted in a non-reflective color contrasting with the roof surface; (Environmental)
70. That a minimum of 9-inch contrasting address numerals shall be provided for non-residential uses; (Environmental)
71. That the applicant shall install on-site bicycle racks and submit a placement plan and detail of the rack design for review and approval to the satisfaction of the Environmental Division; (Environmental)
72. That bins or containers shall be provided within the trash enclosure for the storage and retrieval of trash and recyclable materials; (Environmental)
73. That the applicant shall submit a Noise Attenuation Plan prepared by a qualified acoustical consultant for review and approval by the Environmental Division. The plan shall demonstrate how the recommended measures will mitigate operational noise to ensure compliance with the Torrance Municipal Code and prevent disturbance to adjacent properties; (Environmental)
74. That the trash enclosure shall include a metal barrier roof covering to prevent rainwater intrusion and comply with current NPDES requirements; (Environmental)
75. That the applicant shall verify compliance with all applicable pool safety requirements to the satisfaction of the Environmental Division; (Environmental)
76. That the applicant shall provide a case-specific study demonstrating whether the abandoned oil well onsite has been abandoned in accordance with current State and local standards, and shall perform a leak test consistent with current Neighborhood Services policies. A deposit may be required to cover consultant review fees associated with the well study. The applicant may be required to sign a Release of Liability and Assumption of Risk Agreement, to the satisfaction of the City Attorney's Office, acknowledging and agreeing to record the document against the subject property. Open and unobstructed areas shall be maintained adjacent to the surface location of the wellhead as follows: (a) no structure or property line shall be closer than ten (10) feet to any two (2) adjacent sides of the well; (b) no structure or property line shall be closer than fifty (50) feet to the third (3rd) side of the well; and (c) the fourth (4th) side shall provide open access to allow an oil well abandonment rig to access the site. The site plan shall clearly show the location of the abandoned well and required clearances in compliance with TMC Section 97.6.11 to ensure future re-abandonment is possible. The abandoned well shall be properly vented in accordance with TMC Section 97.6.10. Abandoned well shall be vented; and (Environmental)

78. That all conditions of all other City departments received prior to or during the consideration of the project by the Planning Commission shall be met.

**INTRODUCED, APPROVED, and ADOPTED** this 5th day of November 2025.

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

AYES: COMMISSIONERS:  
NOES: COMMISSIONERS:  
ABSENT: COMMISSIONERS:  
ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**PLANNING COMMISSION RESOLUTION NO.2025-067**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, AS PROVIDED FOR IN DIVISION 9, CHAPTER 2, ARTICLE 36 OF THE TORRANCE MUNICIPAL CODE APPROVING A DEVELOPMENT PERMIT IN CONJUNCTION WITH A STATE DENSITY BONUS TO ALLOW THE CONSTRUCTION OF A NEW RESIDENTIAL DEVELOPMENT CONSISTING OF 449 RESIDENTIAL UNITS, ON PROPERTY LOCATED WITHIN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN-DEL AMO BUSINESS SUB-DISTRICT ONE (H-DA1 ZONE) AT 3610 TORRANCE BOULEVARD.

**DVP25-00001: VISTA HOMES (LW ACQUISITIONS LLC ET AL LIBAW FAMILY LP C/O HOROWITZ GROUP)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a duly noticed public hearing on November 5, 2025 to consider an application filed by VISTA HOMES (LW Acquisitions LLC ET AL Libaw Family LP C/O Horowitz Group) for approval of Conditional Use Permit (CUP25-00003) and Development Permit (DVP25-00001) in conjunction with a State Density Bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the Hawthorne Boulevard Corridor Specific Plan-Del Amo Business Sub-District One (H-DA1 Zone) at 3610 Torrance Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 2, Article 36 of the Torrance Municipal Code (TMC); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the project site is located at 3610 Torrance Boulevard (APN 7366-019-101);
- b) That the project site is described as “P M 234-79-81 LOT 2” in the Office of the Los Angeles County Recorder, State of California;
- c) That the project will not have a significant effect on the environment and is declared Categorically Exempt (Class 32) from further environmental review in accordance with the 2025 Guidelines for Implementation of the California Environmental Quality Act (CEQA), Article 19, Section 15332 – Infill Development. In addition, the project site is not included on any hazardous waste and substances sites list, also known as the Cortese List, compiled pursuant to Section 65962.5 of the Government Code;
- d) That the project is conditionally permitted within the H-DA1 Zone, and that the project, as conditioned, complies with the provisions of Hawthorne Boulevard Corridor Specific Plan (HBCSP) to the extent applicable;
- e) That the project, as conditioned, will not impair the integrity and character of the H-DA1 Zone because the project is compatible with the surrounding uses. For example, the project is situated on a lot adjacent to a commercial and multifamily residential uses. The project design builds on the existing character of the surrounding area by blending the commercial and residential uses;
- f) That the project site is physically suitable for the project, as conditioned, because the project site is situated within an urbanized environment and already served by all necessary utilities and public services, and will not extend any roads or other infrastructure;
- g) That the project, as conditioned, will be compatible with existing and proposed future land uses within the H-DA1 Zone and the general area in which the project is to be located because the project site is surrounded by similar uses;
- h) That the project, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan and the HBCSP because the project is located within the H-DA1 Zone and the Commercial Center (C-CTR) land use designation;

- i) That the project, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the project represents an improvement to the area. For example, the project architecture demonstrates appeal through modulation of building masses, elevations, and rooflines that promote visual interest. Additional features and design enhancements include a courtyard, common areas and private balconies that promote quality experience and increased value;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure that the project is not detrimental to public health and safety because the project site is located within an urbanized area already served by existing utility and service infrastructure. The project will connect to existing water, sewer, and storm drain facilities and does not require the extension of new off-site infrastructure. The development of 449 apartment units represents a modest incremental increase in demand that will be accommodated within existing system capacities. In addition, the applicant is required to pay all applicable development impact fees and school district fees to offset the project's contribution to public service and facility demand.;
- k) That there will be adequate provisions for public access to serve the project, as conditioned, because access will continue to be provided from Torrance Boulevard and Amie Avenue, with improved internal circulation designed to meet City standards. The project includes an irrevocable offer to dedicate an easement for street and highway purposes along the west side of Amie Avenue to improve public right-of-way width and emergency access. The design allows for full fire department access around the structure, and the site remains well served by public transit stops along Torrance Boulevard.;
- l) That the location, size, design, and operating characteristics of the project, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the project has been thoroughly reviewed and found to be in compliance with the development standards of the H-DA1 Zone to the extent applicable, and is consistent with the Commercial Center land use designation;
- m) That the project, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles;

**WHEREAS**, the Planning Commission by the following roll call vote **APPROVED** DVP25-00001, subject to conditions:

AYES: COMMISSIONERS:  
 NOES: COMMISSIONERS:  
 ABSENT: COMMISSIONERS:  
 ABSTAIN: COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that applications filed by VISTA HOMES (LW Acquisitions LLC ET AL Libaw Family LP C/O Horowitz Group) for approval of DVP25-00001 in conjunction with a State Density Bonus to allow the construction of a new residential development consisting of 449 residential units, on property located within the DA-1 Zone at, on file in the Community Development Department of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property for the mixed-use development shall be subject to all conditions imposed in DVP25-00001; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if DVP25-00001 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC;
3. That all Conditions and Code requirements of Conditional Use Permit 25-00003 shall be met; and
4. That a copy of Planning Commission Resolution Nos. 2025-066 and 2025-067 shall appear on all grading plans, building plans, construction specifications, and bid documents associated with the project to facilitate coordination and effective implementation of the conditions of approval;
5. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of CUP25-00003 and DVP25-00001 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award;
6. That prior to the issuance of a Building Permit, the applicant shall enter into negotiations for the formation of, participate in, or annex into, a Community Facilities District (CFD) to fund a portion of the additional costs for ongoing City services, including but not limited to roadway maintenance, park maintenance, lighting, and public safety. The final CFD participation shall be to the satisfaction of the Community Development Director and Finance Director; and (Planning/Finance)
7. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

**INTRODUCED, APPROVED, and ADOPTED** this 5th day of November 2025.

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

- AYES: COMMISSIONERS:
- NOES: COMMISSIONERS:
- ABSENT: COMMISSIONERS:
- ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**ITEM 8B**  
ATTACHMENT 2

LOCATION AND ZONING MAP



**ITEM 8B**  
ATTACHMENT 3  
CODE REQUIREMENTS

## CODE REQUIREMENTS

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### ENGINEERING

1. Ponding of water shall not be permitted to occur on pavement, concrete or in landscape areas per City Code 81.2.52.
2. Per City Code 410.1.070 the owner/owner's agent shall submit an erosion control plan to the Building and Safety Division for review and approval by the Building Official to ensure the following minimum requirements are effectively implemented at the construction site:
  - a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  - b. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  - c. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
  - d. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs, such as the limiting of grading scheduled during the wet season, inspecting graded areas during rain events, planting and maintenance of vegetation on slopes, and covering erosion susceptible slopes."
3. Drainage plans shall incorporate appropriate post-construction best management practices (BMPs) into the design of the project and must be prepared and approved prior to issuance of any grading permit per City Code 411.1.050. Refer to the Los Angeles County Low Impact Development (LID) Manual for applicable design requirements. The project-specific LID plans shall describe how the project design conforms to all requirements set forth in the LID manual and must include a fully executed and recorded LID covenant to provide for on-going maintenance of the BMPs that have been chosen. Stormwater quality design volume (SWQDv) shall be treated onsite per City Code 411.1.070.
4. All undocumented fill shall be removed until competent native soils have been reached, and recompacted from property line to property line per City Code 81.2.50 (J104.5)
5. All lots shall have a minimum grade of 1%. The lot shall be graded to drain to the street per City Code 81.2.51 (J107.6). If insufficient elevation is available to accommodate gravity drainage, sump pumps are required. Provide supporting calculations and construction details as appropriate. Sump pumps shall be designed per the Los Angeles County Sump Pump Manual by a civil engineer. Sump pumps shall provide check valve, gate/ball valves, alarms. Sump pit shall be comprised of reinforced concrete or reinforced cement masonry units.
6. All drainage shall be sloped 2% away from all parts of building structures along impervious surface and 5% away along pervious surface in conformance with California Building Code and conveyed through an on-site storm drain system to an approved point of disposal (i.e. street) per CBC 1804.4 and City Code 81.2.51 (J107.6).

7. A Construction and Excavation Permit (C&E Permit) is required from the Community Development Department, Engineering Services Division, for any work in the public right-of-way on Torrance Boulevard (City Code Sec. 74.6.2).

## **FIRE**

1. The 2022 California Fire Code shall apply to the project.

## **WATER**

1. Public water facilities needed to serve this site, including as applicable, mains and appurtenances shall be constructed at the cost of applicant/owner per Torrance Municipal Water (TMW) plans and specifications. Torrance Municipal Water District shall make final determination/approval for location, type, and size of all water facilities.
2. Prior to issuance of building permits, submit to the Permit and Records Division of the Community Development Department a site plan showing the proposed location and size of all water services (domestic, fire and recycled) for the project.

## **ENVIRONMENTAL**

1. (Residential parking stalls next to walls shall be a minimum of 10-ft. Wide per Torrance code(93.5.2).
2. Bedroom sizes to be as determined per Torrance code (92.20.2).
3. Double-line stripe all parking spaces per Torrance code (93.4.6).
4. Lot sweeping, deliveries and trash pick-up are prohibited between 10 P.M. And 7 A.M. per Torrance code(92.30.4).
5. No freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary/portable signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary/portable signage that violates Torrance Municipal Code requirements for prohibited signs(TMC911.6.100). Permits for banners must be obtained before use. Directional signs and parking signage are allowable. (TMC911.7.010)
6. Provide 200 cubic feet of storage area per unit in garage area (R-3) per Torrance code(93.5.11).
7. Screen all roof equipment from public view per Torrance code(92.30.2).
8. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.

**ITEM 8B**  
**ATTACHMENT 4**

**CEQA MEMO**

(<https://www.torranceca.gov/our-city/community-development/planning-division/reports-land-use-studies/environmental-documents/vista-homes-residential-project>)

**ITEM 8B**  
ATTACHMENT 5  
  
PROJECT PLANS

# Vista Homes Apartments

3610 Torrance Blvd., Torrance, CA 90503

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DESIGNER'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE DESIGNER IS TO BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

CARLOS OVALLE, ARCHITECT, LEED AP

## REVISIONS

REVISION NO. & DESC.	BY	DATE
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## ISSUES

ISSUED FOR	DATE
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## CLIENT APPROVAL

PHASE	SIGNATURE	DATE
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## PROJECT #

23-001

## PROJECT NAME

## VISTA HOMES APARTMENTS

3610 TORRANCE BLVD  
TORRANCE, CA 90503

## OWNER

VISTA HOMES, LP

## KEYPLAN



## DATE

July 12th, 2025

## SHEET TITLE

## COVER SHEET

## SCALE

N.T.S.

## SHEET NUMBER

## PP00

## DISCIPLINE

ARCHITECTURE

## WAIVER REQUEST

### PLANNING:

BASED ON THE ALLOCATION OF 10% LOW-INCOME AFFORDABLE UNITS (A TOTAL OF 45 UNITS), WE ARE NOT REQUESTING A DENSITY BONUS. HOWEVER, OUR PROJECT QUALIFIES UNDER DENSITY BONUS LAWS PER THE STATE OF CALIFORNIA REGULATIONS, AND WE ARE ENTITLED TO UNLIMITED WAIVERS. WE ARE SEEKING THREE WAIVERS.

UNDER THE DENSITY BONUS PARKING STANDARD PER GOV. CODE 65915 (NOTE #1 BELOW), TANDEM PARKING IS ALLOWED. ADDITIONALLY, THE PARKING REQUIREMENTS ARE AS FOLLOWS:

- ONE PARKING SPACE FOR ONE-BEDROOM UNITS
- 1.5 PARKING SPACES FOR TWO- AND THREE-BEDROOM UNITS

### PARKING BREAKDOWN:

- 82 ONE-BEDROOM UNITS: 82 SPACES
- 365 TWO-BEDROOM UNITS: 548 SPACES
- 2 THREE-BEDROOM UNITS: 3 SPACES
- TOTAL REQUIRED RESIDENTIAL PARKING: 633 SPACES
- TOTAL PROVIDED RESIDENTIAL PARKING: 815 SPACES

### WAIVERS SUMMARY:

- SIZE OF PARKING STALLS:
  - STANDARD STALL DIMENSIONS (PROPOSED): 8.5 FEET (WIDTH) x 18 FEET (LENGTH)
  - CITY REQUIREMENT: 8.5 FEET x 18 FEET

### 2. FLOOR AREA RATIO (FAR):

- PROPOSED FAR: 2.7
- CITY REQUIREMENT: 1.0

### 3. OPEN SPACE:

- PROVIDED OPEN SPACE: 59,623 SQUARE FEET
- CITY REQUIREMENT: 300 SQUARE FEET PER UNIT = 446,856 SQ. FT.

### 4. SETBACK FACING AMIE AVE:

- PROVIDED SETBACK: 1 FOOT FROM SIDEWALK, BUILDING IS 30 FEET FROM THE PROPERTY LINE (SEE SITE PLAN FOR PROPERTY LINE)
- CITY REQUIREMENTS: 20 FEET

### WAIVER DETAILS:

- SIZE OF PARKING STALLS:
  - STANDARD STALL DIMENSIONS OF 8.5 FEET IN WIDTH BY 18 FEET IN LENGTH ARE CONSISTENT WITH DENSITY BONUS STANDARDS PER GOV. CODE 65915.
  - TO MEET THE 18-FOOT LENGTH REQUIREMENT, THE TOTAL NUMBER OF PARKING STALLS WOULD BE REDUCED BY 18%, WHICH WOULD SIGNIFICANTLY IMPACT THE DEVELOPMENT POTENTIAL OF THE PROJECT.

### 2. FLOOR AREA RATIO (FAR):

- THE SUBJECT PROPERTY IS LOCATED WITHIN A 200-FOOT HEIGHT LIMIT AREA IN THE HD-1A ZONE, WHICH ALLOWS A MAXIMUM FLOOR AREA RATIO (FAR) OF 1.0.
- WE RESPECTFULLY REQUEST APPROVAL OF A 2.7 FAR FOR THIS PROJECT.
- A 1.0 FAR LIMITATION WOULD REDUCE THE NUMBER OF UNITS BY APPROXIMATELY 70%, MAKING THE PROJECT INFEASIBLE.

### 3. OPEN SPACE:

THE CURRENTLY CITY'S REQUIRED OPEN SPACE IS 134,700 SQUARE FEET, CALCULATED AT 300 SQUARE FEET PER UNIT FOR 449 UNITS (300 SQ. FT. x 449 = 134,700). WE RESPECTFULLY REQUEST A REDUCTION IN THE REQUIRED OPEN SPACE TO 54,762 SQUARE FEET, WHICH IS 41% OF THE CITY'S REQUIREMENT. THE 300 SQ. FT. PER UNIT REQUIREMENT SIGNIFICANTLY REDUCES THE BUILDABLE AREA OF THE SITE BY 30%.

AS PROPOSED, A 20-FOOT SETBACK IS MAINTAINED ALONG TORRANCE BLVD., AND ALL MATURE TREES, INCLUDING THE PALM TREES ON THE SOUTH SIDE, WILL BE PRESERVED. IN ADDITION, THE PROJECT WILL FEATURE THREE LARGE COURTYARDS DESIGNED TO PROVIDE RESORT-STYLE AMENITIES FOR RESIDENTS. THE PROPOSED OPEN SPACE WILL ADEQUATELY SERVE THE NEEDS OF FUTURE RESIDENTS.

NOTE #1 - CALIFORNIA'S DENSITY BONUS LAW (GOV. CODE § 65915), WHICH ALLOWS DEVELOPERS TO REQUEST WAIVERS OF DEVELOPMENT STANDARDS AND REDUCTIONS IN PARKING REQUIREMENTS TO FACILITATE THE CONSTRUCTION OF QUALIFYING AFFORDABLE HOUSING PROJECTS.

### WAIVER OR REDUCTION OF DEVELOPMENT STANDARDS:

IF ANY OTHER CITY OR COUNTY DEVELOPMENT STANDARD WOULD PHYSICALLY PREVENT THE PROJECT FROM BEING BUILT AT THE PERMITTED DENSITY AND WITH THE GRANTED CONCESSIONS/INCENTIVES, THE DEVELOPER MAY PROPOSE TO HAVE THOSE STANDARDS WAIVED OR REDUCED. THE CITY OR COUNTY IS NOT PERMITTED TO APPLY ANY DEVELOPMENT STANDARD WHICH PHYSICALLY PRECLUDES THE CONSTRUCTION OF THE PROJECT AT ITS PERMITTED DENSITY AND WITH THE GRANTED CONCESSIONS/INCENTIVES. THE CITY OR COUNTY IS NOT REQUIRED TO WAIVE OR REDUCE DEVELOPMENT STANDARDS THAT WOULD CAUSE A PUBLIC HEALTH OR SAFETY PROBLEM, CAUSE AN ENVIRONMENTAL PROBLEM, HARM HISTORICAL PROPERTY, OR WOULD BE CONTRARY TO LAW. THE WAIVER OR REDUCTION OF A DEVELOPMENT STANDARD DOES NOT COUNT AS AN INCENTIVE OR CONCESSION, AND THERE IS NO LIMIT ON THE NUMBER OF DEVELOPMENT STANDARD WAIVERS THAT MAY BE REQUESTED OR GRANTED. DEVELOPMENT STANDARDS WHICH HAVE BEEN WAIVED OR REDUCED UTILIZING THIS SECTION INCLUDE SETBACK, LOT COVERAGE AND OPEN SPACE REQUIREMENTS, AND SHOULD APPLY TO BUILDING HEIGHT LIMITS AS WELL. THIS ABILITY TO FORCE THE LOCALITY TO MODIFY ITS NORMAL DEVELOPMENT STANDARDS IS SOMETIMES THE MOST COMPELLING REASON FOR THE DEVELOPER TO STRUCTURE A PROJECT TO QUALIFY FOR THE DENSITY BONUS.

MAXIMUM PARKING REQUIREMENTS, UPON THE DEVELOPER'S REQUEST, THE CITY OR COUNTY MAY NOT REQUIRE MORE THAN THE FOLLOWING PARKING RATIOS FOR A DENSITY BONUS PROJECT (INCLUSIVE OF PARKING FOR PERSONS WITH DISABILITIES):

STUDIO	1 SPACE
1 BEDROOM	1 SPACE
2 BEDROOM	1.5 SPACES
3 BEDROOM	1.5 SPACES
4 BEDROOM	2.5 SPACES

ONSITE SPACES MAY BE PROVIDED THROUGH TANDEM OR UNCOVERED PARKING, BUT NOT ONSTREET PARKING. REQUESTING THESE PARKING STANDARDS DOES NOT COUNT AS AN INCENTIVE OR CONCESSION, BUT THE DEVELOPER MAY REQUEST FURTHER PARKING STANDARD REDUCTIONS AS AN INCENTIVE OR CONCESSION. THIS IS ONE OF THE MOST IMPORTANT BENEFITS OF THE DENSITY BONUS STATUTE. IN MANY CASES, ACHIEVING A REDUCTION IN PARKING REQUIREMENTS MAY BE MORE VALUABLE THAN THE ADDITIONAL PERMITTED UNITS. IN HIGHER DENSITY DEVELOPMENTS REQUIRING THE USE OF STRUCTURED PARKING, THE CONSTRUCTION COST OF STRUCTURED PARKING IS VERY EXPENSIVE, COSTING UPWARDS OF \$20,000 PER PARKING SPACE. WHILE THIS PROVISION OF THE DENSITY BONUS STATUTE CAN BE USED TO REDUCE EXCESSIVE PARKING REQUIREMENTS, CARE MUST BE TAKEN NOT TO IMPACT THE PROJECT'S MARKETABILITY BY REDUCING PARKING TO MINIMUM REQUIREMENTS WHICH LEAD TO PARKING SHORTAGES.

### 4. SETBACKS:

THE NORTHEAST SECTION OF AMIE AVENUE AT TORRANCE BOULEVARD IS CURRENTLY PRIVATELY OWNED, AS INDICATED ON THE SITE PLAN. THE PROPERTY LINE RUNS THROUGH THE CENTER OF AMIE AVENUE AND PER CODE, THIS AREA REQUIRES ZERO SETBACKS. VISTA HOMES INTENDS TO DONATE THIS PORTION OF LAND TO THE CITY, THEREBY CONVERTING AMIE AVENUE AT THIS INTERSECTION INTO A PUBLIC STREET. ACCORDINGLY, WE REQUEST A WAIVER FOR MINIMAL SETBACKS AT TWO CORNERS OF THE BUILDING.

## PROJECT DESCRIPTION

THE PROPOSED PROJECT ENTAILS THE CONSTRUCTION OF A 449-UNIT RESIDENTIAL COMPLEX WITH 815 PARKING SPACES, SPANNING 451,614 LEASABLE SQUARE FEET IN AN 8-STORY (PARTLY 6-STORY), 85-FOOT-TALL BUILDING ON A 4.04-ACRE SITE (FAR 2.7) AT 3610 W. TORRANCE BLVD., TORRANCE, CALIFORNIA. RESIDENTIAL UNITS WILL BE LOCATED ABOVE A TWO-LEVEL PARKING STRUCTURE.
ON-SITE AMENITIES WILL INCLUDE A LEASING OFFICE, LOBBY, POOL, SPA, FITNESS CENTER, AND THREE COURTYARDS FOR RESIDENTS. THE PROJECT WILL REQUIRE THE DEMOLITION OF 46,585 SQUARE FEET OF EXISTING RETAIL SPACE TO ACCOMMODATE THIS NEW DEVELOPMENT.

## PROJECT INFORMATION

### SITE AND BUILDING SUMMARY

ADDRESS	3610 TORRANCE BLVD TORRANCE, CA 90503
TOTAL LOT AREA (S.F./ACRES)	175,546 S.F. 4.03
LEASEABLE AREA	454,414 S.F.
COMMON AREA - ** NOTE	12,442 S.F.
GROSS BUILDING AREA	466,856 S.F.
F.A.R.	2.7
TOTAL UNITS	449 DU
LOW INCOME UNITS DESIGNATION (10%)	45
DENSITY	112 DU / ACRE
OCCUPANCY CLASSIFICATION	R2 / S2

### RESIDENTIAL UNITS SUMMARY

PLAN	DESCRIPTION	AREA	SUBTOTAL	QUANTITY
A	1 BR / 1 BA	718 S.F.	58,876 S.F.	82
B	2 BR / 2 BA	1,070 S.F.	218,834 S.F.	203
C	2 BR / 2 BA	1,072 S.F.	156,512 S.F.	146
D	2 BR / 2 BA	1,087 S.F.	17,392 S.F.	16
E	3 BR / 2 BA	1,400 S.F.	2,800 S.F.	2

TOTAL NUMBER OF UNITS 454,414 S.F. 449

### PARKING SUMMARY

1 SPACE / 1 BEDROOM UNIT	82	82 SPACES
1.5 SPACE / 2.3 BEDROOMS UNIT *	367	551 SPACES
TOTAL REQUIRED RESIDENTIAL SPACES		633 SPACES

### PROVIDED PARKING SPACES

GUEST @ LEVEL 1	22 SPACES
RESIDENTIAL @ 1 LEVEL	461 SPACES
RESIDENTIAL @ 2 LEVEL	332 SPACES

TOTAL PROVIDED 815 SPACES

### PROVIDED PARKING SPACES BY TYPE

STANDARD	8'-8" x 18'-0"	111 SPACES
TANDEM	8'-8" x 36'-0"	686 SPACES
GUEST ADA PARKING	32 x 5%	2 SPACES
RESIDENT ADA PARKING	802 x 2%	16 SPACES

## OPEN SPACE SUMMARY

### RESIDENTIAL UNIT DECKS AREA SUMMARY

PLAN	DESCRIPTION	DECK AREA	SUBTOTAL AREA	QUANTITY
A	1 BR / 1 BA	70 S.F.	5,740 S.F.	82
B	2 BR / 2 BA	63 S.F.	12,789 S.F.	203
C	2 BR / 2 BA	70 S.F.	10,220 S.F.	146
D	2 BR / 2 BA	100 S.F.	1,600 S.F.	16
E	3 BR / 2 BA	100 S.F.	200 S.F.	2

TOTAL UNIT DECKS AREA 30,549 S.F.

GROUND FLOOR AREA	9,464 S.F.
3RD FLOOR COURTYARDS	19,380 S.F.
POOL & SPA (AT 25% MAX)	230 S.F.

TOTAL PROVIDED OPEN SPACE 59,623 S.F.

\*\* COMMON AREAS (CORRIDORS, STAIRS, ELEVATORS, LOBBY, GYM, COMMUNITY ROOM, AND MISC. PUBLIC SPACES)

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CARLOS OVALLE, ARCHITECT, LEED AP

REVISIONS

REVISION NO. & DESC.	BY	DATE

ISSUES

ISSUED FOR	DATE

CLIENT APPROVAL

PHASE	SIGNATURE	DATE

PROJECT #

23-001

PROJECT NAME

VISTA HOMES APARTMENTS

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER

VISTA HOMES, LP

KEYPLAN



DATE

October 10th, 2025

SHEET TITLE

SITE PLAN

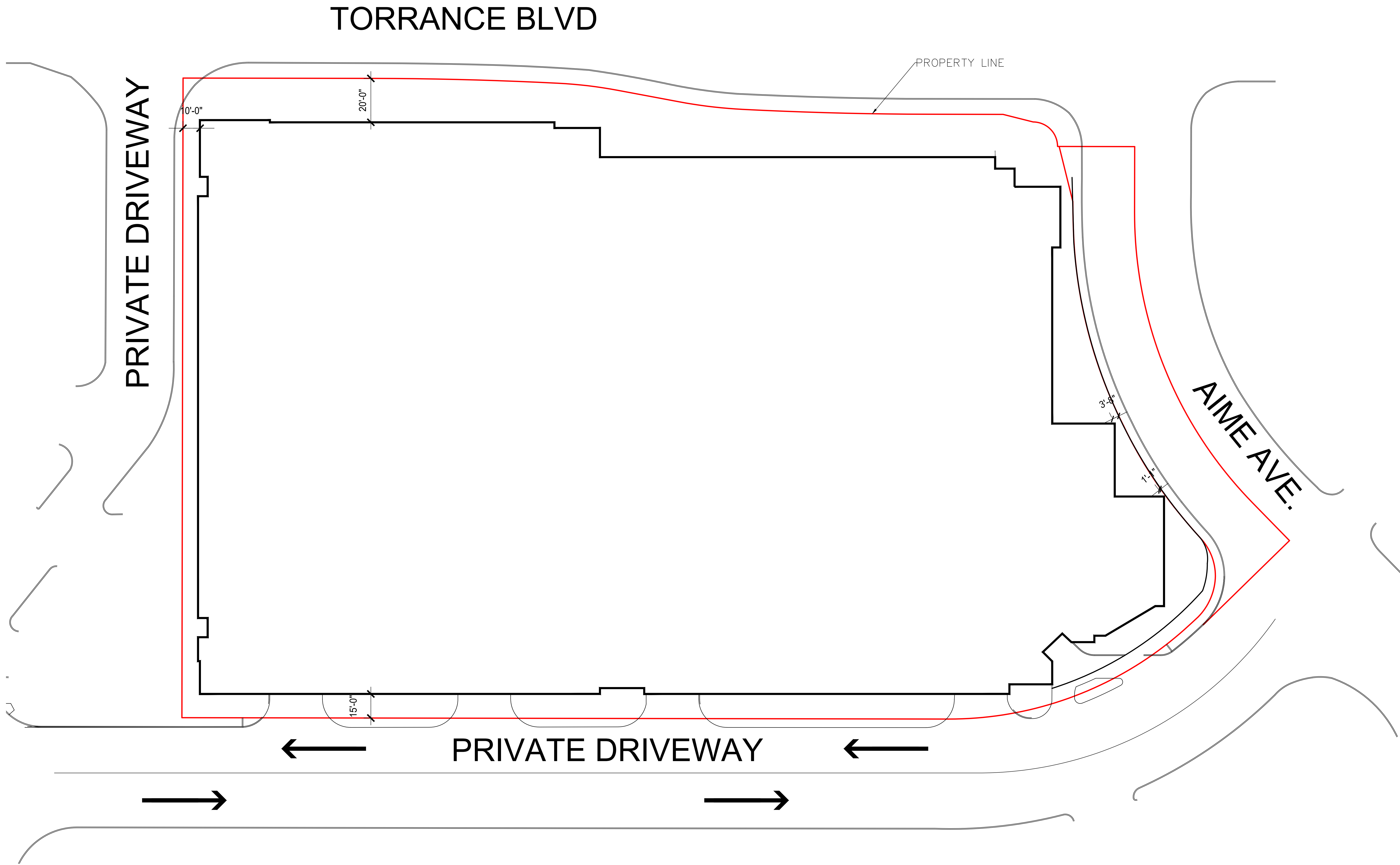
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SHEET NUMBER

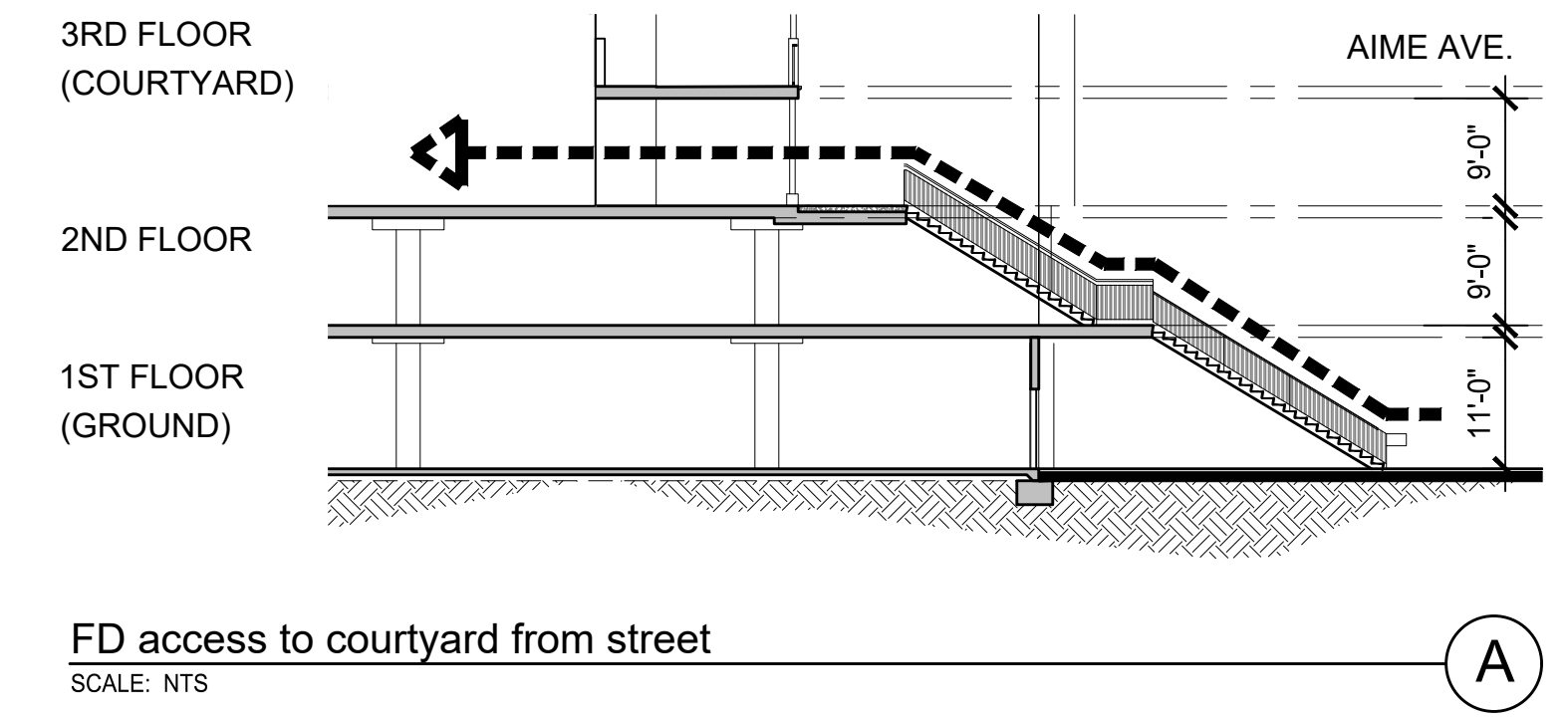
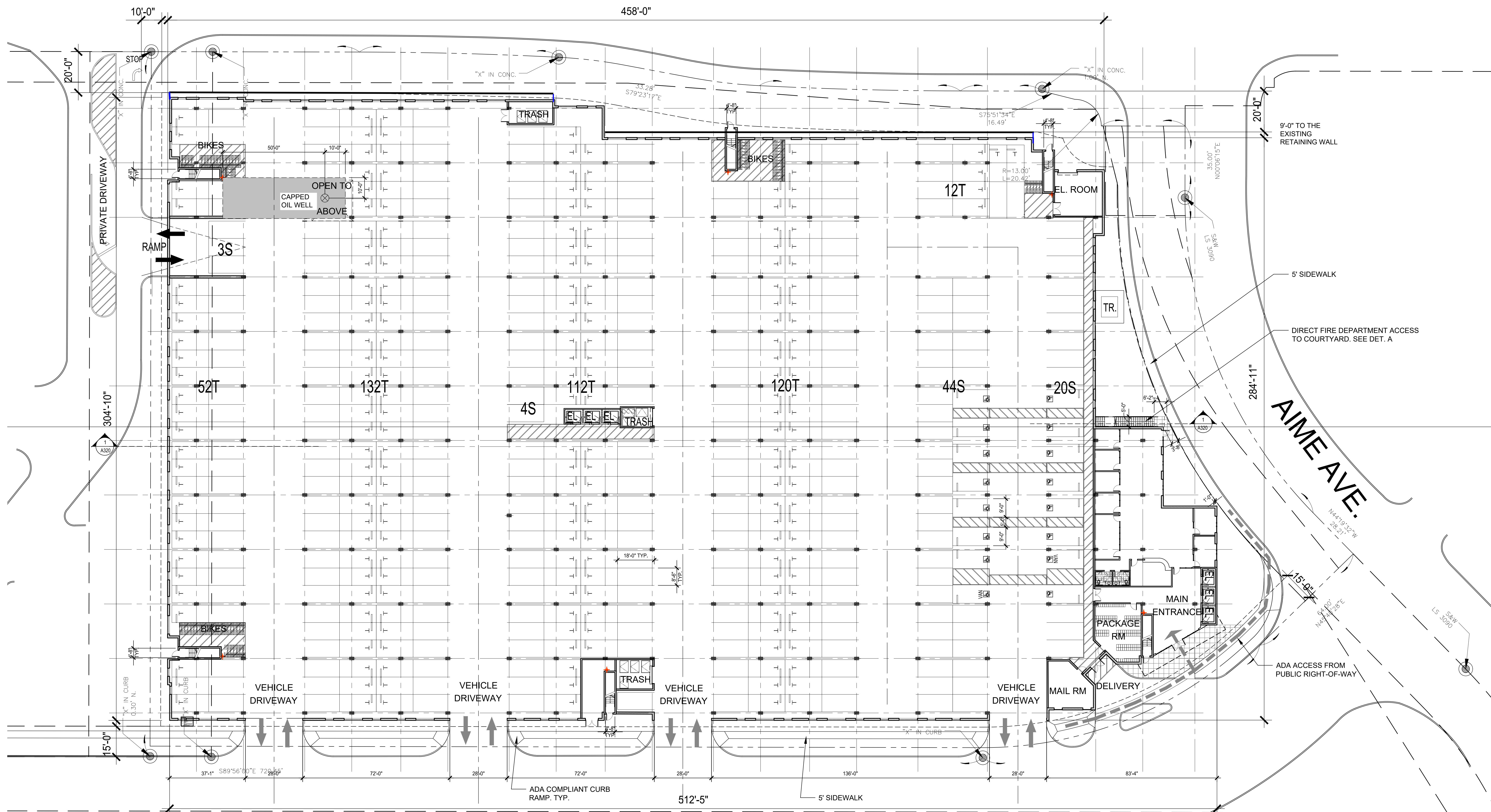
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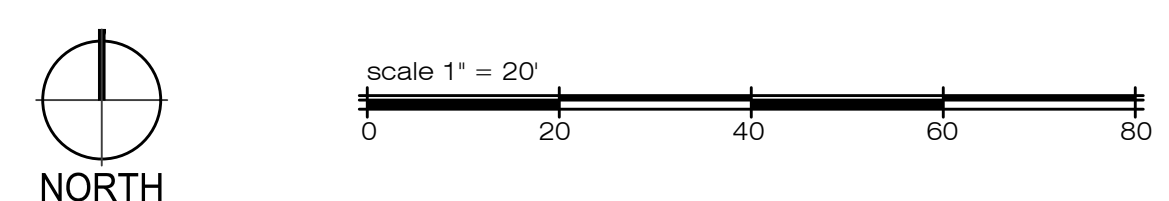
ARCHITECTURE



# TORRANCE BLVD



- NOTES**
- CMU BLOCK STYLE AND COLOR PALETTE TO BE REMINISCENT OF THE GANAHL STORE, TORRANCE



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**REVISIONS**

REVISION NO. & DESC.	BY	DATE

**ISSUES**

ISSUED FOR	DATE

**CLIENT APPROVAL**

PHASE	SIGNATURE	DATE

PROJECT #  
23-001

PROJECT NAME  
**VISTA HOMES APARTMENTS**

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER  
VISTA HOMES, LP



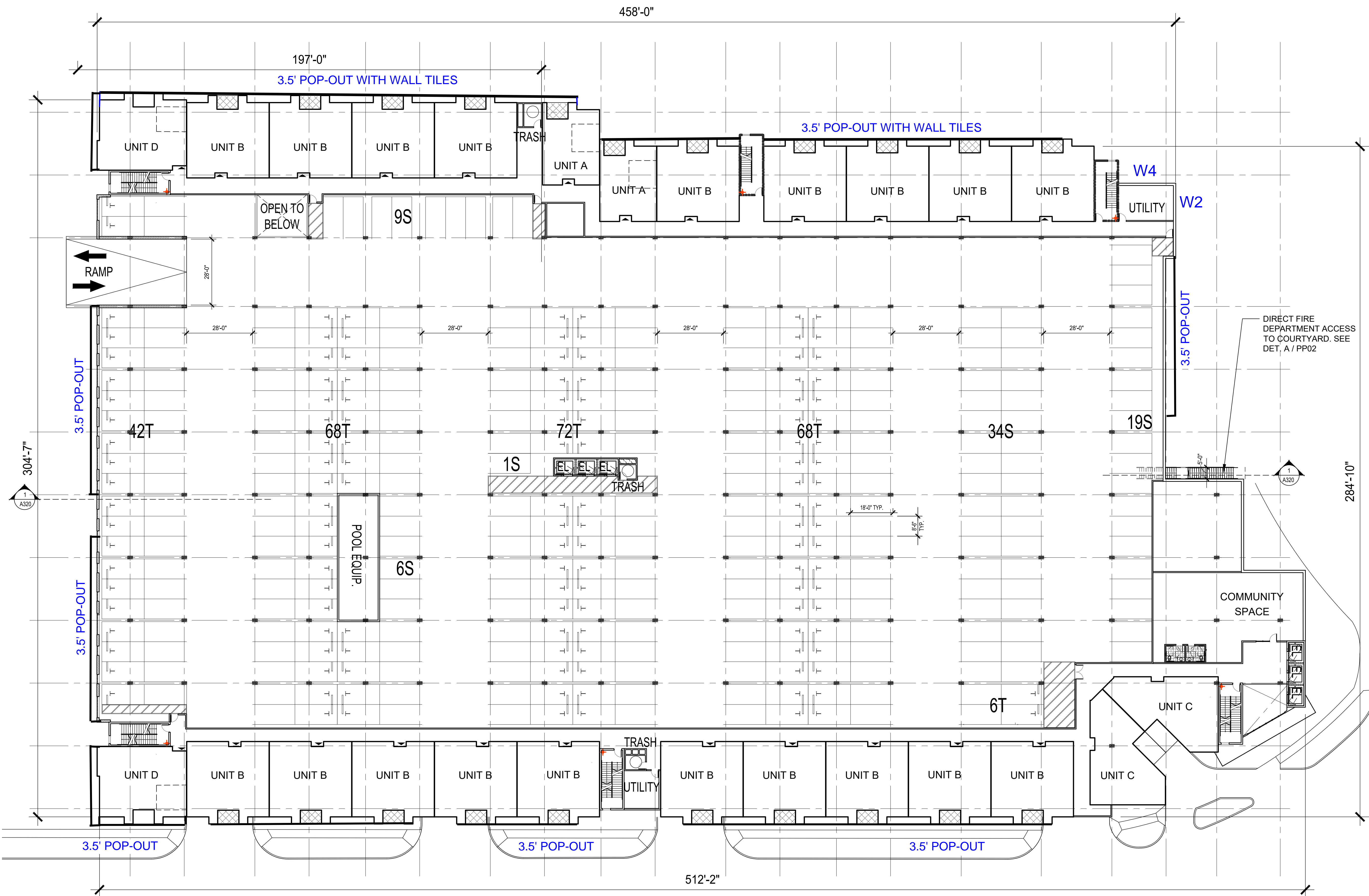
DATE  
November 27th, 2024

SHEET TITLE  
**1ST FLOOR PLAN**

SCALE

SHEET NUMBER  
**PP02**

DISCIPLINE  
**ARCHITECTURE**



W2: 2' X 4' WINDOW  
 W4: 4' X 4' WINDOW  
 (SEE NORTH ELEVATION)

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PROJECT #  
23-001

PROJECT NAME

VISTA HOMES APARTMENTS

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER  
VISTA HOMES, LP

KEYPLAN



DATE  
November 27th, 2024

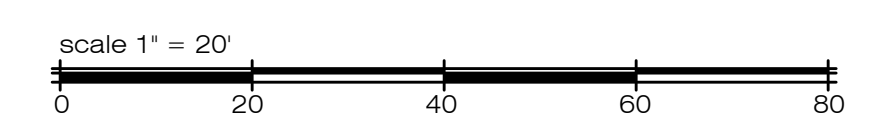
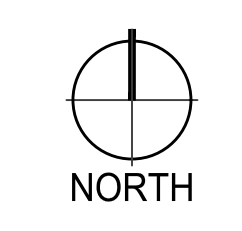
SHEET TITLE  
2ND FLOOR PLAN

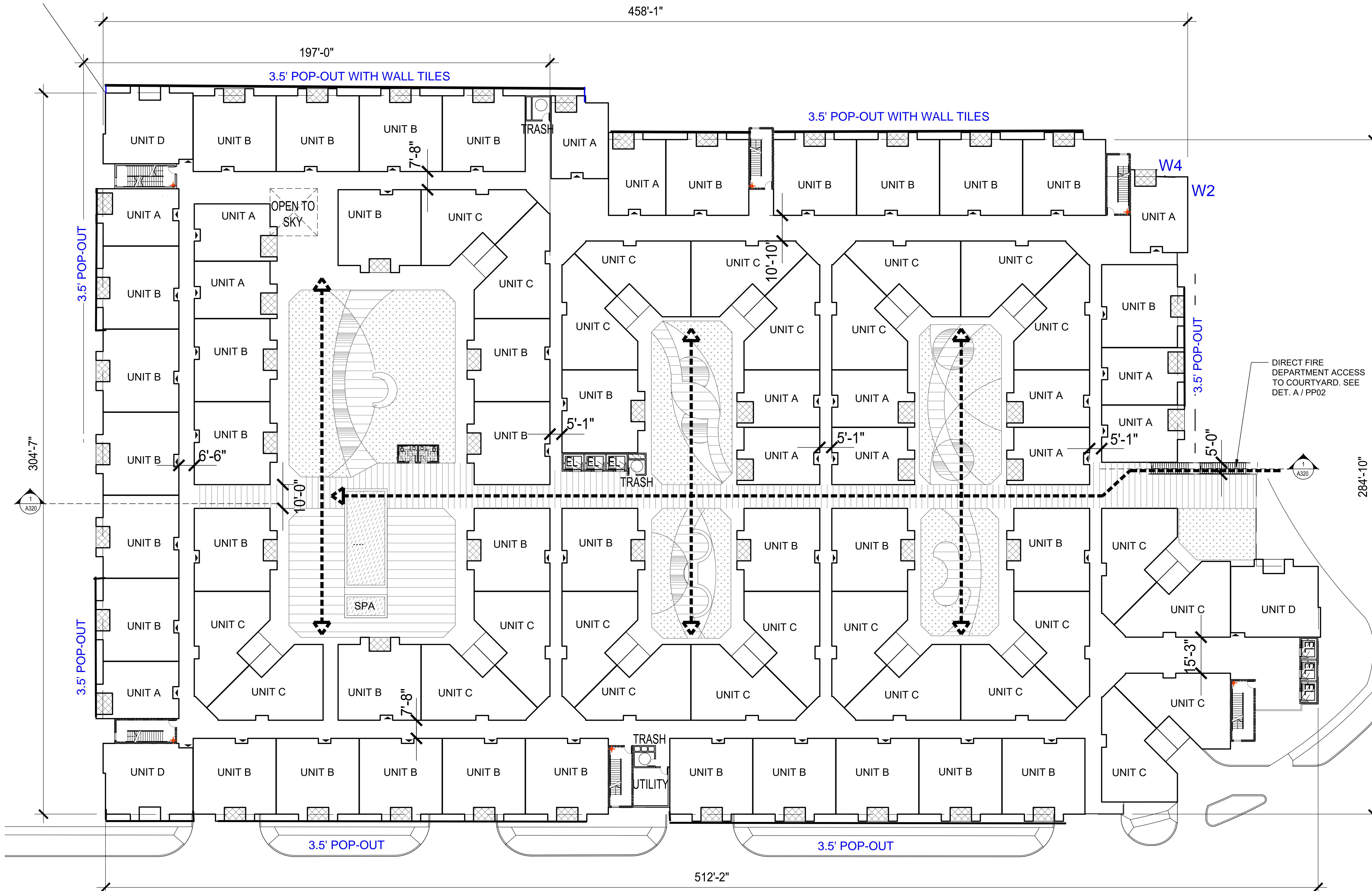
SCALE

SHEET NUMBER

PP03

DISCIPLINE  
ARCHITECTURE





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**CLIENT APPROVAL**

PHASE	SIGNATURE	DATE

**PROJECT #**

23-001

**PROJECT NAME**

**VISTA HOMES APARTMENTS**

**3610 TORRANCE BLVD**

TORRANCE, CA 90503

**OWNER**

VISTA HOMES, LP

**KEYPLAN**

**DATE**

November 27th, 2024

**SHEET TITLE**

3RD FLOOR PLAN

**SCALE**

**SHEET NUMBER**

PP04

**DISCIPLINE**

ARCHITECTURE

**DATE**

**SHEET TITLE**

**SCALE**

**SHEET NUMBER**

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**SHEET TITLE**

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**DATE**

**SHEET TITLE**

**SCALE**

**SHEET NUMBER**

**DISCIPLINE**

**DATE**









WEST ELEVATION  
SCALE: 1/16"=1'-0"

4



SOUTH ELEVATION  
SCALE: 1/16"=1'-0"

3



EAST ELEVATION  
SCALE: 1/16"=1'-0"

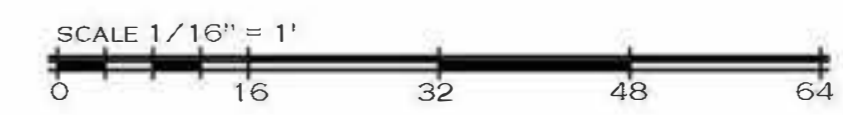
2

LOCATION	DESCRIPTION	VENDORS OR EQUAL
1	DEEP DARK GRAY	BENJAMIN MOORE KENDALL CHARCOAL (HC-166)
2	CRISP WHITE	BENJAMIN MOORE WHITE DOVE (OC-17)
3	LIGHT GREIGE	BENJAMIN MOORE REVERE PEWTER (HC-172)
4	RICH WARM, GOLDEN-TAN	HC-29 DUNMORE CREAM: WHILE CALLED A "CREAM"
5	RIBBED VERTICAL SIDING	DELTA RIB™ OR DELTA RIB III EXPOSED FASTENER PANEL



NORTH ELEVATION (TORRANCE BLVD)  
SCALE: 1/16"=1'-0"

1



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CARLOS OVALLE, ARCHITECT, LEED AP

REVISIONS

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ISSUES

ISSUED FOR	DATE

CLIENT APPROVAL

PHASE	SIGNATURE	DATE

PROJECT #  
23-001

PROJECT NAME

VISTA HOMES APARTMENTS

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER  
VISTA HOMES, LP

KEYPLAN



DATE  
March 16th, 2025

SHEET TITLE  
EXTERIOR ELEVATIONS

SCALE

SHEET NUMBER

PP08

DISCIPLINE  
ARCHITECTURE

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23-001

PROJECT NAME

VISTA HOMES APARTMENTS

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER

VISTA HOMES, LP

KEYPLAN



DATE

November 27th, 2024

SHEET TITLE

BUILDING SECTIONS

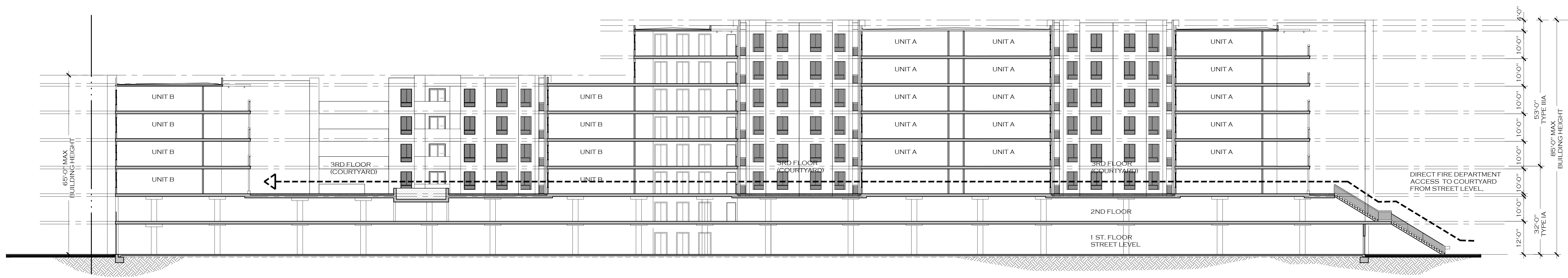
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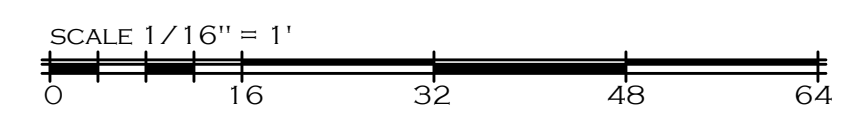
PP09

DISCIPLINE

ARCHITECTURE



BUILDING SECTION A-A ①  
SCALE: 1/16"=1'-0"





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PROJECT #  
23-001

PROJECT NAME  
**VISTA HOMES APARTMENTS**

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER  
VISTA HOMES, LP

KEYPLAN



DATE  
November 27th, 2024

SHEET TITLE  
PATH OF TRAVEL

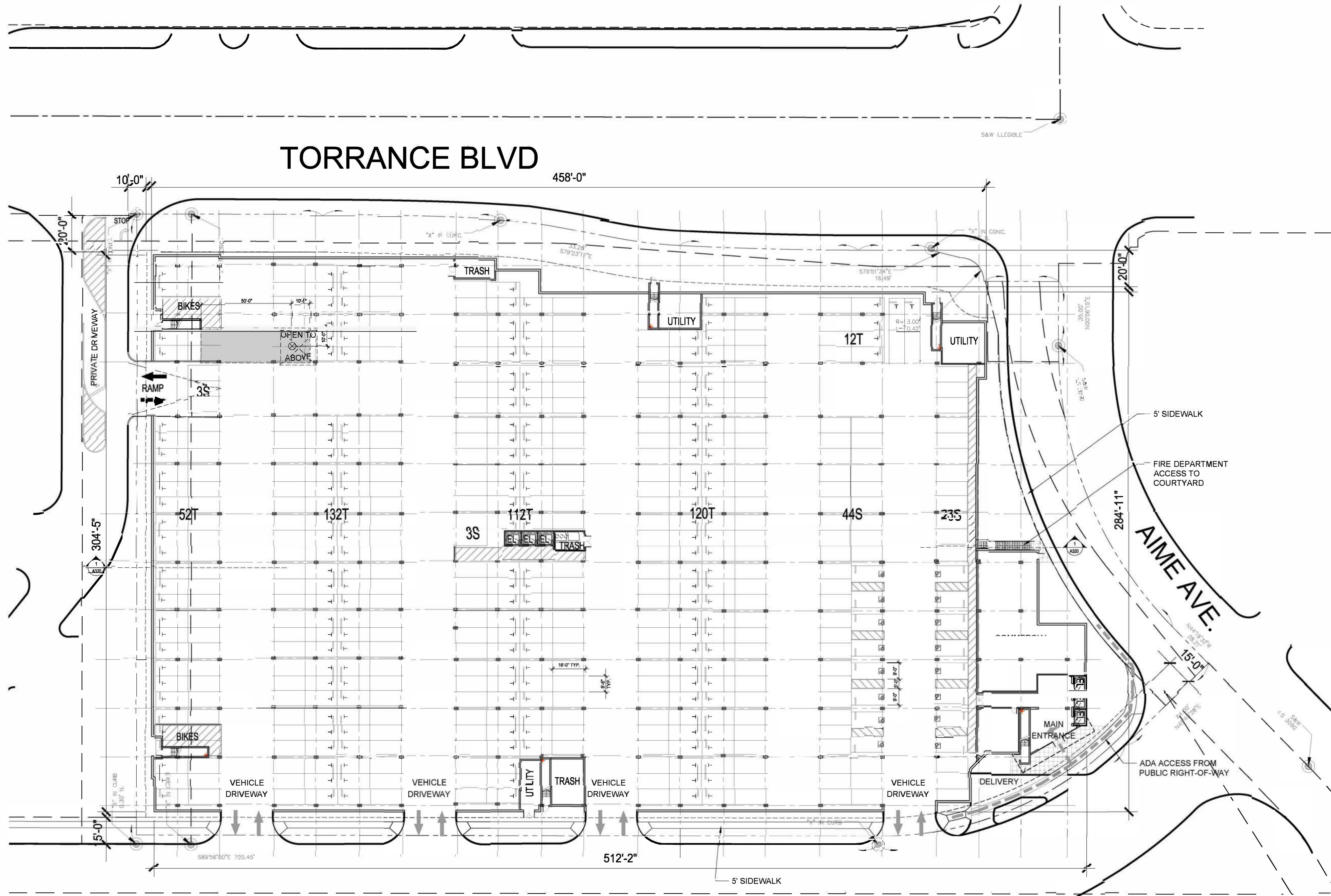
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SHEET NUMBER

**PP12**  
DISCIPLINE  
ARCHITECTURE

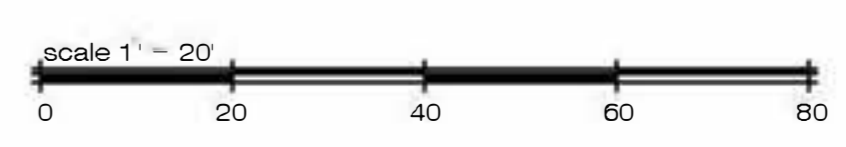
# TORRANCE BLVD

458'-0"



NOTES

- CMU BLOCK STYLE AND COLOR PALETTE TO BE REMINISCENT OF THE GANAHL STORE, TORRANCE






ISSUES

ISSUED FOR	DATE

CLIENT APPROVAL

PHASE	SIGNATURE	DATE

PROJECT #

23-001

PROJECT NAME

**VISTA HOMES APARTMENTS**

3610 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER

VISTA HOMES, LP

KEYPLAN

DATE

November 13th, 2024

SHEET TITLE

PRELIMINARY LANDSCAPE PLAN

SCALE

1" = 20'

SHEET NUMBER

PP 14

DISCIPLINE

LANDSCAPE ARCHITECTURE

- TORRANCE BLVD. FRONTAGE**
- 24" box olea europaea "majestic beauty" street trees in parkway planted 35' o.c.
  - planted / irrigated parkway - not to exceed 18" in height
  - protect existing trees - where possible
  - foundation planting

ENLARGED PRIVATE PATIOS - typ.

- SOCIAL TERRACE**
- outdoor kitchen
  - dining tables
  - shade trees
  - festival lights
  - lounge seating

- POOL DECK**
- lap pool
  - spa
  - chaise loungers
  - umbrellas
  - cabanas

LIMITS OF POOL VAULT BELOW

- BACKYARD**
- bbq counters
  - dining tables
  - accent tree

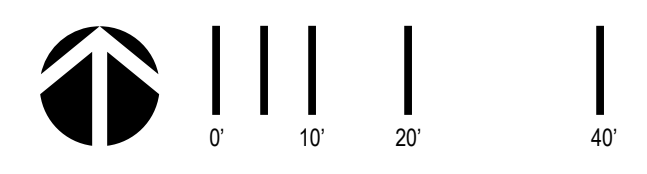
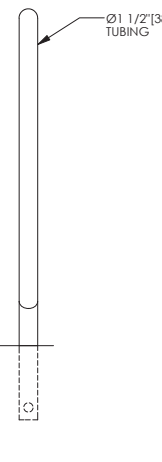
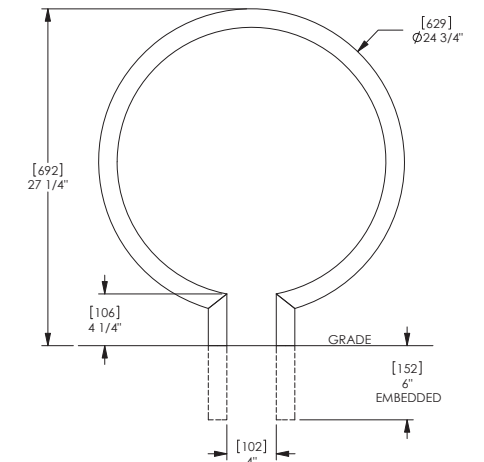
- GARDEN RETREAT**
- seating nodes
  - shade trees
  - landscape dividers

SHORT TERM BIKE PARKING

- "DINING ROOM"**
- bbq counter
  - shade pavilion with dining table
  - lounge area with media

- BARK PARK**
- synthetic turf
  - moveable furniture
  - lounge fence and gate

- GAME LOUNGE**
- turf carpet with table games
  - lounge seating
  - bbq counter
  - dining table







**AGENDA ITEM NO. 8C**

**DATE:** November 5, 2025  
**TO:** Planning Commission  
**FROM:** Lee Garcia, Planning Assistant  
**SUBJECT:** 2143 182<sup>nd</sup> Street  
Conditional Use Permit (CUP25-00016)

Consideration of a Conditional Use Permit (CUP25-00016) to allow the operation of a take-out restaurant on property located in the Solely Commercial District (C-3) Zone with a Precise Plan Overlay (PP) at 2143 182<sup>nd</sup> Street (APN 4096-009-066).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 2025-068 for approval of CUP25-00016 to allow the operation of a take-out restaurant on property located in the C3-PP Zone, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicant, Yuri Nagata (P.V. Family L.P.), requests approval by the Planning Commission to allow the operation of a take-out restaurant on property located in the C3-PP Zone.

The development standards of the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlements:

- Conditional Use Permit (CUP25-00016) to allow the operation of a take-out restaurant on property located in the C3-PP Zone.

Staff has reviewed the project and determined the project is consistent with the General Commercial (C-GEN) land use designation of the General Plan and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**General Plan Land Use Designation**

The subject property has a General Plan land use designation of C-GEN, which is intended to permit a wide range of commercial uses that serve both the local and regional community. Permitted uses include shopping centers, professional and medical offices, food and beverage establishments, entertainment facilities, financial institutions, automotive sales, and mixed-use developments. Solely commercial uses are limited to a 0.6 Floor Area Ratio (FAR), and mixed-use developments are limited to a 1.0 FAR. The project, as proposed, is consistent with the C-GEN land use designation.

**Zoning Designation and Adjacent Land Uses**

The project site is designated as C3-PP Zone. The adjacent parcels to the west, across Van Ness Avenue, are designated the Restricted Commercial District (C-R) Zone, and are developed as a small commercial center. The parcels to the north are designated the Single-Family Residential District (R-1) Zone and are developed as single-family homes. The parcel to the east is designated as C-3 Zone and is developed with a commercial building. The parcels to the south, across 182<sup>nd</sup> Street, are designated the Limited Multiple Family Residential District (R-3) Zone and are developed as apartment complexes.

NORTH:	R-1	Single Family Residential Homes
SOUTH:	R-3	Apartment Complexes
EAST:	C-3	Commercial Building
WEST:	C-R	Commercial Center

### **Project Site**

The subject property is located on the northeast corner of 182nd Street and Van Ness Avenue. It was developed in 1958 to allow a supermarket and expanded over time with additional tenant spaces and a separate office building on site. The commercial center provides a mixture of retail, restaurant, and office uses oriented towards 182nd Street. The subject tenant space has undergone various retail uses throughout the years and was most recently an ice cream shop. The property provides on-site parking and is accessed from two driveways along 182nd Street and a driveway along Van Ness Avenue. There are no outstanding natural features on the subject property.

### **Floor Plan**

The one-story building measures 27,700 square feet and is made up of 11 tenant spaces; two office spaces, seven retail spaces, one restaurant, and the empty tenant space. The take-out restaurant measures 582 square feet and will feature the existing kitchen, restroom, and sales area at the front of the space. No additional interior tenant improvement work is proposed at this time.

### **Business Operation**

The proposed take-out restaurant, Wakaba Crepe, will offer specialty Japanese style crepes to serve the community, and will employ a total of three staff members. The business will be open every day from 11:00 a.m. to 9:00 p.m., as identified in the Project Narrative (Attachment 4). There is no seating area proposed indoors nor along the exterior. No live entertainment or amplified music, and no on-site nor off-site sale of alcohol is proposed for this project.

### **Parking**

Per the TMC, restaurants are required to provide one parking space for every 100 square feet of floor area. The proposed take-out restaurant requires 6 parking spaces. Based on the parking tenant roster provided for the shopping center, a total of 168 parking spaces are required across the site, with 190 spaces provided. Therefore, sufficient parking is provided, and no additional parking is required.

Staff conducted a site visit and observed the building, lot striping, and landscaping are generally well maintained.

### **Environmental Determination**

The operation, repair, maintenance, permitting, leasing, licensing, or minor interior alterations to existing facilities, and changes in use are Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

### **CONCLUSION**

In the judgment of staff, the proposed operation of a take-out restaurant is compatible with the commercial center and surrounding area. The request is consistent with the C-GEN land use designation, which is intended to permit a wide range of commercial uses that serve both the local and regional community, including restaurant uses. The request also complies with the development standards of the C-3 Zone. For these reasons, staff recommends approval of the CUP25-00016 request subject to conditions.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al., that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 23, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with TMC Section 95.1.7, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the adoption of the Resolution. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at CityClerk@TorranceCA.Gov.

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance, CA 90503, during normal business hours open 8:00 a.m. to 5:00 p.m., Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution No. 2025-068
2. Location and Zoning Map
3. Code Requirements
4. Project Narrative
5. Project Plans

## **STAFF CONTACT**

Lee Garcia, Planning Assistant  
BGarcia@TorranceCA.gov

**ITEM 8C**  
**ATTACHMENT 1**

RESOLUTION NO. 2025-068

**PLANNING COMMISSION RESOLUTION NO. 2025-068**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 1 OF THE TORRANCE MUNICIPAL CODE TO ALLOW THE OPERATION OF A TAKE-OUT RESTAURANT ON PROPERTY LOCATED IN THE SOLELY COMMERCIAL DISTRICT, PRECISE PLAN OVERLAY AT 2143 182<sup>ND</sup> STREET.

**CUP25-00016: YURI NAGATA (P.V. FAMILY L.P.)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on November 5, 2025, to consider an application for a Conditional Use Permit (CUP25-00016) filed by Yuri Nagata (P.V. Family L.P.) allow the operation of a take-out restaurant on property located in the Solely Commercial District (C-3) Zone, Precise Plan Overlay (PP) at 2143 182<sup>nd</sup> Street; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 1 of the Torrance Municipal Code (TMC); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property under consideration is located at 2143 182<sup>nd</sup> Street (APN 4096-009-066);
- b) That the property is described as “\*TR=PARCEL MAP AS PER BK 66 PG 39 OF P M LOT 1” per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) The operation, repair, maintenance, permitting, leasing, licensing, or minor interior alterations to existing facilities, and changes in use are Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed operation of a take-out restaurant is conditionally permitted within the C-3-PP Zone and complies with the provisions of the TMC;
- e) That the proposed operation of a take-out restaurant, as conditioned, will not impair the integrity and character of the C-3-PP Zone because restaurants are conditionally permitted and the proposed use is compatible with the surrounding uses;
- f) That the subject site is physically suitable for the proposed operation of a take-out restaurant, as conditioned, because the tenant space is situated within a commercial center and is already served by all necessary utilities and public services, and no net increase in parking is required;
- g) That the proposed operation of a take-out restaurant, as conditioned, will be compatible with existing and proposed future land uses within the C-3-PP Zone and the general area in which the restaurant is located is compatible with the other uses within the Zone;
- h) That the proposed operation of a take-out restaurant, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the proposed use is located within the General Commercial (C-GEN) land use designation of the General Plan, which is intended to permit a wide range of commercial uses that serve both the local and regional community including commercial centers and restaurant uses;
- i) That the proposed operation of a take-out restaurant, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property and tenancies because the

proposed use furthers the goals of the General Plan, complies with all applicable development standards, and is compatible with current development trends in the surrounding vicinity;

- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed operation of a take-out restaurant, as conditioned, is not detrimental to public health and safety;
- k) That there will be adequate provisions for public access to serve the proposed operation of a take-out restaurant as conditioned, because the project shall maintain all existing pedestrian walkways and vehicular access along 182<sup>nd</sup> Street and Van Ness Avenue;
- l) That the location, size, design, and operating characteristics of the proposed operation of a take-out restaurant, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the C-3-PP Zone and is consistent with the C-GEN land use designation. In addition, there are no schools, hospitals, or public playgrounds located near to the restaurant building; and
- m) The proposed project will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust or vibration,
  - Hazard from explosion, contamination or fire,
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

**WHEREAS**, the Planning Commission by the following roll call votes **APPROVED** CUP25-00016, subject to conditions:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS
ABSENT:	COMMISSIONERS:
RECUSED:	COMMISSIONERS:

**NOW, THEREFORE, BE IT RESOLVED** that CUP25-00016, filed by Yuri Nagata (P.V. Family L.P.) to allow the operation of a take-out restaurant on property located in the C-3-PP Zone at 2143 182<sup>nd</sup> Street; and, on file in the Community Development of the City of Torrance, is hereby **APPROVED** subject to the following conditions:

1. That use of the subject property to allow the operation of a take-out restaurant shall be subject to all conditions imposed in CUP25-00016; and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established or constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;

2. That if CUP25-00016 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC;
3. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this CUP25-00016 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)
4. That a copy of Planning Commission Resolution No. 2025-068, with all conditions of approval, shall appear on the building plans associated with the tenant improvements to facilitate coordination and effective implementation of the conditions of approval; (Planning)
5. That all persons associated with the operation shall be required to park onsite, including customers, clients, employees, deliveries, etc.; (Planning)
6. That all open space and landscape areas shall be maintained, repaired, and kept free of trash, litter, debris, graffiti and vandalism; (Planning)
7. That no vending machines, publication racks, telephones, kiosks, donation bins and similar items shall be permitted outside of the building; (Planning)
8. That no exterior security bars and roll-up doors applied to windows and building entrances shall be permitted outside of the building; (Planning)
9. There shall be no sale of alcohol for on-site or off-site consumption, unless a separate Conditional Use Permit has been granted; (Planning)
10. That within 30 days of the public hearing the applicant shall return the "Public Notice" sign and stake to the Community Development Department; (Planning)
11. That the business name and address shall be visible from the street, and that business hours shall be visible at or near entrance; (Police)
12. That there shall be non-glare security lighting for parking lot; (Police)
13. That the applicant shall paint 4-foot-tall address numerals on rooftop for aerial identification; (Police);
14. That the applicant shall install surveillance cameras to monitor building entries/exits, cash handling areas, and parking lot. Security cameras shall be maintained in proper working order at all times and recording shall be made available to Police upon request. Surveillance footage shall be stored for no less than 30 days; (Police)

15. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; and (Environmental)
16. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of November 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairman, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

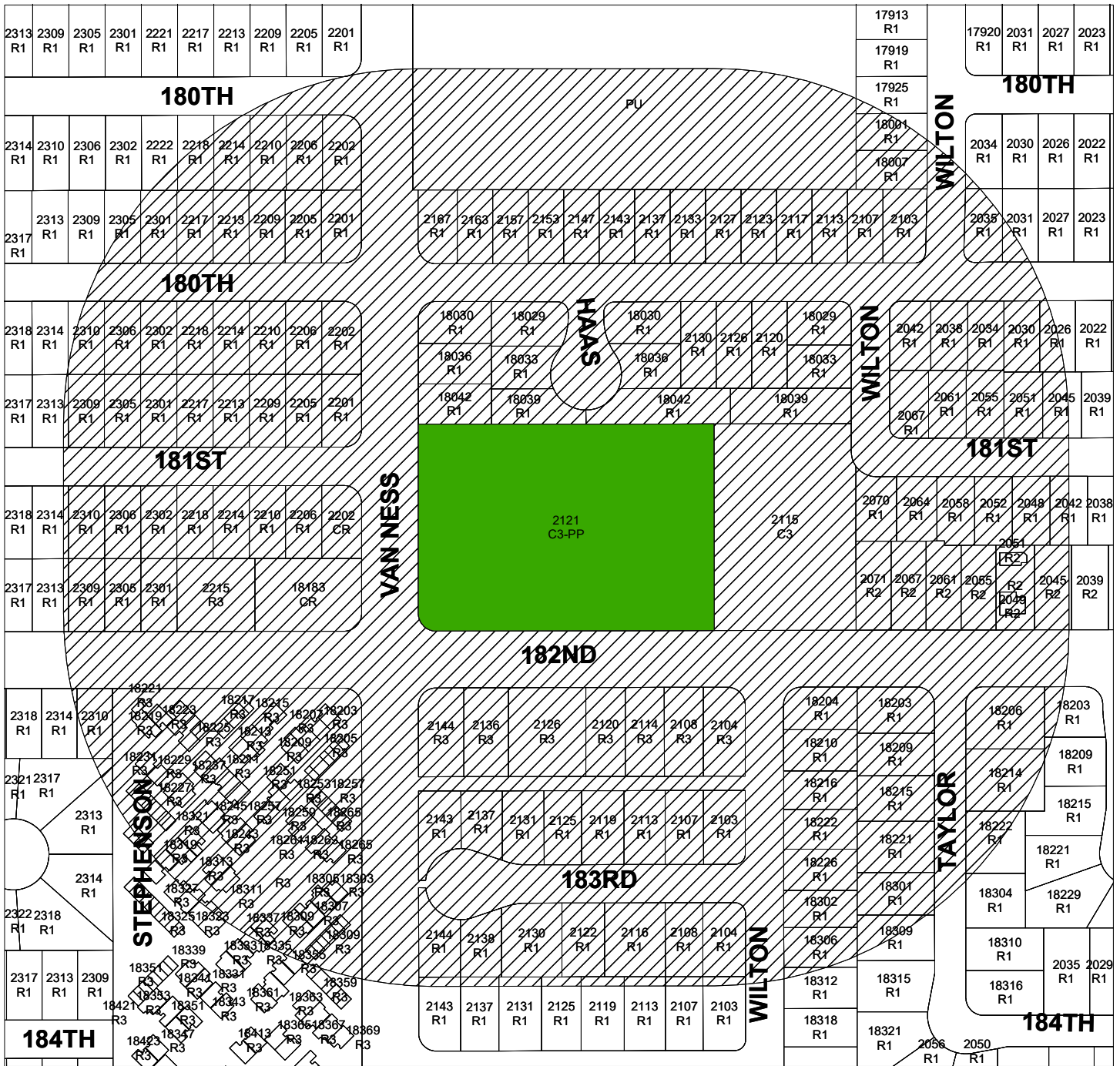
RECUSED: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**ITEM 8C**  
**ATTACHMENT 2**

**LOCATION AND ZONING MAP**



# LOCATION AND ZONING MAP

CUP25-00016  
2143 182ND STREET



## LEGEND

-  Notification Area
-  2143 182nd Street



**ITEM 8C**  
ATTACHMENT 3  
CODE REQUIREMENTS

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code requirements. They are provided for information purposes only.

### **BUILDING AND SAFETY**

1. Comply with 2022 California Codes and Torrance Ordinances.

### **ENVIRONMENTAL**

1. No freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary/portable signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary/portable signage that violates Torrance Municipal Code (TMC) requirements for prohibited signs (TMC 911.6.100). Permits for banners must be obtained before use. Directional signs and parking signage are allowable. (TMC 911.7.010)
2. Lot sweeping, deliveries and trash pick-up are prohibited between 10:00 p.m. and 7:00 a.m. per TMC 92.30.4.
3. Direct lighting away from residential land uses per TMC 92.30.5.
4. Screen all roof equipment from public view per TMC 92.30.2.

**ITEM 8C**  
**ATTACHMENT 4**  
**PROJECT NARRATIVE**

# Wakaba Crepe

Step into a sweet and savory world at our cozy Japanese crepe restaurant, Wakaba crepe where tradition meets innovation. Inspired by the bustling crepe stands of Harajuku and Asakusa Tokyo, our menu features freshly made crepes with a delicate, paper-thin texture and endless filling combinations.

## Signature Macha crepes

A delicate and vibrant twist on a Japanese favorite, this Gluten-free matcha crepe is made with finely milled rice flour for a light, slightly chewy texture that's naturally gluten-free. Infused with premium Japanese matcha, the crepe boasts an earthy, subtly sweet flavor and a beautiful green hue.

Served warm or chilled, it's perfect on its own or filled with whipped cream and seasonal fresh fruits. Perfect for takeout, our Japanese crepes are a fun, flavorful twist on a beloved street food tradition.

## Business hours

Everyday 11AM to 9PM

**Number of Employees: 3**

# Wakaba Crepe

## MENU

### OUR SIGNATURE CREPES

MATCHA Creme brulee crepe  
MATCHA Yuzu crepe  
MATCHA Strawberry cream cheese crepe  
HAWAIIAN mango coconuts crepe  
Deluxe chocolate crepe

### OUR ORIGINAL CREPES

Chocolate Cream crepe  
Chocolate Banana cream crepe  
Chocolate Banana Almonds cream crepe  
Chocolate Banana Strawberry cream crepe  
Strawberry cream crepe  
Strawberry Banana cream crepe  
Strawberry Almonds cream crepe  
Chocolate Banana Ice cream crepe  
Chocolate strawberry Ice cream crepe  
Chocolate mango cream crepe  
Chocolate mango Almonds cream crepe  
Chocolate mango Strawberry cream crepe

Create your own crepes!

1. CHOOSE the crepe base (Matcha or Plain)
2. CHOOSE whip cream (Matcha, Chocolate, Plain)
3. CHOOSE your favorite fruits and topping (Banana, Strawberry, Almonds, Chocolate chips, coconut, corn flakes, mochi, Pudding, Ice cream)
4. CHOOSE additional topping (Matcha powder, Chocolate sauce, Caramel Sauce, Strawberry sauce, honey)

**ITEM 8C**  
**ATTACHMENT 5**  
**PROJECT PLANS**

**PARKING COMPUTATION**

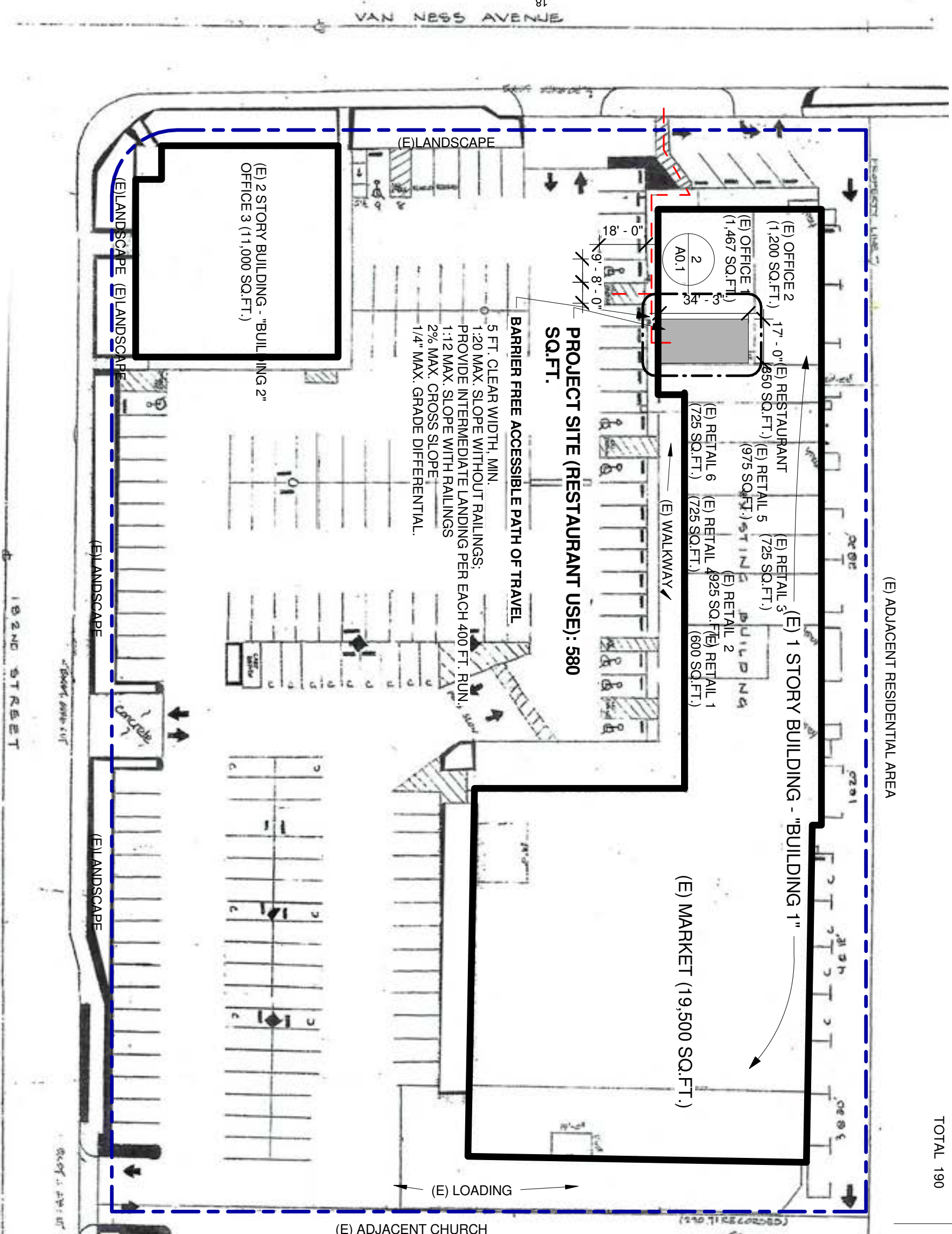
ACCESSIBLE PARKING	8
COMPACT STALLS (7'-6" WIDE)	15
STANDARD STALLS	154
PARALLEL STALLS (20' X 8')	6
PARALLEL STALLS (18' X 8')	4
PARALLEL STALLS (20'-6" X 8')	3
<b>TOTAL</b>	<b>190</b>

USE	FORMULA	REQUIRED	PROVIDED
(E) MARKET	(1/250 SQ.FT.)	78	80
(E) RETAIL 1	(1/250 SQ.FT.)	3	4
(E) RETAIL 2	(1/250 SQ.FT.)	4	5
(E) RETAIL 3	(1/250 SQ.FT.)	3	4
(E) RETAIL 4	(1/250 SQ.FT.)	3	4
(E) RETAIL 5	(1/250 SQ.FT.)	4	5
(E) RETAIL 6	(1/250 SQ.FT.)	3	4
(E) RESTAURANT (1/100 SQ.FT.)	(1/100 SQ.FT.)	9	10
<b>(E) RESTAURANT (1/100 SQ.FT.)</b> (PROJECT SITE)		<b>6</b>	<b>7</b>
(E)OFFICE 1	(1/250 SQ.FT.)	5	6
(E)OFFICE 2	(1/250 SQ.FT.)	6	7
(E)OFFICE 3	(1/250 SQ.FT.)	44	54
		168	190

**PROJECT SITE (RESTAURANT USE): 580 SQ.FT.**

**BARRIER FREE ACCESSIBLE PATH OF TRAVEL**

5 FT. CLEAR WIDTH, MIN.  
1:20 MAX. SLOPE WITHOUT RAILINGS;  
PROVIDE INTERMEDIATE LANDING PER EACH 400 FT. RUN,  
1:12 MAX. SLOPE WITH RAILINGS  
2% MAX. CROSS SLOPE  
1/4" MAX. GRADE DIFFERENTIAL.



**PARCEL INFORMATION**

Active Building Permit More info  
Permit Records More info  
Parcel Number 4096-009-066  
Site Address 2121 182ND ST  
Unit No.  
Zip Code 90504  
Zoning C3-PP  
Zoning Overlay  
General Plan Designation C-GEN  
LA County Land use Code 1600  
Number of Unit 0  
Year Built 1958  
Legal Description \*TR=PARCEL MAP AS PER BK 66 PG 39 OF

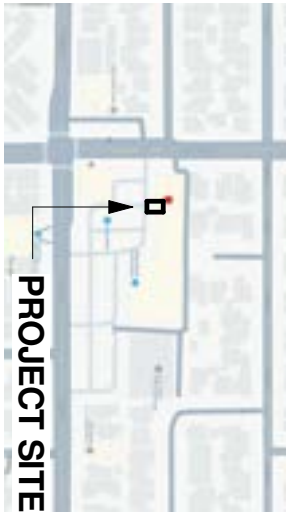
AREA OF SITE : 120,850 SQ.FT. (2.77 ACRE)

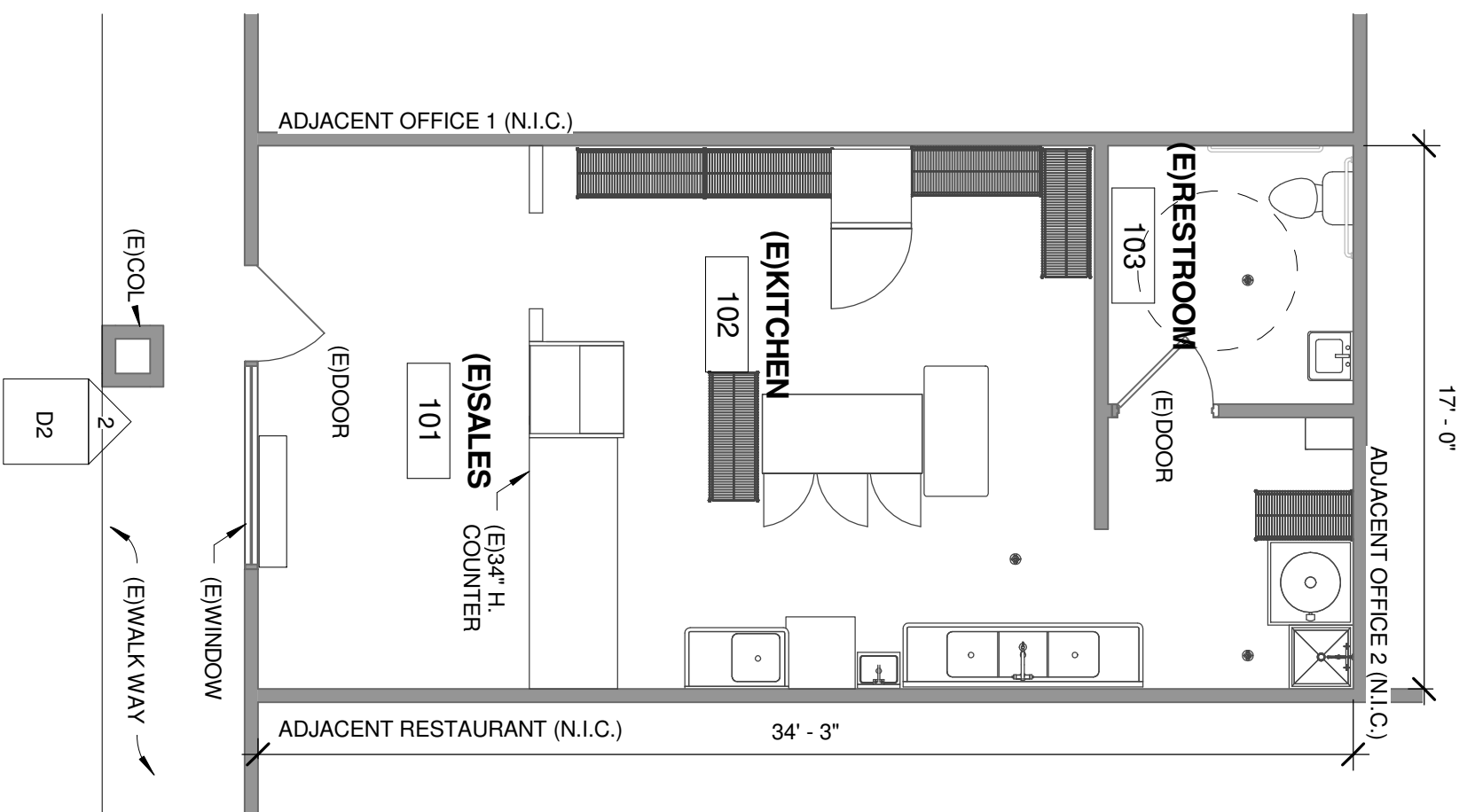
**BUILDING INFORMATION**

BUILDING 1 ( 1 STORY BUILDING)  
AREA : 27,700 SQ.FT. +/-  
OCCUPANCY B  
TYPE OF CONST VB  
BLDG HEIGHT 18'-0" +/-

BUILDING 2 ( 2 STORY BUILDING)  
AREA : 11,000 SQ.FT. +/-  
OCCUPANCY B  
TYPE OF CONST VB  
BLDG HEIGHT 35'-0" +/-

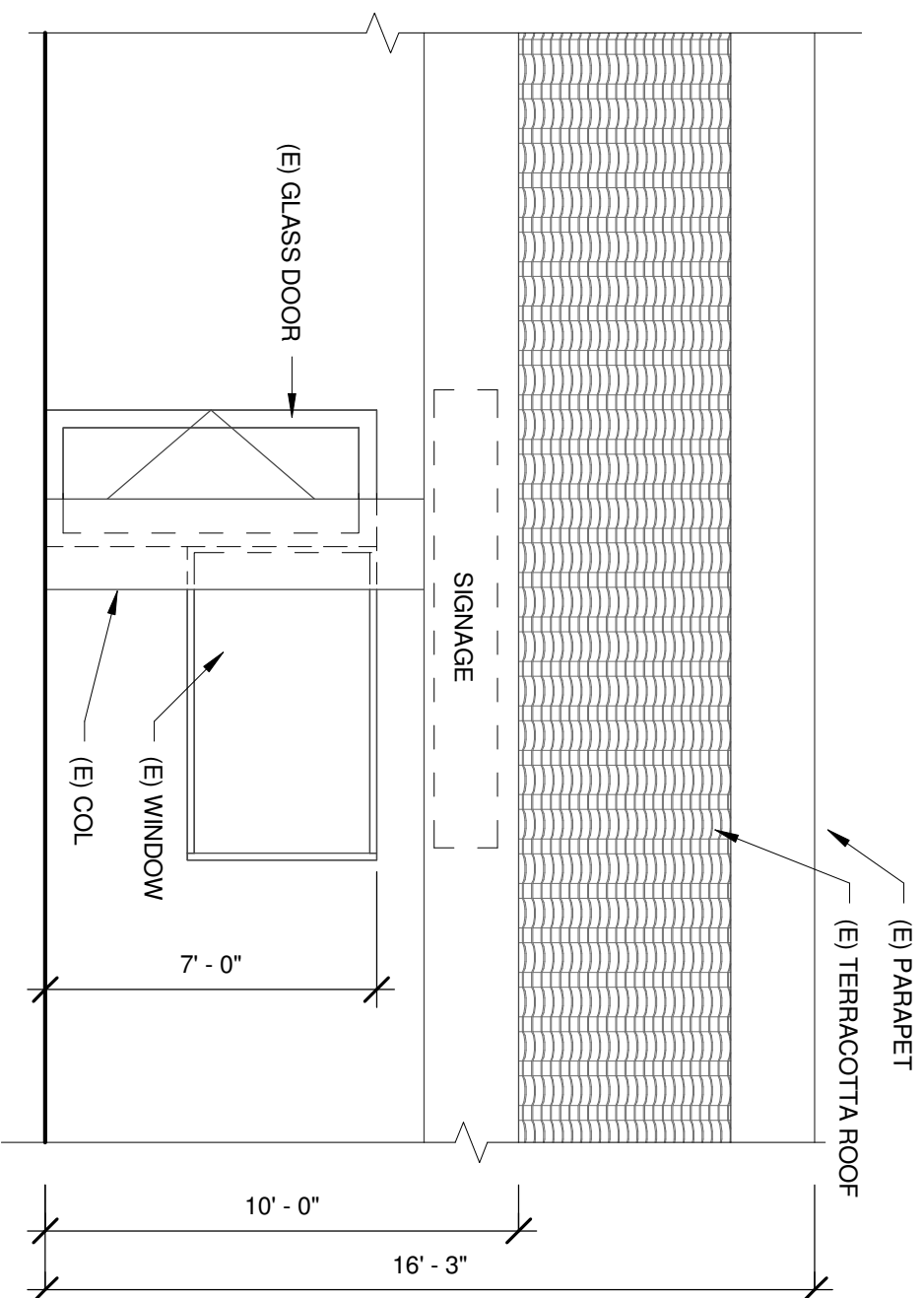
**VICINITY MAP**





**1 FLOOR PLAN**

3/16" = 1'-0"



**2 ELEVATION -EXT.**

1/4" = 1'-0"

**AGENDA ITEM NO. 8D**

**DATE:** November 5, 2025  
**TO:** Planning Commission  
**FROM:** Natalie Niemeyer, Planning Associate  
**SUBJECT:** 3700 Torrance Boulevard  
Conditional Use Permit (CUP25-00018)

Request for approval of a Conditional Use Permit (CUP25-00018) to allow an indoor recreation center on property located in the Hawthorne Boulevard Corridor Specific Plan Del Amo Business Sub-District One (H-DA1) Zone at 3700 Torrance Boulevard (APN 7366-019-100).

**RECOMMENDATION**

Recommendation of the Community Development Director that Planning Commission conduct a public hearing and consider adoption of Resolution No. 2025-069 for approval of CUP25-00018 to allow an indoor recreation center on property located in the H-DA1 Zone, and determine a Categorical Exemption for the project in accordance with Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities).

**EXECUTIVE SUMMARY**

The project applicant, Armando Mares (Vista Apartments LP) requests approval by the Planning Commission to allow an indoor recreation center on property located in the H-DA1 Zone.

The development standards of the H-DA1 Zone and the Torrance Municipal Code (TMC) are applicable to the project, and therefore require discretionary review and approval of the following entitlement:

- Conditional Use Permit to allow an indoor recreation center in the H-DA1 Zone.

Staff has thoroughly reviewed the project and determined the project is consistent with the Commercial Center (C-CTR) land use designation of the General Plan and complies with the objective development standards of the TMC and does not require further environmental review. The balance of this report provides an overview of the project.

**DISCUSSION**

**General Plan Land Use Designation**

The project site has a General Plan land use designation of C-CTR. This designation is characterized by commercial centers, and residential and mixed-use development. The proposed indoor recreation center is consistent with the C-CTR land use designation.

**Zoning Designation and Adjacent Land Uses**

The project site is designated as H-DA1 Zone and is bounded by several parcels that share the same zoning designation of H-DA1 Zone. South of the parcel are professional and medical offices. To the west and east of the site are several commercial buildings, and north of the property, on the opposite side of Torrance Boulevard, there are additional commercial buildings including a hotel and a commercial center.

NORTH: H-DA2 Commercial Center and Hotel  
SOUTH: H-DA1 Professional and Medical Offices  
EAST: H-DA1 Commercial Buildings  
WEST: H-DA1 Commercial Building

**Project Site**

The subject site measures 145,533 square feet in size and is located near the southeast corner of Torrance Boulevard and Hawthorne Boulevard. The existing commercial building was originally developed in 1994 via CUP93-0040, Modification (MOD93-29) (CUP86-15), and Division of Lot (DIV93-0011). A Minor Modification (MDP12-00005) was approved in 2012 allowing a 760 square foot addition, resulting in a 36,779 square foot commercial building as well as exterior renovations including the removal of a patio, window and door changes, and additional façade enhancements. The proposed indoor recreation center will be located within the existing commercial building with no proposed changes to the exterior. Staff notes any proposed signage will require a separate sign permit.

Staff conducted a site visit of the property and noted opportunities for improvement. Planters throughout the site were bare and could benefit from additional vegetation and groundcover. Staff has added a condition of approval to address this concern.

**Floor Plan**

The proposed floor plan for the indoor recreation center features 22 golf simulation bays, a warm-up area, putting area, chipping area, storage area, reception area and bathrooms. The golf simulation bays will be centrally located within the building with the other areas along the edges of the building.

**Parking**

The site provides a total of 160 parking spaces on site. Staff notes that the TMC allows flexibility for indoor recreation centers with approval by Planning Commission based on the type of facility, intended occupancy, or number of spectator seats. Staff has worked with the applicant to provide a blended parking ratio, as previous indoor recreation facilities have utilized. Golf Bays are parked at a rate of four parking spaces per bay. Storage area is parked at a rate of one space per 1,500 square feet and the office/retail and service use rate of one space per 250 square feet will be utilized for the lobby area and common areas which includes the warm-up, putting, and chipping area. A total of 139 spaces are required based on the blended ratio and a total of 160 spaces are provided.

Staff notes that the blended ratio considers potential growth for the business as the current proposal is for one individual to utilize a bay at a time, without spectators. The ratio of four parking spaces per bay ensures that in the event the applicant wishes to provide group reservations, parking will not be impacted.

**Business Operation**

The proposed indoor recreation center, LA Driving Range, will feature 22 golf simulation bays along with dedicated warm-up, chipping, and putting areas. As identified in the Project Narrative (Attachment 4), the proposed golf simulation bays combine advanced technology with a climate-controlled environment for golf enthusiasts to enjoy year-round. The simulation bays utilize 3D tracking radar and synchronized image processing to provide a precise shot analysis that includes club speed, ball flight, launch angle, spin rate, smash factor, and shot dispersion.

The proposed hours of operation are 9:00 am to 9:00 pm, daily. One to two employees will be onsite during operating hours. Customers can utilize an online reservation system, or walk-ins will be welcomed based on availability. Food and beverages will not be sold on site, and the bays are designed for individual practice only, however, staff notes that the parking at the site has been calculated to accommodate spectators or multiple players at each bay to allow for future flexibility and business needs.

**Environmental Determination**

The operation of the indoor recreation center is Categorically Exempt by the Guidelines for Implementation of the CEQA; Article 19, Section 15301 (Existing Facilities).

## **CONCLUSION**

In the judgment of staff, the proposed indoor recreation center, as conditioned, is compatible with the surrounding uses because the site is surrounded by urban uses including hotels, retail, service uses and medical and professional offices and the use will provide additional amenities to the community. The proposed use, as conditioned is compliant with the H-DA1 Zone as well as the C-CTR General Plan land use designation. Therefore, staff recommends approval of the subject request, as conditioned.

As of the preparation of this report, no written correspondence has been received pertaining to the project.

## **FINDINGS OF FACT AND CONDITIONS OF APPROVAL**

Staff has prepared draft findings and conditions of approval for consideration by the Planning Commission that are listed in the attached Resolution (Attachment 1).

## **CODE REQUIREMENTS**

Staff has prepared a partial list of requirements from the TMC, California Building Code (CBC), California Fire Code (CFC), et al. that are pertinent to the project (Attachment 3). Not all requirements are provided, and the applicant is strongly advised to contact each individual Department/Division for more information. The requirements are not subject to modification, and the Planning Commission cannot waive or alter the requirements.

## **PUBLIC NOTICE**

In accordance with the TMC, notices of the public hearing were made no less than 10 calendar days before the Planning Commission meeting. Notices were also posted at the project site and were mailed on October 23, 2025, to the registered owner of properties located within a 500' radius of the exterior boundaries of the project site. Notices were also published in the local newspaper (The Daily Breeze) and posted on the City of Torrance webpage.

## **RIGHT OF APPEAL**

In accordance with TMC Section 95.4.2, decisions made by the Planning Commission may be appealed to the City Council within 15 calendar days of the decision of the Planning Commission. For more information, please contact the City Clerk's Office by telephone at (310) 618-2870 or email at [CityClerk@TorranceCA.Gov](mailto:CityClerk@TorranceCA.Gov).

## **PROJECT PLANS**

The project plans and all related documents are readily available for public review at the Permit Center (Planning Counter) located at City Hall, 3031 Torrance Boulevard, Torrance CA 90503, during normal business hours open 8:00 am to 5:00 pm, Monday through Thursday, open alternate Fridays. Appointments are available by contacting the Planning Division at (310) 618-5990.

## **ATTACHMENTS**

1. Resolution No. 2025-069
2. Location and Zoning Map
3. Code Requirements
4. Business Narrative
5. Project Plans

## **STAFF CONTACT**

Natalie Niemeyer, Planning Associate  
[NNiemeyer@TorranceCA.gov](mailto:NNiemeyer@TorranceCA.gov)

**ITEM 8D**  
**ATTACHMENT 1**

RESOLUTION NO. 2025-069

**PLANNING COMMISSION RESOLUTION NO. 2025-069**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF TORRANCE, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT AS PROVIDED FOR IN DIVISION 9, CHAPTER 5, ARTICLE 3 OF THE TORRANCE MUNICIPAL CODE TO ALLOW AN INDOOR RECREATION CENTER ON PROPERTY LOCATED IN THE HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN DEL AMO BUSINESS SUB-DISTRICT ONE (H-DA1) ZONE AT 3700 TORRANCE BOULEVARD.

**CUP25-00018: ARMANDO MARES (VISTA APARTMENTS LP)**

**WHEREAS**, the Planning Commission of the City of Torrance conducted a public hearing on November 5, 2025, to consider an application for a Conditional Use Permit (CUP25-00018) filed by Armando Mares (Vista Apartments LP) to allow an indoor recreation center on property located in the Hawthorne Boulevard Corridor Specific Plan Del Amo Business Sub-District One (H-DA1) Zone at 3700 Torrance Boulevard; and

**WHEREAS**, due and legal publication of notice was given to owners of property in the vicinity thereof and due and legal hearings have been held, all in accordance with the provisions of Division 9, Chapter 5, Article 3 of the Torrance Municipal Code (TMC); and

**WHEREAS**, the Planning Commission of the City of Torrance does hereby find and determine as follows:

- a) That the property is located at 3700 Torrance Boulevard (APN 7366-019-100);
- b) That the property is described as P M 234-79-81 LOT 1 as per map recorded in the Office of the Los Angeles County Recorder, State of California;
- c) That the construction of the indoor recreation center is Categorically Exempt by the Guidelines for Implementation of the California Environmental Quality Act (CEQA); Article 19, Section 15301 (Existing Facilities);
- d) That the proposed indoor recreation center is conditionally permitted within the H-DA1 Zone and complies with the provisions of the TMC;
- e) That the proposed use, as conditioned, will not impair the integrity and character of the H-DA1 Zone because the proposed use is conditionally permitted and is compatible with the surrounding uses in the zone and area;
- f) That the subject site is physically suitable for the proposed use, as conditioned, because the indoor recreation center will occupy an existing commercial building and sufficient parking is provided onsite;
- g) That the proposed use, as conditioned, will be compatible with existing and proposed future land uses within the H-DA1 Zone and the general area in which the indoor recreation center is located because the site is surrounded by urban uses and will provide additional amenities for the community;
- h) That the proposed use, as conditioned, will encourage and be consistent with the orderly development of the City as provided for in the General Plan Commercial Center (C-CTR) land use designation because the use of an indoor recreation center is conditionally permitted in the zone is consistent with the General Plan;
- i) That the proposed use, as conditioned, will not discourage the appropriate existing or planned future use of surrounding property because the proposed use furthers the goals of the General Plan and complies will all applicable development standards;
- j) That there will be adequate provisions for water, sanitation, and public utilities and services to ensure the proposed use, as conditioned, is not detrimental to public health and safety;

- k) That there will be adequate provisions for public access to serve the proposed use, as conditioned, because vehicular and pedestrian access are provided primarily along Torrance Boulevard as well as Madison Street and Marriott Lane;
- l) That the location, size, design, and operating characteristics of the proposed use, as conditioned, will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the proposed use has been thoroughly reviewed and found to be in compliance with the development standards of the H-DA1 Zone and is consistent with the C-CTR land use designation;
- m) The proposed use, as conditioned, will not produce any or all of the following results:
  - Damage or nuisance from noise, smoke, odor, dust, or vibration;
  - Hazard from explosion, contamination, or fire;
  - Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles; and

**WHEREAS**, the Planning Commission by the following roll call votes APPROVED CUP25-00018, subject to conditions:

AYES: COMMISSIONER:  
 NOES: COMMISSIONER:  
 ABSENT: COMMISSIONER:  
 ABSTAIN: COMMISSIONER:

**NOW, THEREFORE, BE IT RESOLVED** that CUP25-00018 filed by Armando Mares (Vista Apartments LP) to allow an indoor recreation center on property located in the H-DA1 Zone at 3700 Torrance Boulevard, on file in the Community Development Department of the City of Torrance, is hereby APPROVED subject to the following conditions:

1. That use of the subject property shall be subject to all conditions imposed in CUP 25-00018 and any amendments thereto or modifications thereof as may be approved from time to time pursuant to Section 92.28.1 et seq. of the TMC on file in the office of the Community Development Director of the City of Torrance; and further, that the said use shall be established for constructed and shall be maintained in conformance with such maps, plans, specifications, drawings, applications or other documents presented by the applicant to the Community Development Department and upon which the Planning Commission relied in granting approval;
2. That if CUP 25-00018 is not used within one year after granting of the permit, it shall expire and become null and void unless extended by the Community Development Director for an additional period as provided for in Section 92.27.1 of the TMC;
3. That a copy of Planning Commission Resolution No. 2025-069 shall appear on the building plans associated with the use to facilitate coordination and effective implementation of the conditions of approval; (Planning)
4. That the applicant shall defend, indemnify, and hold harmless the City of Torrance and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City including, without limitation, an action by an advisory commission, appeal board, or legislative body concerning this discretionary approval. The defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action, or proceeding challenging the approval of this CUP 25-00018 or the project. The City will promptly notify the applicant of any claim, action, or proceeding and agrees to cooperate to the extent required for an effective defense. In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is

made to the challenger, the applicant shall be responsible to pay the full amount of such an award; (Planning)

5. That within 30 days of the final public hearing, the applicant shall return the City's "Public Notice" sign and stake to the satisfaction of the Community Development Director; (Planning)
6. That a landscape plan shall be submitted to the Community Development Department for approval prior to the issuance of any building permits and shall be implemented prior to occupancy. The plan shall utilize drought resistant/xeriscape plant materials and shall provide state-of-the-art water saving irrigation system and/or drip irrigation for larger shrubs and trees. That if more than 500 square feet is irrigated, the project shall comply with the State Water Efficient Landscape Ordinance. The plans shall identify new vegetation and ground covering for the existing bare planters and landscaping shall be maintained to the satisfaction of the Community Development Director; (Planning)
7. That the applicant shall add vegetation and groundcover in all bare planters onsite to the satisfaction of the Community Development Director.
8. That displayed merchandise shall not block vehicle or pedestrian circulation; (Environmental)
9. That all signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental);
10. That the applicant shall provide 9" (minimum) contrasting address numerals for non-residential uses; (Environmental)
11. That the applicant shall provide bike rack(s). Applicant shall install on-site bicycle racks and submit placement plan and bicycle rack detail to the satisfaction of Environmental Division; (Environmental)
12. That the applicant shall install rooftop numbers in order to assist law enforcement and other emergency personnel locate the property. The numbers should be 4' high and 2' wide, spaced 12 inches apart, be parallel to the street and be a non-reflective color that contrasts the color of the roof; (Environmental/Police)
13. That the applicant shall provide bins/containers within trash enclosure for the storage and retrieval of trash and recyclable materials; (Environmental)
14. That the trash enclosure shall have a metal barrier roof covering to prevent rainwater intrusion to meet current National Pollutant Discharge Elimination System requirements; (Environmental)
15. All signs (new, modified or revised) must be approved by the Environmental Division with appeal rights to the Planning Commission, or comply with the previously approved sign program; (Environmental);
16. That the business name and address shall be visible from the street; (Police)
17. That non-glare security lighting shall be utilized in the parking lot; (Police)
18. That the applicant shall install video surveillance system to monitor entry/exits, any cash handling areas and the parking lot; (Police)
19. That hours of operation shall be visible at or near the business entrance; (Police) and
20. That all conditions of all other City departments received prior to or during the consideration of this case by the Planning Commission shall be met.

Introduced, approved and adopted this 5th day of November 2025.

ATTEST:

\_\_\_\_\_  
Secretary, Torrance Planning Commission

\_\_\_\_\_  
Chairperson, Torrance Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES) ss  
CITY OF TORRANCE         )

I, ROBERT GARCIA, Secretary to the Planning Commission of the City of Torrance, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the Planning Commission of the City of Torrance at a regular meeting of said Commission held on the 5th day of November 2025, by the following roll call vote:

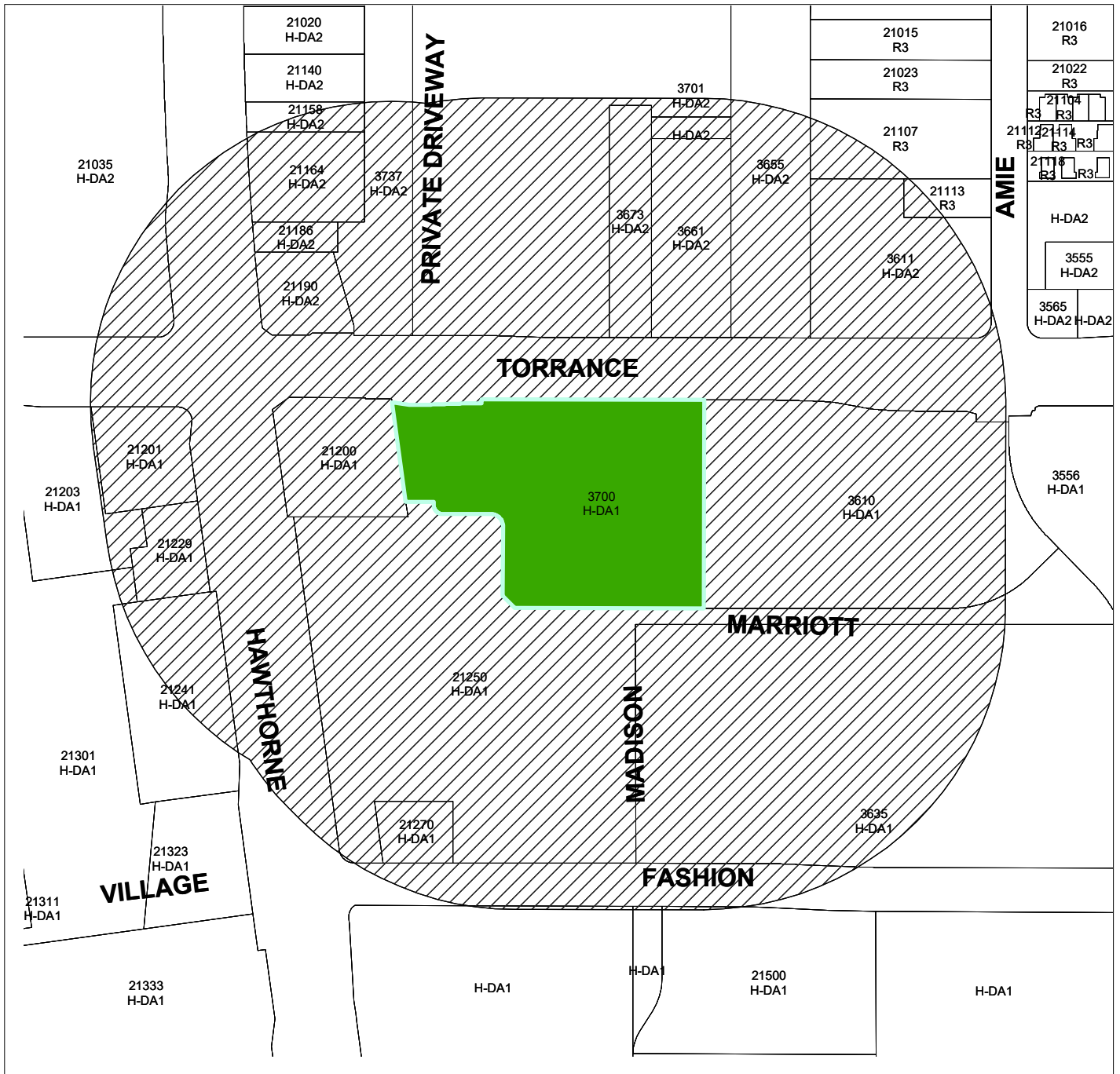
AYES: COMMISSIONERS:  
NOES: COMMISSIONERS:  
ABSENT: COMMISSIONERS:  
ABSTAIN: COMMISSIONERS:

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Secretary, Torrance Planning Commission

**ITEM 8D**  
**ATTACHMENT 2**

**LOCATION AND ZONING MAP**



**LOCATION AND ZONING MAP**  
**CUP25-00018**  
**3700 Torrance Boulevard**

The logo features a stylized map of Torrance in blue and green, with the text "TORRANCE COMMUNITY DEVELOPMENT" above "GIS".

**LEGEND**

- Notification Area
- 3700 Torrance Blvd

Feet  
 0 60 120 240

**ITEM 8D**  
**ATTACHMENT 3**  
**CODE REQUIREMENTS**

## **CODE REQUIREMENTS**

The following is a partial list of Code requirements applicable to the proposed project. Not all Code requirements are provided, and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the Code.

### **BUILDING AND SAFETY**

1. Comply with 2022 CBC, CMC, CEC, CPC & CGBC
2. Comply with 2022 mandatory green code requirements
3. Comply with code sections in 11b for accessibility
4. Provide exiting analysis with exiting plan based on chapter 10
5. Provide plumbing fixture analysis per new proposed use & occupancy type based on 2022 CBC & CPC

### **ENVIRONMENTAL**

6. No freestanding or A-frame signs; signs attached to light or utility poles and trees; inflatable signs; air assisted signs; temporary/portable signs attached/mounted to the roof of the building; persons holding signs or twirlers; electronically moveable signs; electronically changing signs; bow/flag/feather banners; or any other temporary/portable signage that violates Torrance Municipal Code (TMC) requirements for prohibited signs (TMC 911.6.100). Permits for banners must be obtained before use. Directional signs and parking signage are allowable. (TMC 911.7.010)
7. Lot sweeping, deliveries and trash pick-up are prohibited between 10:00 pm and 7:00 am (TMC 92.30.4).
8. The Van Accessible loading area shall be at least 8 feet wide and the words "NO PARKING" shall be painted on the ground within each loading access aisle in white lettering no less than 12 inches high and located so that it is visible to traffic enforcement officials.
9. Direct lighting away from residential land uses. (TMC 92.30.5).
10. Double-line stripe all parking spaces. (TMC 93.4.6).
11. Screen all roof equipment from public view. (TMC 92.30.2).

### **WATER**

12. This property is not within the City of Torrance Municipal Water service area. Contact California Water Service Company at 310-257-1400 for water information.

**ITEM 8D**  
**ATTACHMENT 4**  
**BUSINESS NARRATIVE**

## Business Narrative

**LA Driving Range** is one of the largest indoor golf training centers in Southern California, featuring 22 stations along with dedicated warm-up, chipping, and putting areas. Our state-of-the-art facility combines advanced technology with a climate-controlled, comfortable environment to deliver the ultimate year-round golf experience—regardless of the weather.

We utilize industry-leading simulators equipped with 3D tracking radar and synchronized image processing to provide precise shot analysis. Golfers receive real-time data on every swing, including:

- Club speed
- Ball flight
- Launch angle
- Spin rate
- Smash factor
- Shot dispersion

### Facility Operations:

- **Hours of Operation:** 9:00 AM to 9:00 PM, 7 days a week
- **Staffing:** 1–2 employees per 8-hour shift
- **Food & Beverage:** Not permitted
- **Spectators:** Not allowed
- **Practice Format:** Individual practice stations only
- **Maximum Occupancy:** 50 people

**ITEM 8D**  
**ATTACHMENT 5**  
**PROJECT PLANS**



THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT THE DESIGNER'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE DESIGNER'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE, WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE DESIGNER IS TO BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

CARLOS OVALLE, ARCHITECT, LEED AP

REVISIONS

REVISION NO. & DESC.	BY	DATE

ISSUES

ISSUED FOR	DATE

CLIENT APPROVAL

PHASE	SIGNATURE	DATE

PROJECT # 25-002

PROJECT NAME

TORRANCE GOLF DRIVING RANGE

3700 TORRANCE BLVD  
TORRANCE, CA 90503

OWNER

KEY PLAN



DATE  
June 27th, 2025

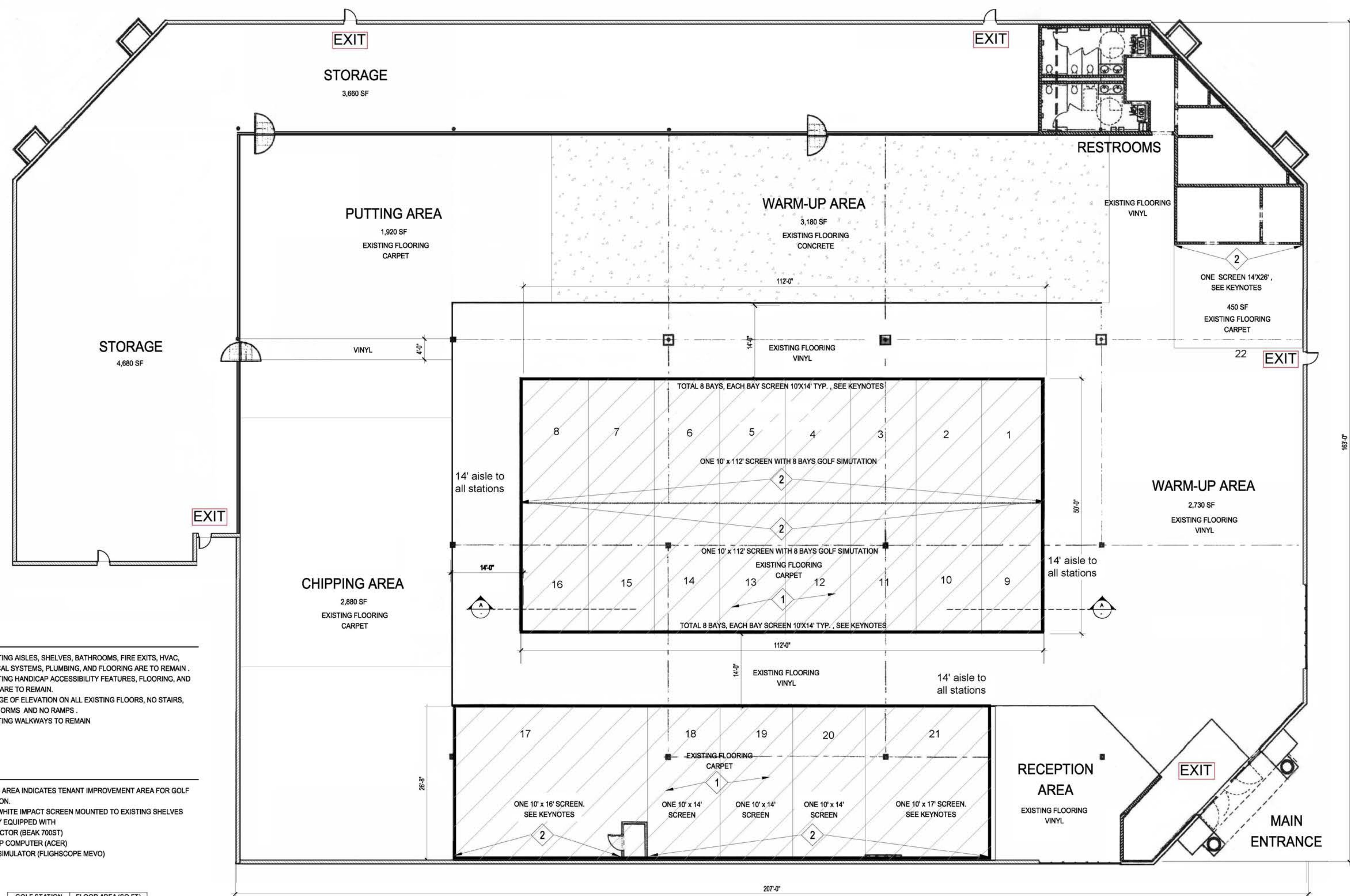
SHEET TITLE  
TENANT IMPROVEMENT PLAN

SCALE

SHEET NUMBER

A101

DISCIPLINE  
ARCHITECTURE

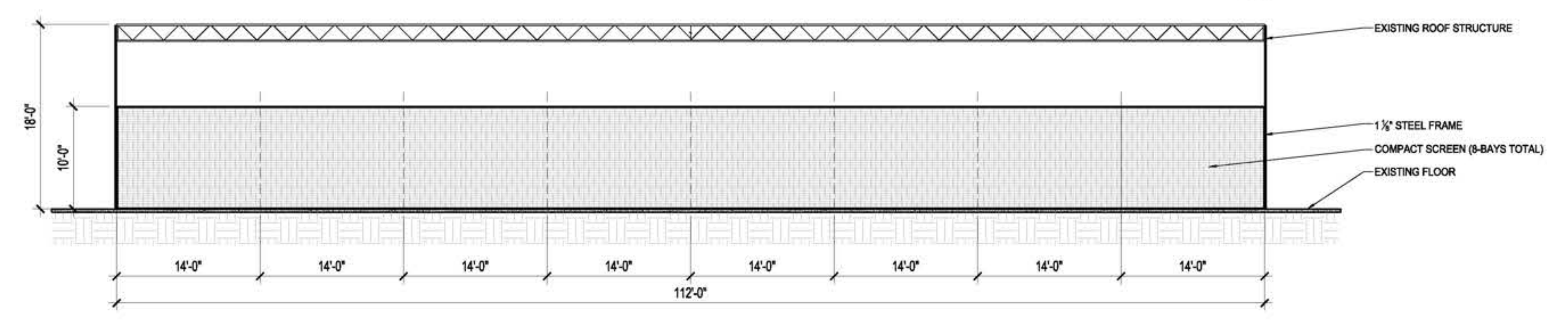


- NOTES**
- ALL EXISTING AISLES, SHELVES, BATHROOMS, FIRE EXITS, HVAC, ELECTRICAL SYSTEMS, PLUMBING, AND FLOORING ARE TO REMAIN.
  - ALL EXISTING HANDICAP ACCESSIBILITY FEATURES, FLOORING, AND PARKING ARE TO REMAIN.
  - NO CHANGE OF ELEVATION ON ALL EXISTING FLOORS, NO STAIRS, NO PLATFORMS AND NO RAMPS.
  - ALL EXISTING WALKWAYS TO REMAIN.

- KEYNOTES**
- HATCHED AREA INDICATES TENANT IMPROVEMENT AREA FOR GOLF SIMULATION.
  - 10' HIGH WHITE IMPACT SCREEN MOUNTED TO EXISTING SHELVES
  - EACH BAY EQUIPPED WITH
    - PROJECTOR (BEAK 700ST)
    - LAPTOP COMPUTER (ACER)
    - GOLF SIMULATOR (FLIGHTSCOPE MEVO)

GOLF STATION	FLOOR AREA (SQ FT)
1	350
2	350
3	350
4	350
5	350
6	350
7	350
8	350
9	350
10	350
11	350
12	350
13	350
14	350
15	350
16	350
17	416
18	364
19	364
20	364
21	442
22	450
PUTTING	1,920
CHIPPING	2,880
WARM-UP	5,910
STORAGE	8,340

FLOOR PLAN  
SCALE: 1/8"=1'-0"



ELEVATION A-A  
SCALE: 1/8"=1'-0"

